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The Lion Public House

Wendlebury rd.

Wendlebury

Bicester

OX25 2PW

Retrospective Approval for External Alterations

Design & Access Statement

September 2016

Revision - -

The Lion Public House – Alterations to Approved Permission

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1.0 Introduction

1.1 Background

The proposal is for retrospective planning and listed building consent, to regularise the changes which have occurred from the approved plans ref. 15/00072/LB and 15/00172/F to what has actually been constructed on site.

The changes are highlighted in the letter from Cherwell District Council dated 22nd July 2016 following a site visit undertaken by the council on the 16th June 2016.

The changes include:

- 1) Change in height or extension roof, the addition of a linking corridor between kitchen and dining room and the use of metal cladding to the gable end of the existing building
- 2) Changes to the roof of the small rear extension to the south of the site.
- 3) Changes to the side elevation of the small rear extension to the south of the site.
- 4) The addition of a new window to the new kitchen.
- 5) The addition of two new flues to the existing building
- 6) Changes to the signage to the northern gable of the existing building with associated lighting and planters.
- 7) The reinstatement of the southern boundary wall.
- 8) Addition of external wall lights mounted on the kitchen extension.

The client believed they undertook the changes to the approval with the knowledge of the Local Planning Authority as a result of site visits and verbal communications, but now recognise that the changes should have been regularised through the formal application process. This application seeks to regularise and record the changes and covers the non-contentious items in the letter noted above.

The other items listed on the letter – which include items the LPA suggest are unlikely to receive officer support - will be dealt with separately and are not part of this application.

1.2 The Client

The Client is Mrs Sarah Robinson Smith who is the owner of The Lion.

1.3 The Architects

The architects for the Project are Oxford Architects LLP, originally established in 1962. We currently have offices in Oxford and Bristol. We provide a complete range of architectural services undertaking projects from brief formulation and the earliest stages of concept design, through the various stages of design development and visualisation to production information and construction.

Oxford Architects were not involved in the original application and have been employed to assist the client in resolving the planning issues.

2.0 Site Analysis

2.1 The Site

The Lion at Wendlebury, formerly The Red Lion, is an 18th Century public house set within the middle of the village of Wendlebury. It sits on the Eastern side of Wendlebury Road and has a large rear garden, and parking to the side and rear.

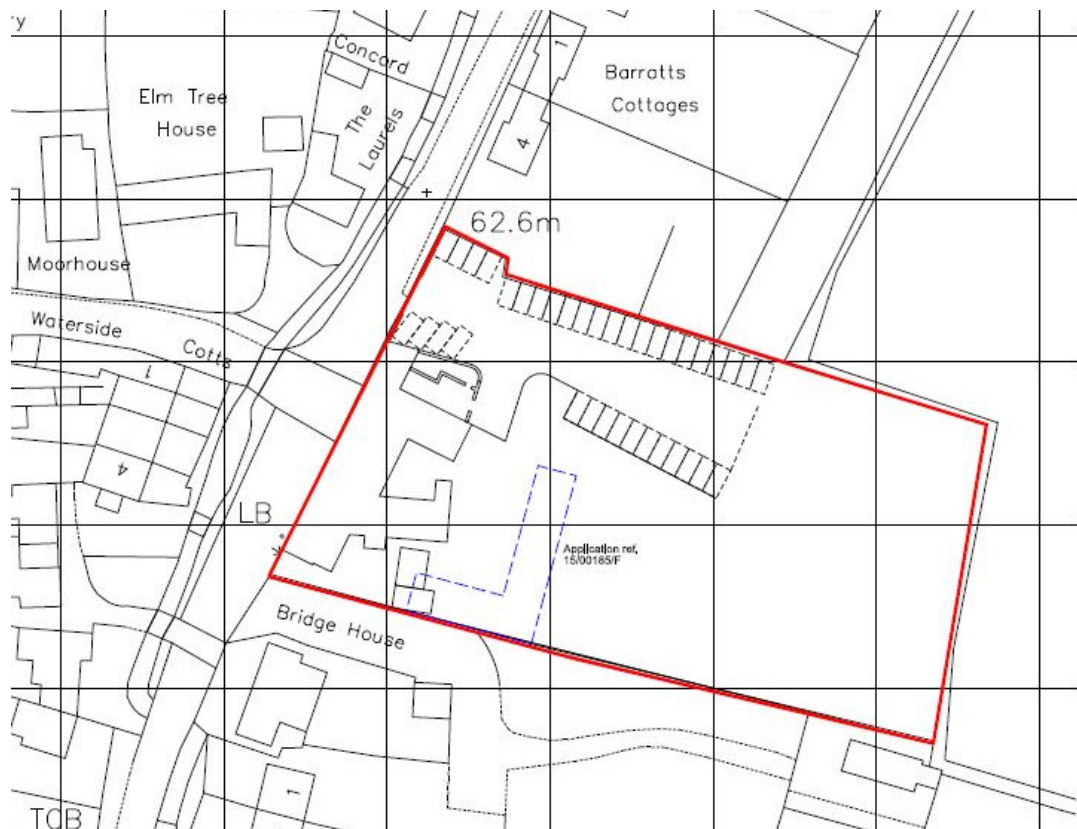
The main building is Grade II listed and constructed of coursed limestone rubble with ashlar dressings. The property is two storeys high with attic rooms and dormer windows. It does not sit within a conservation area but is in close proximity to two other listed buildings on the opposite side of Wendlebury Road; Willow Cottage & Elm Tree House.

The pub is set within a site of approximately 5100sqm and currently also has approval for an accommodation block to the rear of the property providing 13no. bed and breakfast rooms (Planning ref. 15/00185/F).

The site is also within a Zone 2/3 Flood plain.

2.2 Context

The site context remains unchanged from the approved scheme other than there has been a new house constructed to the North of the site by the neighbouring land owner.



Site Location Plan

2.3 Listed Building Status

The Lion (previously known as The Red Lion) Public House is a Grade 2 listed building.

The listing states the following:

WENDELBURY MAIN STREET

SP51NE (East Side)

3/139 The Red Lion Public House

GV II

Public House. Early/mid C18. Coursed limestone rubble with some ashlar dressings; Welsh slate and Stonesfield slate roofs with brick stacks. 3-unit range with rear outshut and subsidiary ranges. 2 storeys plus attic. 5-window main range has, to left, a symmetrical 3-window arrangement with a central door, flanking 3-light casements, and 2-light windows at first floor; 2-window section to right has similar windows and a blocked door. All openings have ashlar flat arches with projecting blocks. Roof has stacks to right of centre and on each gable, plus 3 hipped roof dormers. Slightly lower stone-slated bays at each end have some flat arched openings with, to right, an old plank door. Single storey slated 2-window range to extreme left is probably C19. Rear of main roof is stone slated and continues over a rear outshut.

Listing NGR: SP5614619660

243380



Historic photograph showing the Front Elevation in the early 1900s

http://www.pictureoxon.com/frontend.php?keywords=Ref_No_increment:EQUALS:POX0169930&pos=22&action=zoom&id=169930 accessed 26/08/16

3.0 **Approved Application 15/00072/LB**

3.1 **Prior to commencement**

Prior to the renovation works commencing, the building was in a dilapidated state, with much of the building becoming overgrown and in need of repair.



Photo 1: View from southern boundary



Photo 2: View of Southern Gable



Photo 3: Gable end of barn with corrugated roof



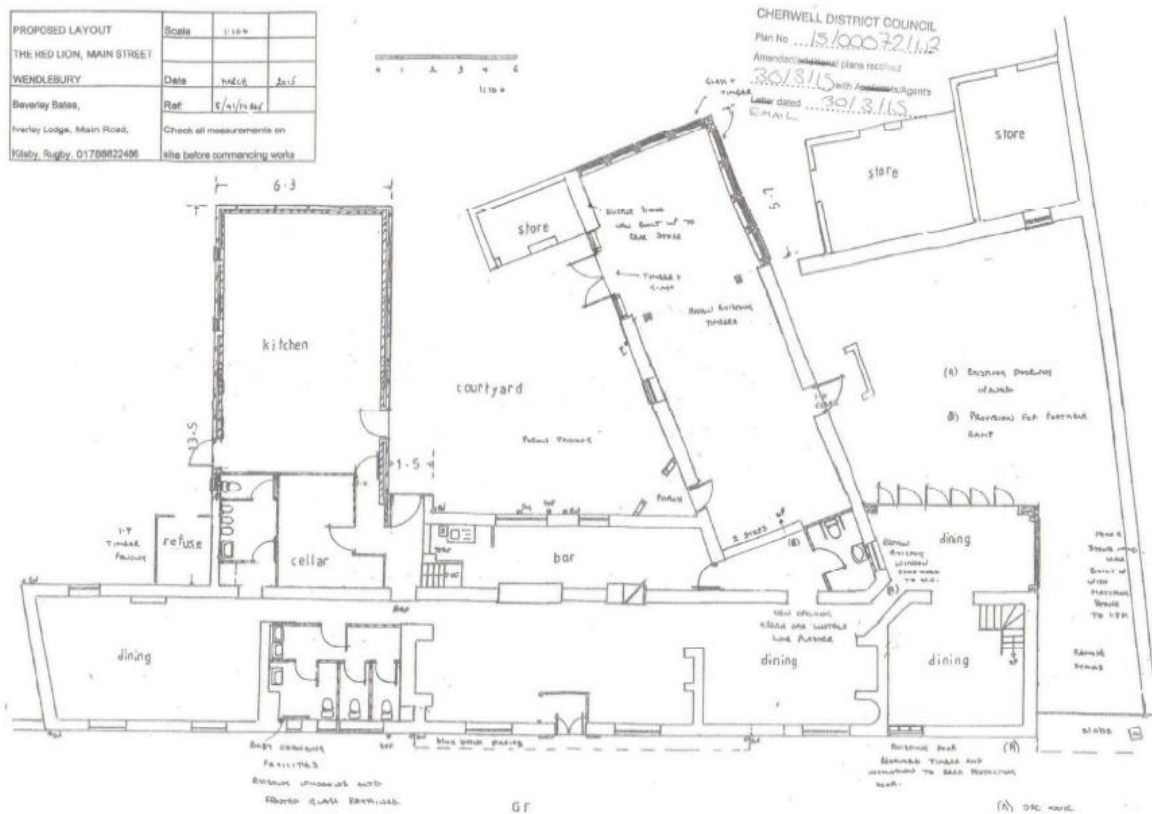
Photo 4: Rear view of the property

3.2 The Approved Drawings

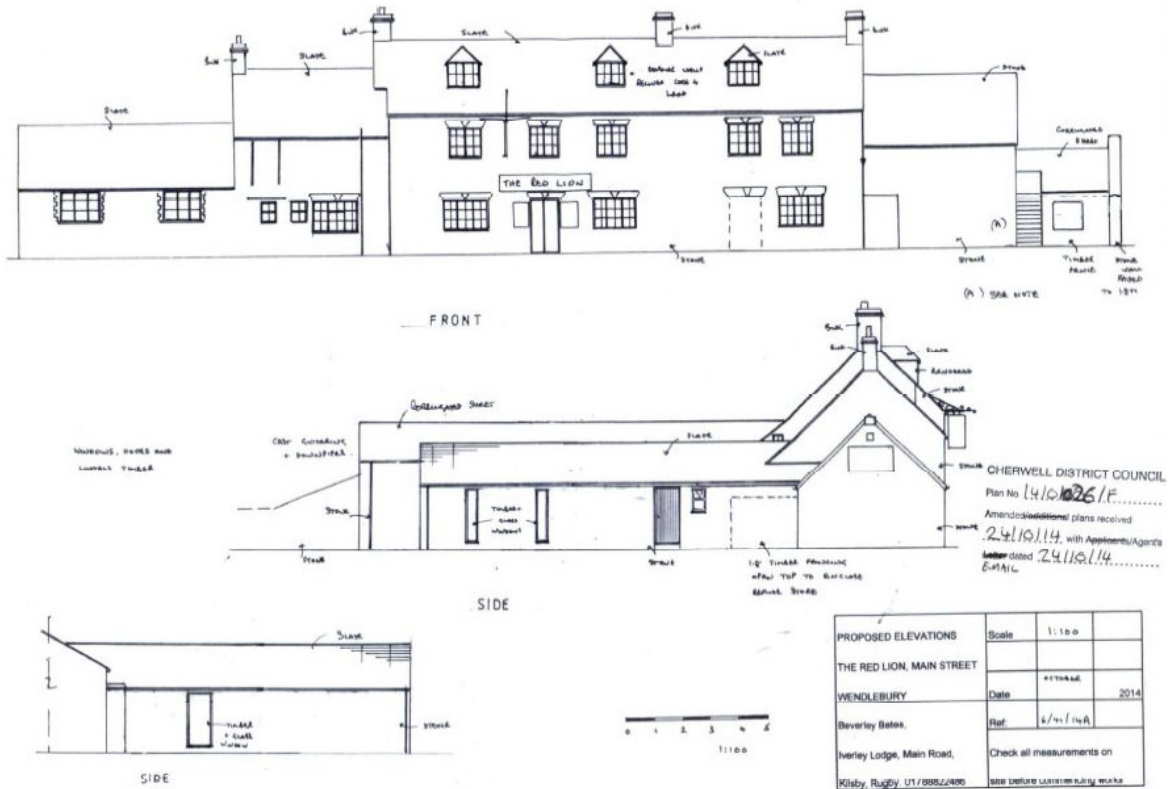
The approved application 15/00072/LB and 15/00172/F was for the following external alterations:

- 1) The existing rendered kitchen extension to have walls removed and built up in stone. Flat roof to be replaced by pitched Welsh slate roof.
- 2) Extension and renovation of existing double height barn to the rear of the property. Timber members replaced like for like where necessary. To be used for dining.
- 3) Total renovation of the derelict side extension to the South of the property to provide additional dining space on 2 floors. Addition of a single storey extension to the rear of this part of the building, built in stone with a Welsh slate cat-slide roof to match existing.
- 4) Existing wall to Southern Boundary to be raised to 1.8m high.

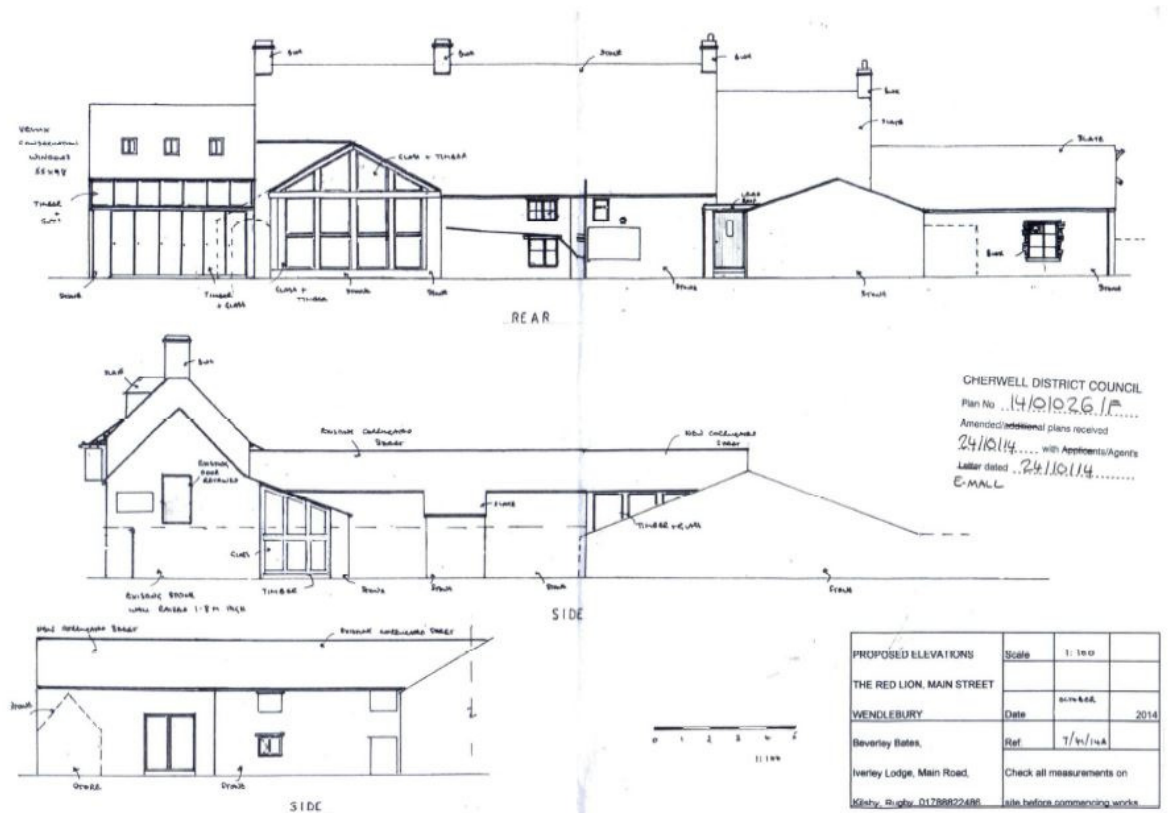
Below are the application drawings showing these proposed changes.



Approved Ground Floor Plan



Approved West & North elevations



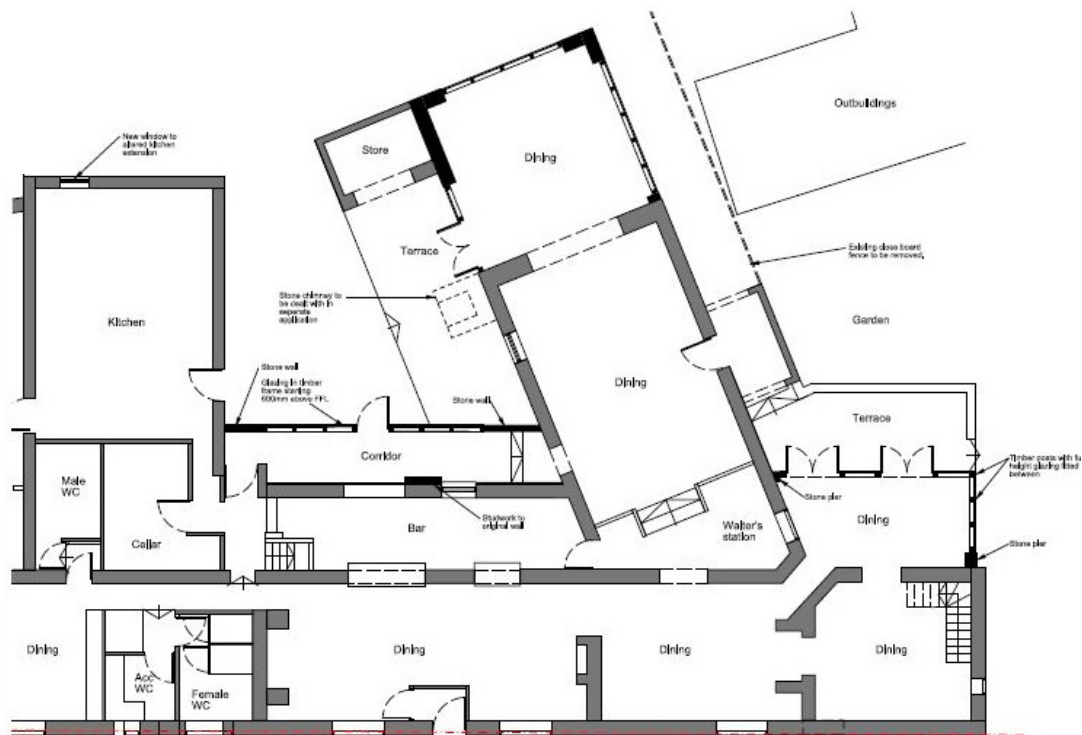
Approved East & South Elevations

4.0 Design Statement

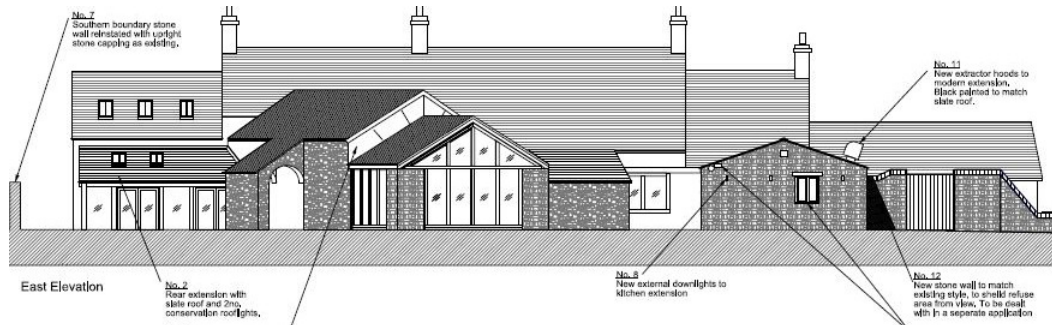
4.1 Design

The changes from the approved documents have been applied to either better enhance the character of the listed building or due to practical and installation issues as a result of site investigation. All changes use materials which are in keeping with their setting and the existing building.

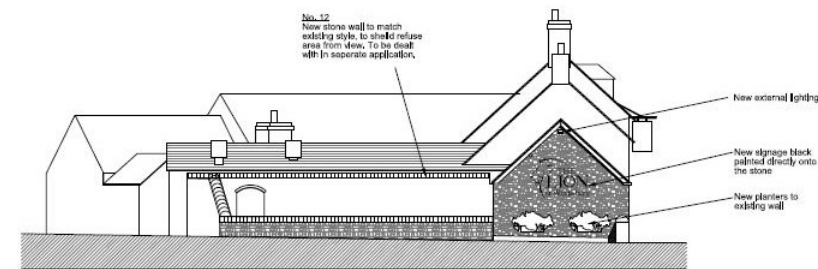
Below are the revised drawings taking these changes into account.



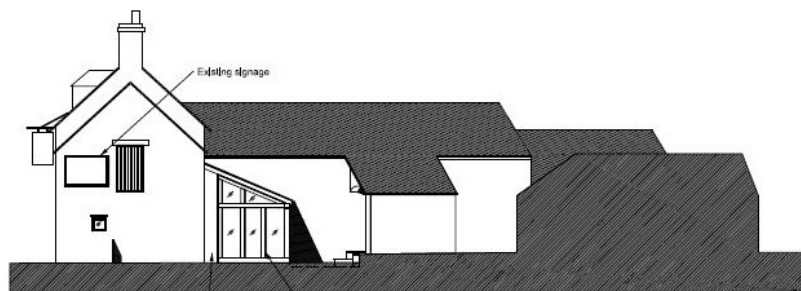
Revised Ground Floor plan



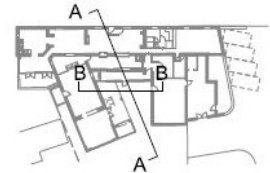
East Elevation



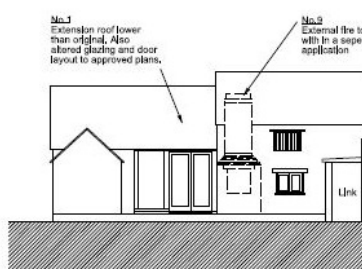
North Elevation



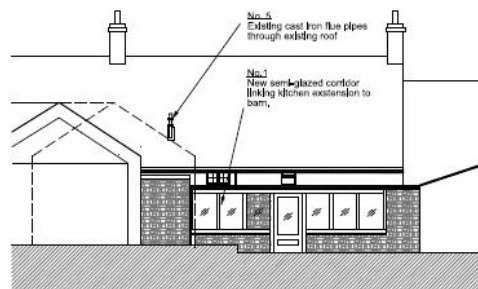
East Elevation



No. 3 South elevation amended to be of timber frame construction, stone corner pillar omitted, Monosloped slate roof to meet existing building.



Section AA Through Courtyard



Section BB Through Courtyard

The changes are as follows. The numbers associated with the changes relate to those provided on the letter from the LPA dated 22nd July 2016:

1) Alterations to the internal layout and roof of the new dining room in the barn and addition of linking corridor between barn and kitchen extension.

The approved plans show the extension of the existing barn running at the same height throughout. However, the extension has been constructed at a lower height than the existing making it subservient. Metal cladding has been fixed to the exposed part of the existing gable to protect the existing timber truss and stop the ingress of water. This material matches with the new corrugated roof and retains the agricultural feel of the existing barn. It would not be possible to build this gable up in stone as there would be no way to support a wall without removing the existing timber truss that exists in this location (see photo 1). It was thought the retention of the existing truss was important. Internally it provides a clear distinction between the old and the new.

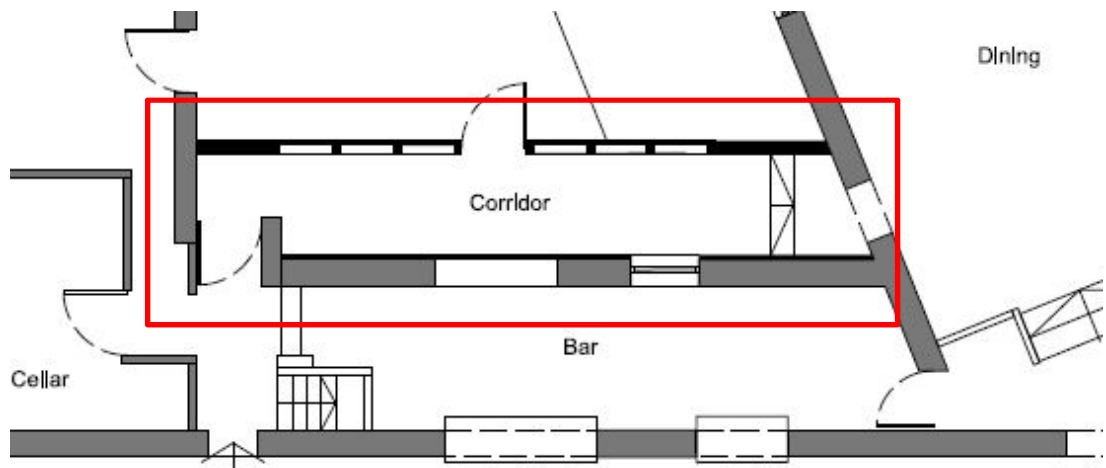


Photo 5: External view of stepped roof.



Photo 6: Internal view of stepped roof

There is also the addition of an external corridor linking the barn dining room to the kitchen extension and existing building. This has been constructed in matching stone with timber framed glazing and glazed double doors leading onto the terrace. Where the corridor backs onto the existing stone wall of the main building, this has been lined out with boarded studwork to ensure it can be removed at a later date with no disruption to the original building fabric.



Plan of new corridor linking kitchen extension and barn dining room.



Photo 7: Photograph of new corridor link

2) Alterations to roof and elevations of single storey extension to rear of building.

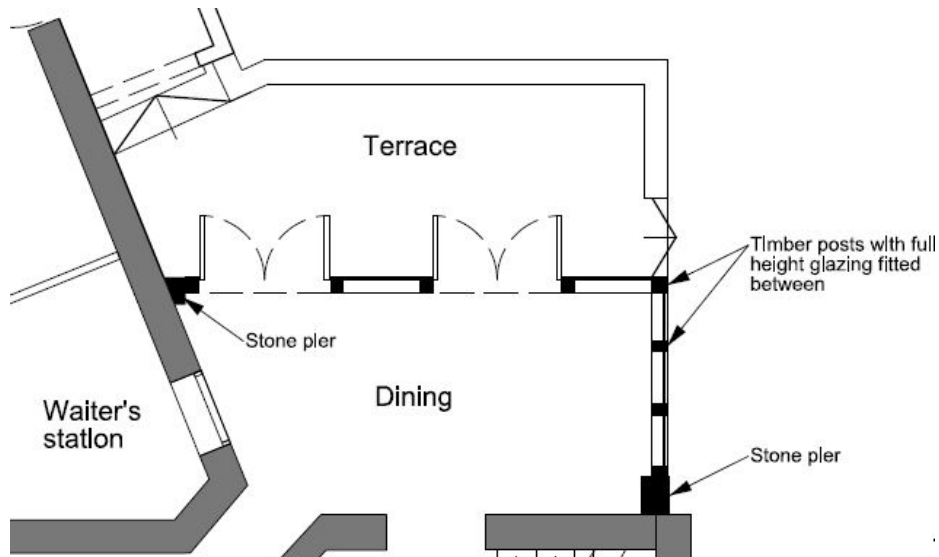
The approved elevations for the single storey rear extension to the south-east of the building show that the roof would be constructed largely of glass. However, it has been constructed of a timber frame with slate finish and the addition of 2no. conservation style roof lights. This was done to provide a more controllable and suits the character of the building more sensitively than the approved drawings.



Photo 8: The roof as constructed

3) Alterations to the Southern elevation of single storey extension

The approved drawings show the extension to have stone piers between sections of glazing, however the extension has been built with glazing set in a timber frame around the perimeter. The timber posts were used at the corners for practical reasons as to have slim stone piers in this location would have been very difficult to make them structurally stable. However the use of the Oak frame and posts here are consistent with the other parts of the building. See photo 8 and plan below.



Plan extract of single storey extension.

4) Addition of a new window, a speaker and a wifi point to the rear elevation of the newly altered kitchen extension.

A new window has been added to the right hand side of the kitchen's eastern gable. It is a timber double glazed unit, to match the style of the existing windows, with a timber lintel above.



Photo 9: View of eastern gable of kitchen extension

A Wifi point and small external speaker have also been added to the same elevation in the top left corner. These additions do not have any negative impact on the listed building.

5) Two existing flues have been moved along the existing roof.

These were missed off of the original approved drawings, and are existing flues that were relocated and moved across when the extension roof was constructed.



Photo 10: Relocated Flues

6) Painted signage on gable end stonework and repositioning of hanging flower troughs.

The original signage as shown on the approved drawings has been replaced with more modern signage painted in black directly onto the stone wall. The previous over large floodlight from the top of the gable has been removed and replaced with a more subtle downlight which adheres more adequately to the character of the building.

The flower baskets have been replaced with slightly larger flower troughs which have been positioned lower down for ease of maintenance.



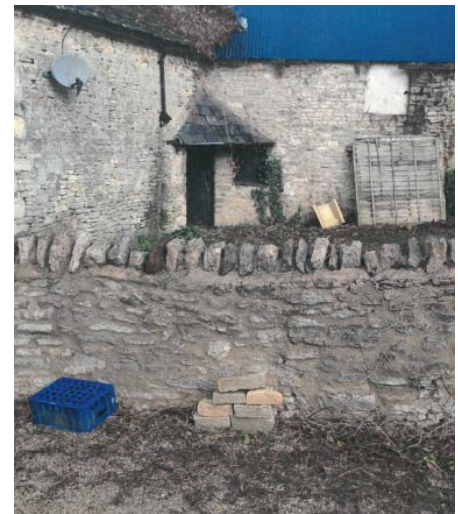
Photo 11: Northern gable in 2014



Photo 12: Northern gable currently

7) Re-building of the Southern Boundary wall.

The southern boundary wall was reconstructed to the approved drawing elevations, where a note mentions that existing stone wall is to be raised to 1.8m high. The wall has been capped with upright stones, as that is what the detail was previously.



Photos 13 & 14: Historic photos of the southern boundary wall as it was.

In terms of precedent, there is not one single style of wall within the village, there is a mixture of upright stones (Cock 'n' hen capping), as the house opposite the pub, creased tile capping and profiled stone capping. There is little therefore to suggest that any other style of capping should have any more weight to it than another.

8) Addition of external lights on kitchen extension.

New external downlights have been added to the gable and southern face of the kitchen extension to create an ambience on the terraces in the evenings. The luminaires are discreet in appearance, provide only low light levels and are not detrimental to the character of the building.



Photo 15: External lights on kitchen gable

5.0 Access Statement

5.1 Accessibility

The general access is as it was approved with the exception of the door into the new corridor which is a new addition. This door provides level access from the courtyard to the corridor and therefore internally, but it is recognised that the existing building does have steps within it.

All newly built elements/openings in the project are fully accessible and in compliance with the Approved Document Part M. Due to the nature of the site & existing levels there are some places where a change in level is unavoidable.

5.2 Vehicular Access

There is no change to the vehicular arrangement approved as a result of the changes noted.

6.0 Planning Policy

6.1 National Planning policy

Paragraph 134 of the NPPF states that where a proposal would cause less than substantial harm to a designated heritage asset, this harm should be weighed against the benefits to the users and whether the changes are necessary to secure its optimum viable use.

In order for the building to stay viable as a business, it must meet the capacity needs required as well as having appropriate facilities to deliver food and drink safely to the public. Furthermore, the benefit to all users of the building would far outweigh the harm which would be caused by these changes.

Therefore in our view, the proposed changes are in line with the National Planning Policy Framework.

7.0 Statement of Significance

We have assessed the significance of the building with reference to the *Conservation Principles Policies and Guidance (2008)* in order to ascertain what changes would be appropriate to the building.

Evidential Value

The building itself has evidential some value as it retains many features which give provide evidence of historic fabric. However, the alterations to the approved permission are mainly to areas which are not original and we do not believe that they will have any negative impact on the value of the building and will in fact enhance its character.

Historical Value

“Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative.”

The building holds little unique historical value which cannot be seen in better form elsewhere in the county. The alterations from the approved plans were done to better compliment the style and character of the historic setting.

Aesthetic Value

- 1) *Alterations to the internal layout and roof of the new dining room in the barn and addition of linking corridor between barn and kitchen extension.*

Although the exiting barn had some aesthetic value the exposed timber truss was not in good enough condition to be on show internally. Therefore the difference between the old and the new has been highlighted by dropping the height of the new extension. The metal cladding to the exposed gable hints at its **agricultural past**. Building up in stone as was suggested would have meant the removal of the existing timber truss and the insertion of additional steelwork. It was seen as more sympathetic to retain the truss and overclad the gable end.

The rear stone wall of the pub between the kitchen extension and the old barn had little aesthetic value as it was always the back-of-house area. By sensitively creating a covered walkway here it creates a better aesthetic, provides additional and usable access and therefore is more viable for the business.

- 2) *Alterations to roof and elevations of single storey extension to rear of building.*

The Southern end of the Pub was in desperate need of refurbishment and had very little aesthetic value, especially to the rear. The use of a full timber and glass façade on the southern extension creates a clear definition between the original building and the new.

The alteration to the roof from fully glazed to slate with conservation rooflights, enhances the aesthetic of the existing building and provides a more controllable space. The solid slate roof is also more consistent with this type of building rather than a fully glazed conservatory style as was proposed.

- 3) *Addition of a new window, a speaker and a wifi point to the rear elevation of the newly altered kitchen extension.*

The new kitchen extension holds no aesthetic historic value as it is a new addition and not part of the existing building. The additions of the items mentioned are minor.

- 4) *Two existing flue pipes relocated.*

Although the original roof has aesthetic value, the alteration has been done well and it is not evident that any change to the existing has been made. The flues were existing and have merely been moved along the roof to better suit the current use.

- 5) *Painted signage on gable end stonework and repositioning of hanging flower troughs.*

The original gable has always had signage on it in varying degrees. The historic signage was generally timber and fixed to the fabric of the building in various manners. The new signage painted onto the stone adds an element of interest to the gable and enhances the aesthetic value of the gable wall. Due to the nature of the building (its use, currently and historically) one would expect signage on the gables to assist in attracting custom. Painted signage is a normal feature on historic buildings of all types.

The low level flower troughs could be considered an attractive feature on what would otherwise be a blank gable, but are not a permanent feature and does not impact on the integrity of the wall or its historic value.

6) *Re-building of the Southern Boundary wall.*

The aesthetic value of the original boundary wall was relatively small and by retaining as much of the wall as possible its value is not diminished. It was reconstructed to avoid it falling down and the capping detail was re-used rather than added.

Comparative Value

The building has largely been retained as original however it is not a rarity in the Oxfordshire area and needed to be refurbished and extended to make a viable business which would keep the building in use. We do not believe that any of the alterations diminish the historical, aesthetic or evidential value of the building.

8.0 Conclusion

This application seeks permission for a modification to, and regularisation of the existing Planning and Listed Building Consent, and relates to minor changes and a slight increase in footprint to allow the building to function more efficiently.

There are some changes to the external appearance of the building through changes to the heights of a roof and some different materials used to what was originally approved. However, these amendments do not materially change the character of the property and are not detrimental to the listed building or its status.

In summary amendments to the approved permission includes:

- Alterations to the internal layout and roof of the new dining room in the barn and addition of linking corridor between barn and kitchen extension.
- Alterations to roof and elevations of single storey extension to rear of building.
- Alterations to the Southern elevation of single storey extension
- Addition of a new window, a speaker and a wifi point to the rear elevation of the newly altered kitchen extension.
- Two existing flue pipes relocated.
- Painted signage on gable end stonework and repositioning of hanging flower troughs. (signage also requires advertising)
- Re-building of the Southern Boundary wall.
- Addition of external lights on kitchen extension.

A meeting was held on the 8th August 2016 with Michelle Jarvis & Paul Irhinger of the LPA and it was concluded that the above changes are acceptable in principal and the LPA was not against the items mentioned in principle. We hope that Cherwell Council will agree and consequently we ask for your support with this application.