

Key

Existing Uses

- Farmland
- Woodland
- Field Boundaries
- Housing (inc. roads and residential play space and private gardens + allows for some green infrastructure)
- Primary Schools

SITE BOUNDARY

- SCATTERED TREES
- SCATTERED SCRUBS

Existing Connectivity

- Main roads
- Secondary roads
- Foot & cycle path
- Bridle path

Existing Infrastructure

- Water Courses
- Electric Cables

Proposed Connectivity

- Strategic road corridor with predominantly segregated footpath and cycle road
- Primary road corridor with predominantly segregated footpath and cycle route
- Secondary road corridor
- Bus only route with footpath and cycleway

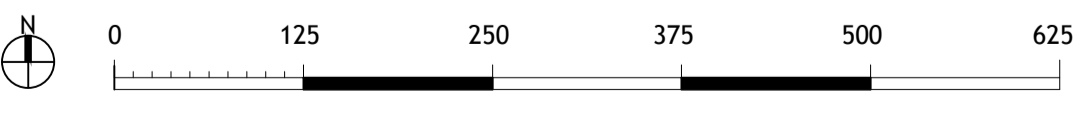
NB: Strategic and Primary road locations are fixed whilst secondary road locations are flexible

- Minimum height 4m
Maximum height 11m
- Minimum height 4m
Maximum height 15m
- Minimum height 4m
Maximum height 20m

NB: All proposed heights are indicated in meters AOD (above ordnance datum)

+93m Proposed ground level spot heights

All proposed heights are in meters above proposed ground level. Proposed ground levels are indicated in meters above ordnance datum AOD



APPLICATION 1 NORTH OF LORDS LANE - BUILDING HEIGHTS

BIMP6 113F NW BICESTER APPLICATION - PARAMETER PLAN

1:10,000 @ A3
1: 5,000 @ A1

