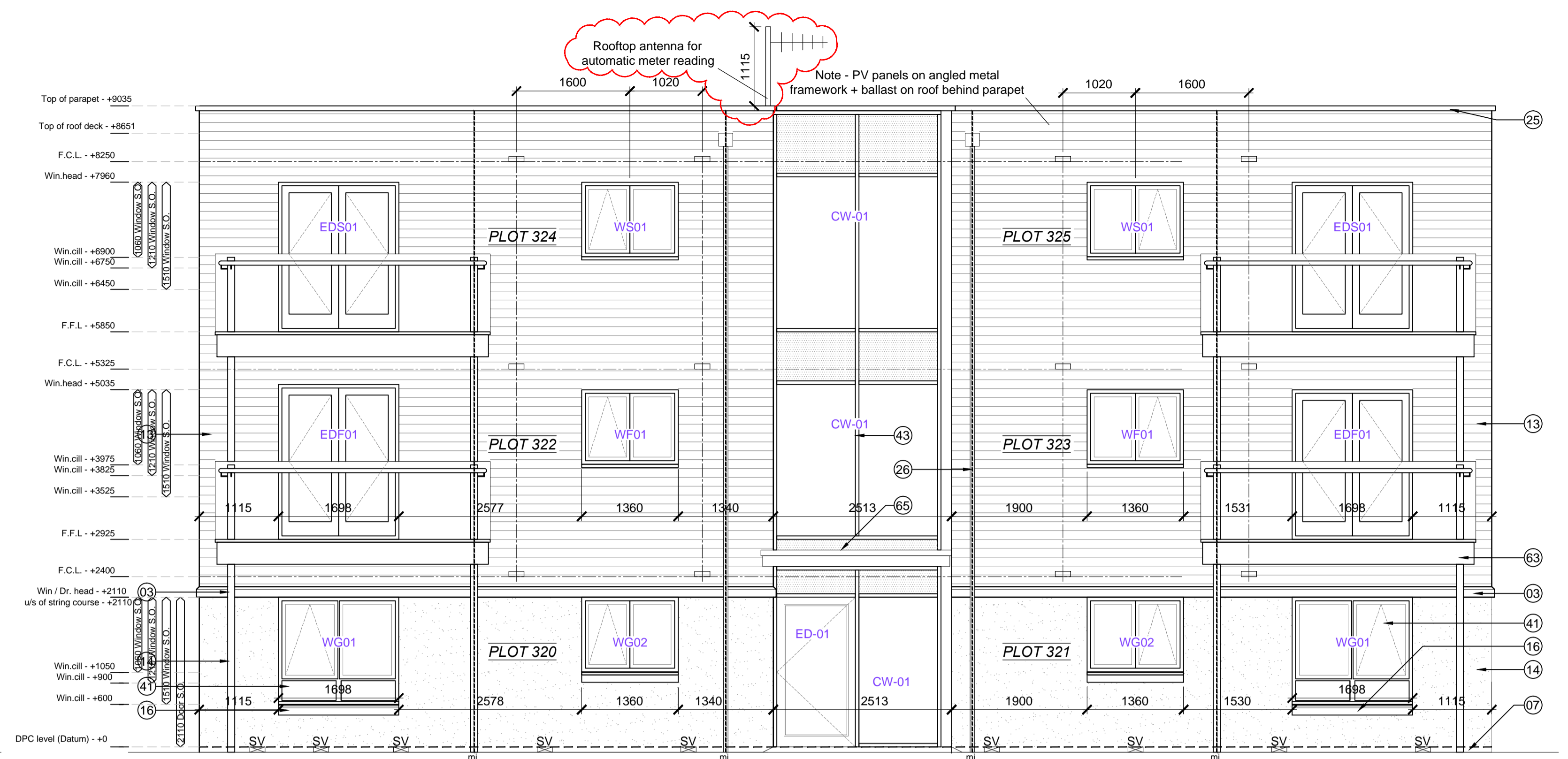


Side 1 Elevation



Front Elevation

WINDOW SCHEDULE [EXTRACT]

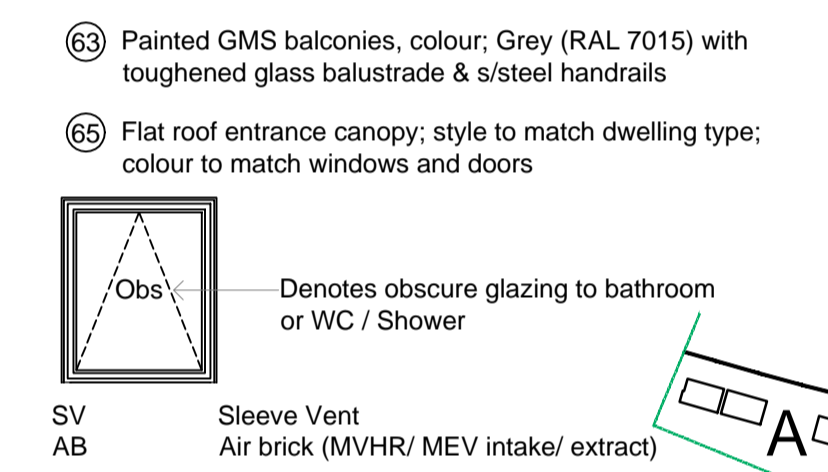
| Plots numbers | Dwelling type | Tenure | Elevation type | Window number | Door number | Fire egress | Fire rated glass | Safety glass | Obscured glass | BS6 compliance | Blank panel in look a like glass | Structural window opening | Room | Plots with extra window for end of terrace | COMMENTS |
|---------------------------------|---------------|------------|----------------|----------------------------------|-------------|-------------|------------------|--------------|----------------|----------------|----------------------------------|---|---|--|---|
| 320,370 | 1B2P-F [A1-A] | Affordable | 7-[A1-A] | W*-01 W*-02 | ED*-01 | | | | | | | 1698 x 2110 1698 x 1510 1360 x 1060 | living bedroom 1 kitchen | | NOTE: All opening components to be tilt and turn, opening inwards. To be Life Time. Hence complete opening height to be 1000mm above FLS. |
| 321,371 | 2B3P-F [A2-A] | Affordable | 7-[A2-A] | W*-01 W*-02 W*-03 W*-04 | ED*-01 | | | | | | | 1698 x 2110 1698 x 1510 1360 x 1060 1135 x 1210 | living bedroom 1 kitchen bedroom 2 living | | NOTE: Floor on drawings. Ground Floor, First, Second French windows |
| 322,323,324,325,372,373,374,375 | 2B3P-F [A2-B] | Affordable | 7-[A2-B] | W*-01 W*-02 W*-03 W*-04 | ED*-01 | | | | | | | 1698 x 2110 1360 x 1060 1698 x 1510 1135 x 1510 1135 x 1510 | living/dining kitchen bedroom 2 bedroom 1 living/dining | 323, 325, 372 - 375 only 323, 325, 372 - 375 only | to side of app' block to side of app' block |

| Plots numbers | Dwelling type | Tenure | Elevation type | Window number | Door number | Fire egress | Fire rated glass | Safety glass | Obscured glass | BS6 compliance | Blank panel in look a like glass | Structural window opening | Room | Plots with extra window for end of terrace | COMMENTS |
|---------------|---------------|--------|----------------|---------------|-------------|-------------|------------------|--------------|----------------|----------------|----------------------------------|---|---|--|--|
| | | | | WC-01 | ED-02 | | | | | | | 1585 x 2110 1585 x 1210 1698 x 2110 | Front door side light Rear door 1st Flr landing 2nd Flr landing Cycle store | | *For curtain wall glazing please refer to drawing AA2699C/10.1/001 |

KEY TO MATERIALS & DETAILS

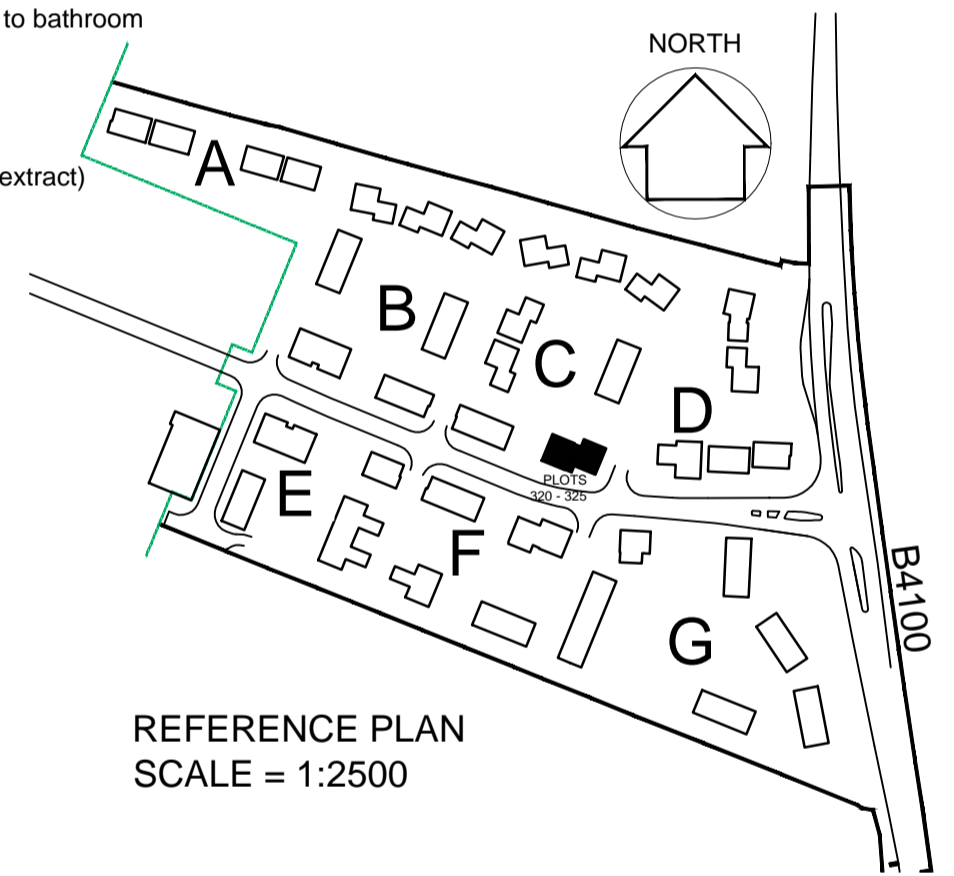
- 03 Projecting reconstituted stone string course [colour: Portland] to divide Beckstone below from render above.
- 07 2No. course engineering quality brick below DPC, with natural colour mortar joints. [Ibstock 'Capital Multi Stock']
- 13 Horizontal timber cladding [Thermowood; with natural untreated finish]
- 14 Through colour render; colour: Ivory
- 16 Reconstituted stone cill [colour: Portland]
- 25 PPC aluminium coping; colour: Grey (RAL 7015)
- 26 UPVC gutters & down pipes; colour: Black (Type 1); Grey - RAL 7015 (Type 3,7,8). Fascia & soffit board; colour: White (Type 1); Grey - RAL 7015 (Type 3,7,8)
- 28 Rain water hopper colour to match upvc rain water goods
- 41 High performance triple glazed timber window; design to match house type; colour: Grey (RAL 7015)
- 43 double glazed curtain wall system, colour: Grey RAL 7015, with look-a-like glazed spandrel panels
- 51 Louvred doors to refuse and cycle stores; colour: Grey (RAL 7015) to match windows and doors

- 51 Louvred doors to refuse and cycle stores; colour: Grey (RAL 7015) to match windows and doors
- 63 Painted GMS balconies, colour: Grey (RAL 7015) with toughened glass balustrade & s/steel handrails
- 65 Flat roof entrance canopy; style to match dwelling type; colour to match windows and doors

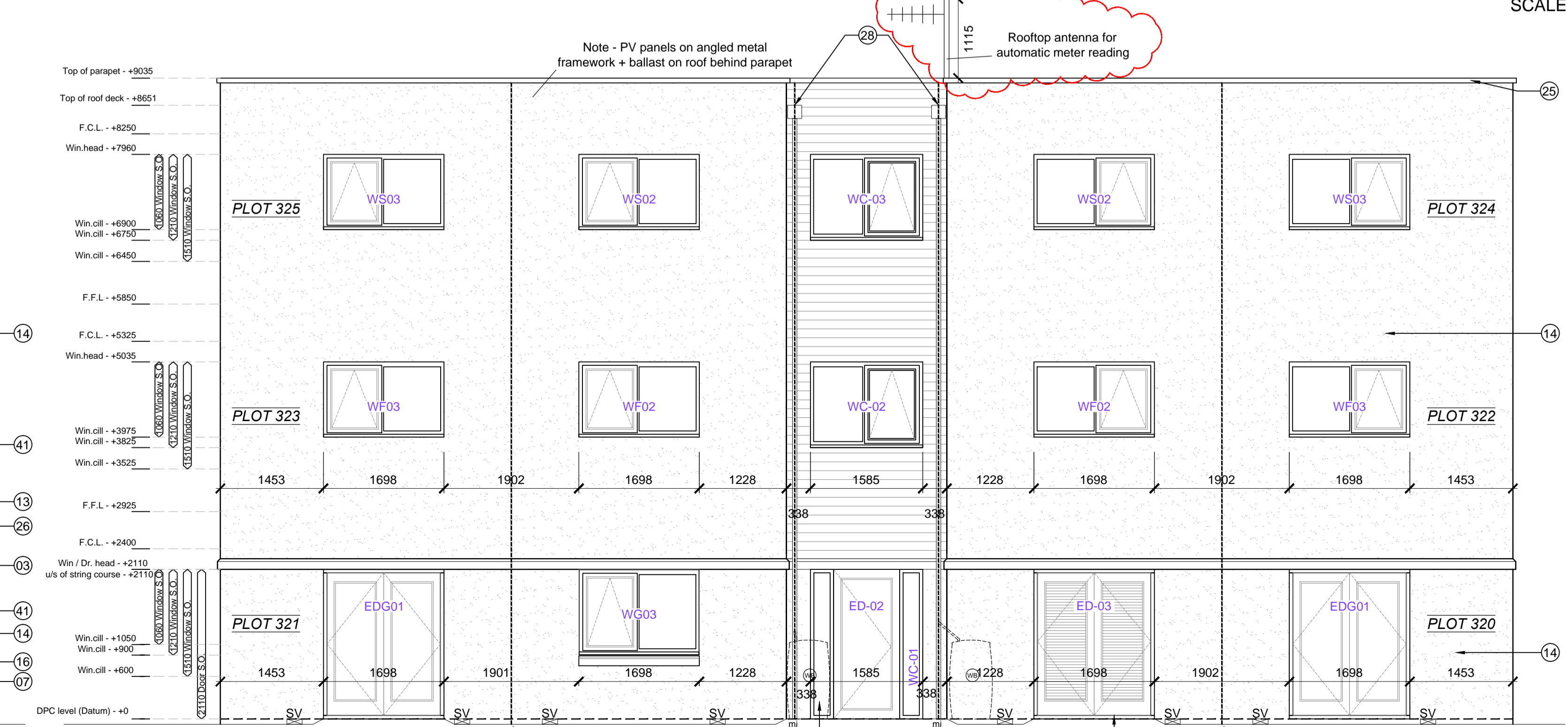


WILLMOTT DIXON HOUSING REVIEWED

| | |
|------------------|--------|
| PRELIMINARY | STATUS |
| FOR COMMENT | A |
| FOR CONSTRUCTION | B |
| SIGNED | C |
| DATE | |



Side 2 Elevation



Rear Elevation

notes

- The contractor is responsible for checking dimensions, tolerances and references. Any discrepancy to be verified with the Architect before proceeding with the works.
- Where an item is covered by drawings to different scales the larger scale drawing is to be worked to.
- Do not scale drawing. Figured dimensions to be worked to in all cases.

CDM Regulations 2007

ALL current drawings and specifications for the project must be read in conjunction with the Designer's Hazard and Environmental Assessment Record.

NOTES:

All drawings to be read in conjunction with reference key & CSH notes drawing; AA2699C/4.1/295

Refer to dwgs AA2699C/ 4.1/ 100 - 019 for Block Plan Setting Out

Refer to dwgs AA2699C/4.1/311-1; AA2699C/4.1/311-2; AA2699C/4.1/311-3; AA2699C/4.1/311-4; for GA's

Refer to dwgs AA2699C/ 6.1/ 300 series drawings for balcony details

PV Panels are shown as indicative only. Please refer to specialist suppliers detail

Supply / Extract termination indicated on gable walls to be via 225 x 150mm airbrick; Colour: to match adjacent surface.

SV - Sleeve vents numbers/ locations indicative - refer to notes on sub structure dwgs AA2699C/ 4.1/ 99 - 109

All movement joints TBC by SE

Where indicated, RWP's to be located 327.5mm (one and a half bricks) from edge of building, or on party wall line, unless otherwise dimensioned

| | | |
|----------|---|---|
| 16-11-15 | G | 2 nos. rooftop antennas added; CL/RS |
| 01-04-15 | F | Door and window changes as required; IM/CL |
| 29-01-15 | E | Drawing updated in line with latest WHD comments. Window locations amended to comply with ADR Part B. Movement joint note added as clouded; CL/RS |

| date | rev | revision/author/checker |
|------|-----|-------------------------|
|------|-----|-------------------------|

purpose of issue
CONSTRUCTION

project
BICESTER ECO TOWN EXEMPLAR SITE PHASE 1

drawing
FLAT ELEVATIONS PLOTS 320 - 325

| | |
|-----------------|----------|
| drawing no | rev |
| AA2699C/4.1/211 | G |
| drawn | checked |
| ILA | MDB |
| scale @ A1 1:50 | date |
| | DEC 2012 |

PRP Architects ©
10 Lindsey Street
Smithfield
London
EC1A 9HP
T +44 (0)20 7653 1200
F +44 (0)20 7653 1201
lin.prp@prparchitects.co.uk