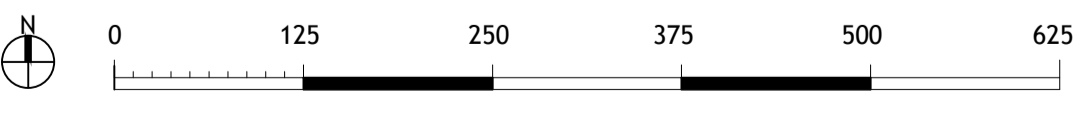


- Key**
- Existing Uses**
- Farmland
 - Woodland
 - Field Boundaries
 - Housing (inc. roads and residential play space and private gardens + allows for some green infrastructure)
 - Primary Schools
 - SITE BOUNDARY
 - SCATTERED TREES
 - SCATTERED SCRUBS
- Existing Connectivity**
- Main roads
 - Secondary roads
 - Foot & cycle path
 - Bridle path
- Existing Infrastructure**
- Water Courses
 - Electric Cables
- Proposed Landscape**
- HEDGES TO BE REMOVED
 - HEDGES TO BE BROKEN BY SECONDARY ROADS
location is flexible and subject to detailed design (square does not represent true scale)
Hedge breaks should be minimised where possible
 - HEDGES TO BE BROKEN BY FOOTPATHS AND CYCLEWAYS
location is flexible and subject to detailed design (square does not represent true scale)
Hedge breaks should be minimised where possible
 - HEDGE BUFFER ZONES
(dependant on hedge quality see V001-UA001881-01-STD-PHASE1-LF)
 - APPROXIMATE TREES TO BE REMOVED
(shape does not represent true scale, removals to be sensitively minimised where possible and are subject to a full detailed survey)
 - HEDGE LOCATIONS TO BE BROKEN BY FIXED LOCATION OF STRATEGIC, PRIMARY ROAD AND BUCKNELL ROAD
Hedge breaks should be minimised where possible (square does not represent true scale)
 - FLEXIBILITY OF LANDSCAPE BUFFERS
 - PROPOSED WATER CORRIDOR BUFFER ZONE



APPLICATION 1 NORTH OF LORDS LANE - EXISTING TREES AND HEDGEROWS SHOWING AREAS TO BE REMOVED OR BROKEN