



# Building 119 (FFMT)

RAF Bicester

Design & Access Statement  
Planning Application

February 2015



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# 1.0 Introduction

- 1.1 Bicester Heritage are seeking planning consent for change of use in regards to Building 119, (The FFMT Shed), as part of their RAF Bicester Technical Site re-development.
- 1.2 The Planning Consent application is supported by this Design & Access Statement and the application drawings submitted via JPPC Chartered Town Planners.
- 1.3 Please refer to 'Planning Statement' & covering letter for further details regarding planning policy as submitted by JPPC Chartered Town Planners as part of this application.

## 2.0 Context Assessment

### Site Description

- 2.1 The applicants, Bicester Heritage, acquired the entire Technical Site of RAF Bicester in 2013. The application site comprises a slightly sloping plot of land within the Technical Site, west of the airfield, and includes Building 119 (FFMT Shed). Please refer to the submitted site plan for further details.
- 2.2 The planning application is for the change of use from Ministry of Defence to B2 general industrial and A1 showroom/retail use. The proposed change of use from Ministry of Defence use to B2 general industrial / A1 showroom/retail use has been discussed with Conservation Officer Rose Todd prior to application.

### Planning history and existing lawful use

- 2.3 RAF Bicester was a Ministry of Defence establishment and has a well recorded planning history with the adjacent Domestic Site having gained approval for residential re-development. In respect to the Technical Site recent applications regarding trees have been made; 13/00137/TCA, 13/00301/TCA, PP-03153703, PP-02966305 & PP-02986817. Prior to Bicester Heritage's involvement with the Airfield the following applications were submitted: 96/02071/GD, 03/00719/GD, 05/00017/SO & 08/01797/F.
- 2.4 This application is submitted as part of a series of applications proposing a change of use from Ministry of Defence use to predominantly B1 workshop, research & development & office uses for the majority of buildings within the Technical Site. Previous applications have included Buildings 82, 87,90, 96, 99 & 102 for which full approvals have been received.

### Planning policy context

- 2.5 The proposals accord with relevant local & national planning & conservation policies.
- 2.6 Please refer to 'Planning Statement' & covering letter for further details regarding planning policy as submitted by JPPC Chartered Town Planners as part of this application.



View from the west



View from the north west





View from the south



View from the north



Rear elevation from north west



Rear elevation from south east



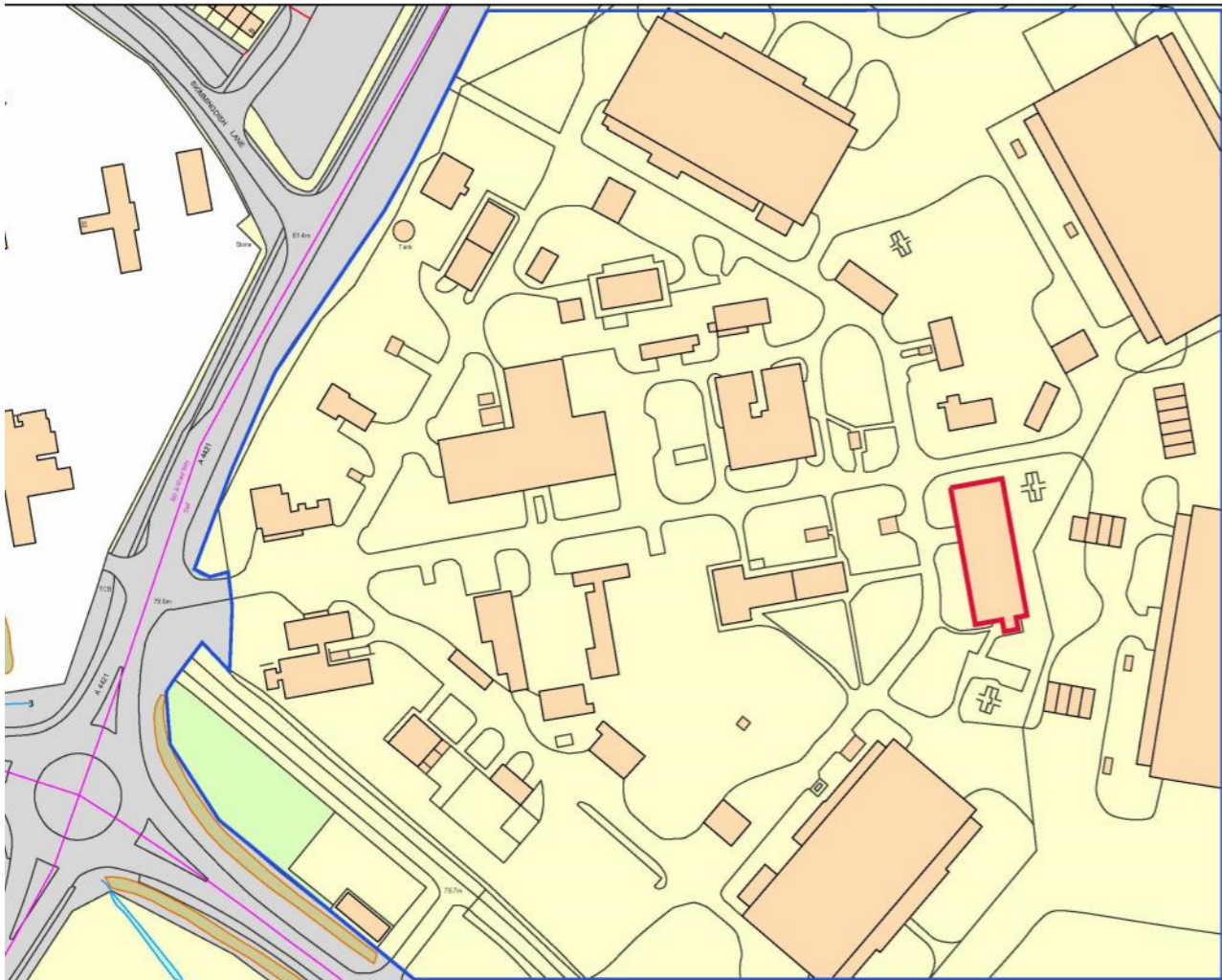
## 3.0 The Proposals

The external building works for Building 119 include:

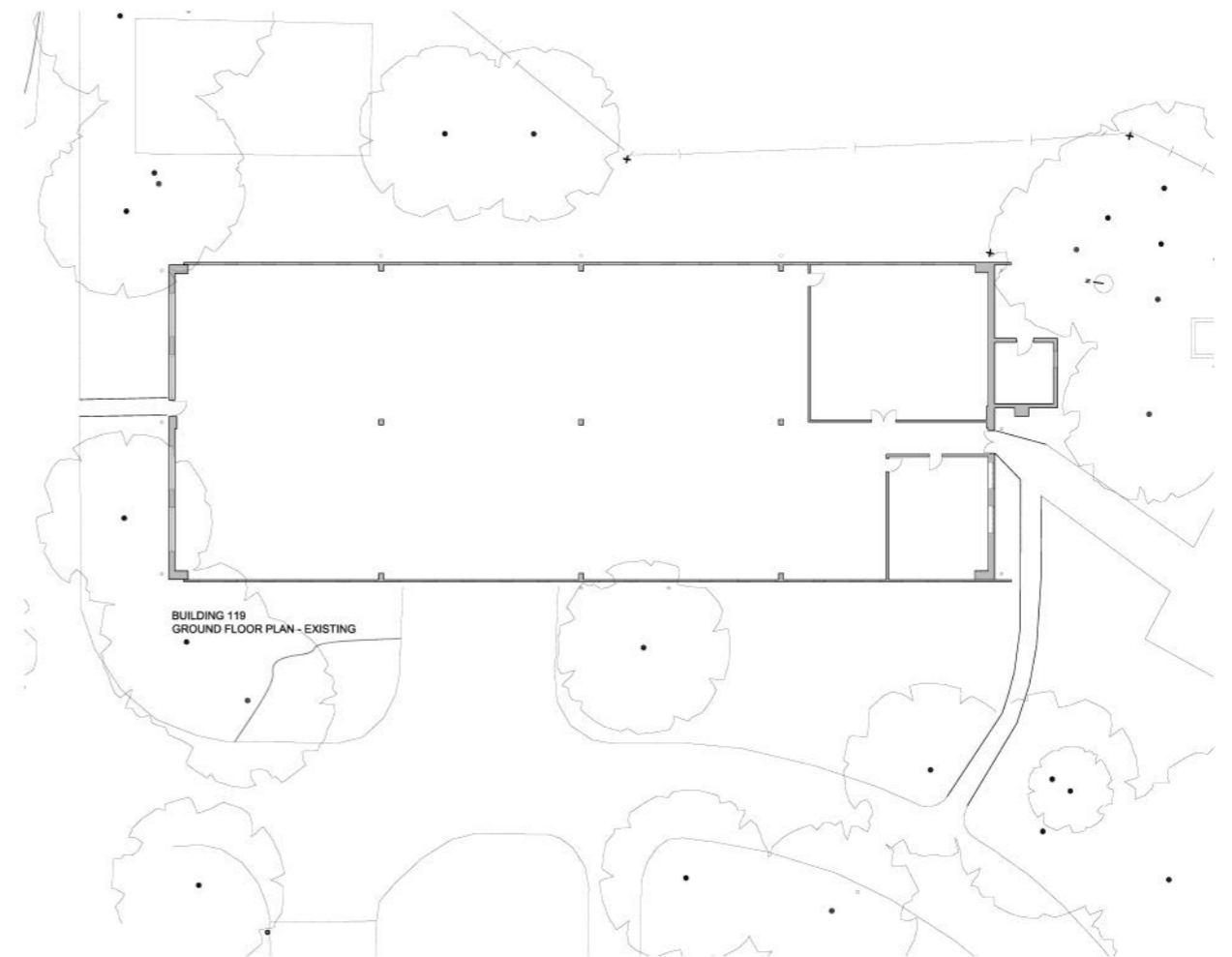
- Removal of existing grey slate roof with replacement of traditional profile corrugated sheet roofing incorporating roof lights and insulation
- Removal of existing cladding, support structure and windows and with replacement of traditional profile corrugated sheet metal similar to both west elevation (front) and east elevation (rear)
- 3 new roller shutters and new metal windows to the west elevation (front)
- New metal windows to east elevation (rear)
- Insulation incorporated within the façade
- Repair / restoration work to facades, rain water goods and openings

The external landscaping works for Building 119 include:

- Removal of a sycamore tree to the west elevation (front)
- New tarmac to serve new entrances to the new tenancies to the west elevation (front)



Building 119 site location plan



Building 119 existing plan

## 4.0 Appearance

- 4.1 The existing metal sliding doors on both the west (front) and east (rear) have been relocated from another building and being re-used on 119. As they are not part of the original existing building, the removal of the existing sliding metal doors and the newly proposed metal cladding to both the facades will create a closer resemblance to the original existing building.
- 4.2 The proposed traditional sheet metal profiled cladding will be similar to the existing traditional iron sheet profiled cladding on Building 79, an existing building within the Bicester Heritage Technical site.
- 4.3 The proposed roller shutters will be of a Brunswick green, one of the colours that were used on the existing buildings during the Second World War,



Traditional corrugated iron cladding on Building 79



Brunswick Green coloured roller shutter



## 5.0 Analysis of the Planning Issues

### Principle of development

- 5.1 The proposed change of use accords with local & national planning policy and is proposed within the context of a Heritage Partnership Agreement currently being developed by Bicester Heritage in discussion with Cherwell District Council & English Heritage.

### Conservation area character

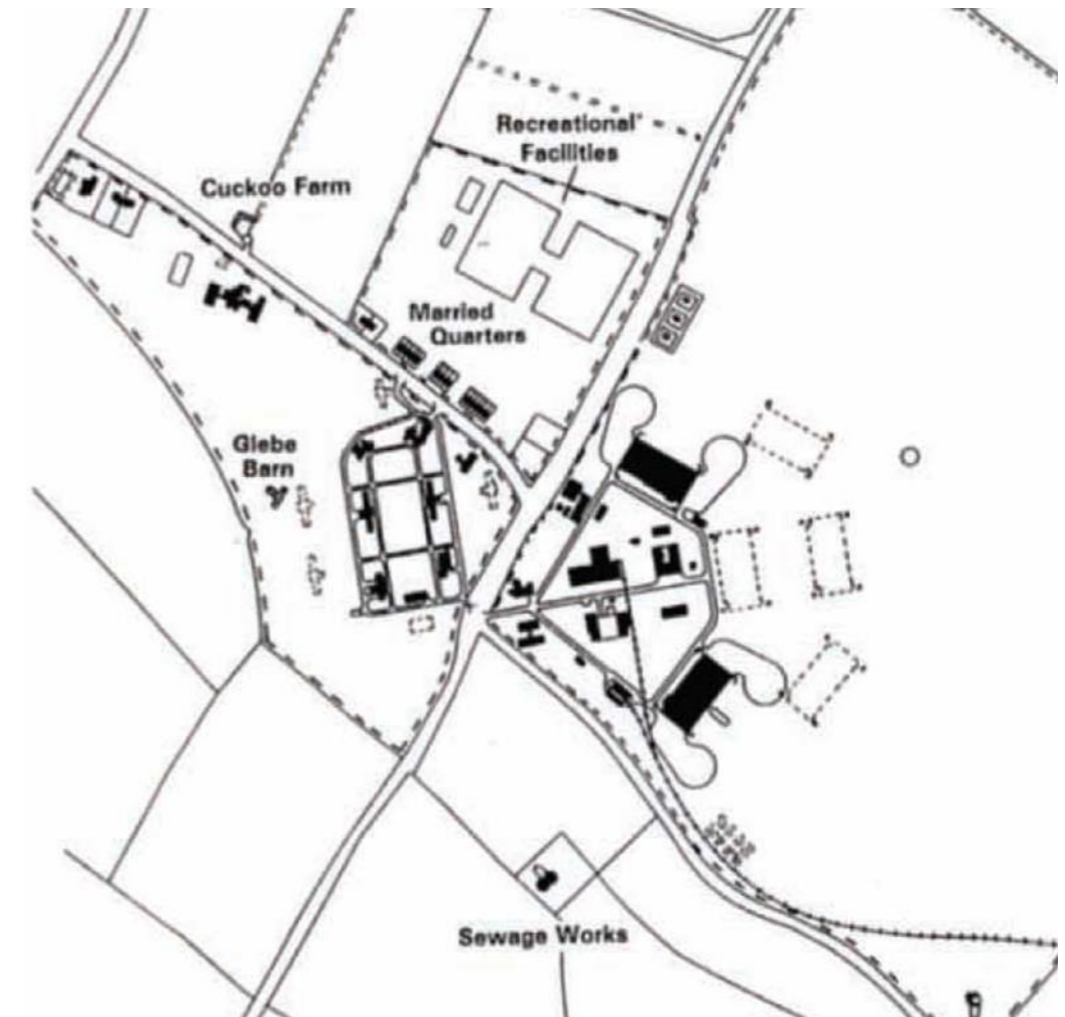
- 5.2 The FFMT Shed, Building 119 lie within the RAF Bicester Conservation Area which includes both the Domestic & Technical sites and the airfield. The character of RAF Bicester was unified by its function as a military station. The proposals aim to preserve the character of the conservation area by renovating & re-utilizing the original buildings. It is intended that the proposals will have a beneficial impact on the character of the surrounding area and will start a rolling programme of similar development across the Technical Site guided by an evolving Heritage Partnership Agreement.

### Vehicular access

- 5.3 The proposals will utilise the existing access, but additional access points are proposed to serve the new individual tenancies created within the building. It is proposed to layout & finish the new access areas in tarmac to match the existing adjacent access arrangements, and retaining grassed areas as much as possible.

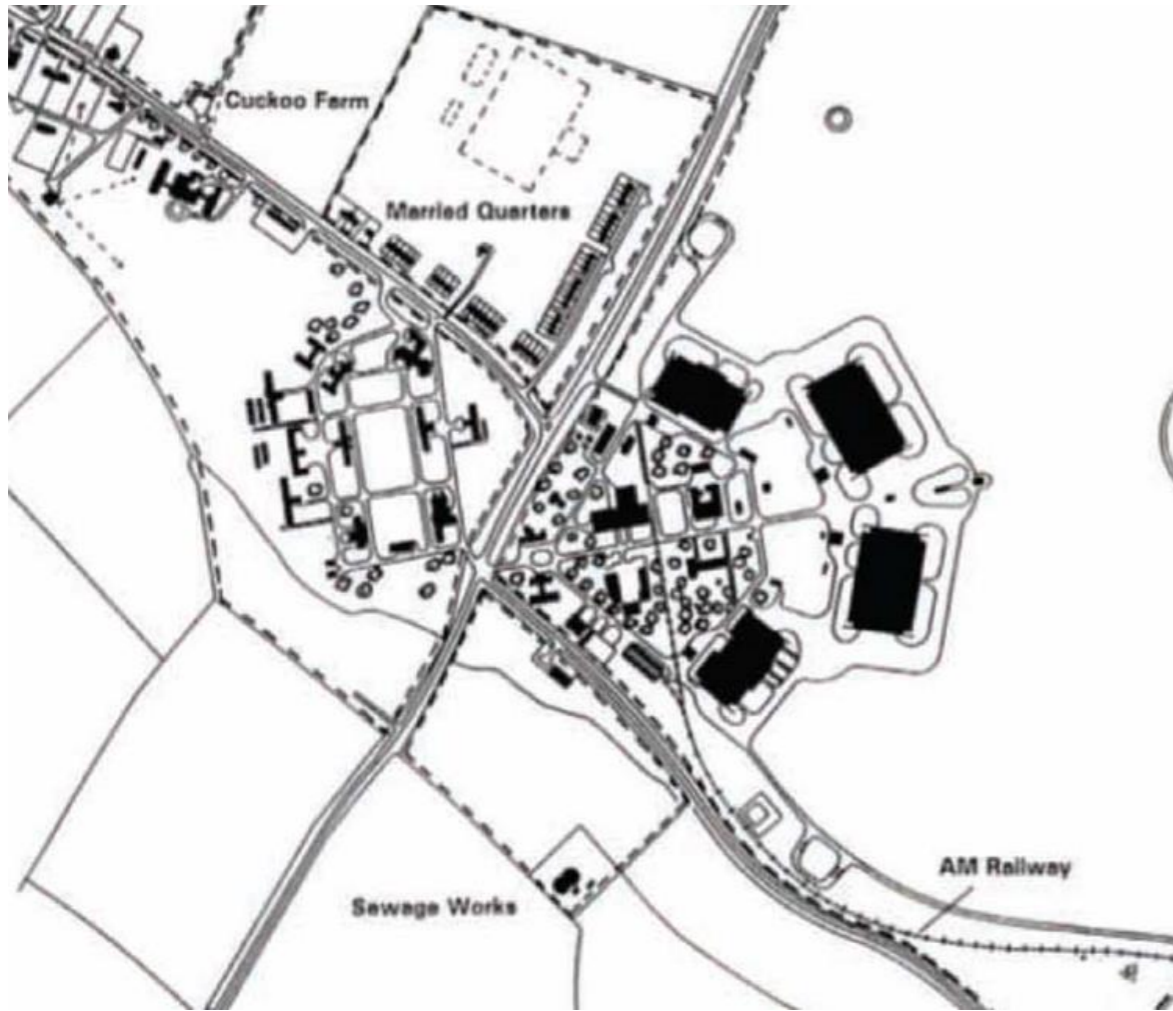
### Tree removal

- 5.4 A sycamore tree at the west elevation (front) is proposed to be removed. Refer to proposed plan and tree report for further information.



Technical Site plan 1926





Technical Site plan 1939



Technical Site plan 1945



## 6.0 Access Statement

### Amenity Access - Urban Context

- 6.1 The site has existing level vehicular access from Buckingham Road, and it is considered that the proposals do not impact on the existing vehicular access and do not add to the original parking requirements of the building.
- 6.2 The site is well served by public transport with a selection of bus routes within easy walking distance. Additionally Bicester North railway station is only a fifteen minute walk away, with taxi services available.
- 6.3 There is good cycle access to and within the Technical Site with secure cycle storage available within the proposed workshops.

### Vehicular access

- 6.4 There is no proposed change to the existing arrangement in regards to vehicular access to the Technical Site or within the Technical Site. The proposed B1 workshop/A1 showroom use is considered comparable to the previous Ministry of Defence use and consequently the existing vehicular access provision is considered adequate.
- 6.5 The proposals however do include revisions to the access in and around the building to accommodate the revised layout & serve the individual tenancies created. There will be improved access from the existing Technical Site roadways up to the new proposed entrances. It is intended that DDA compliant access will be introduced wherever possible.

### Internal circulation

- 6.6 There is no level change to access to the main entrances of Building 119. All the accommodation is at ground floor level.
- 6.7 All internal doorways will be decorated with contrasting colours for frame & leaf for better visibility.
- 6.8 All proposed toilet facilities will be DDA compliant wherever possible, conforming to Part M of the Building Regulations.



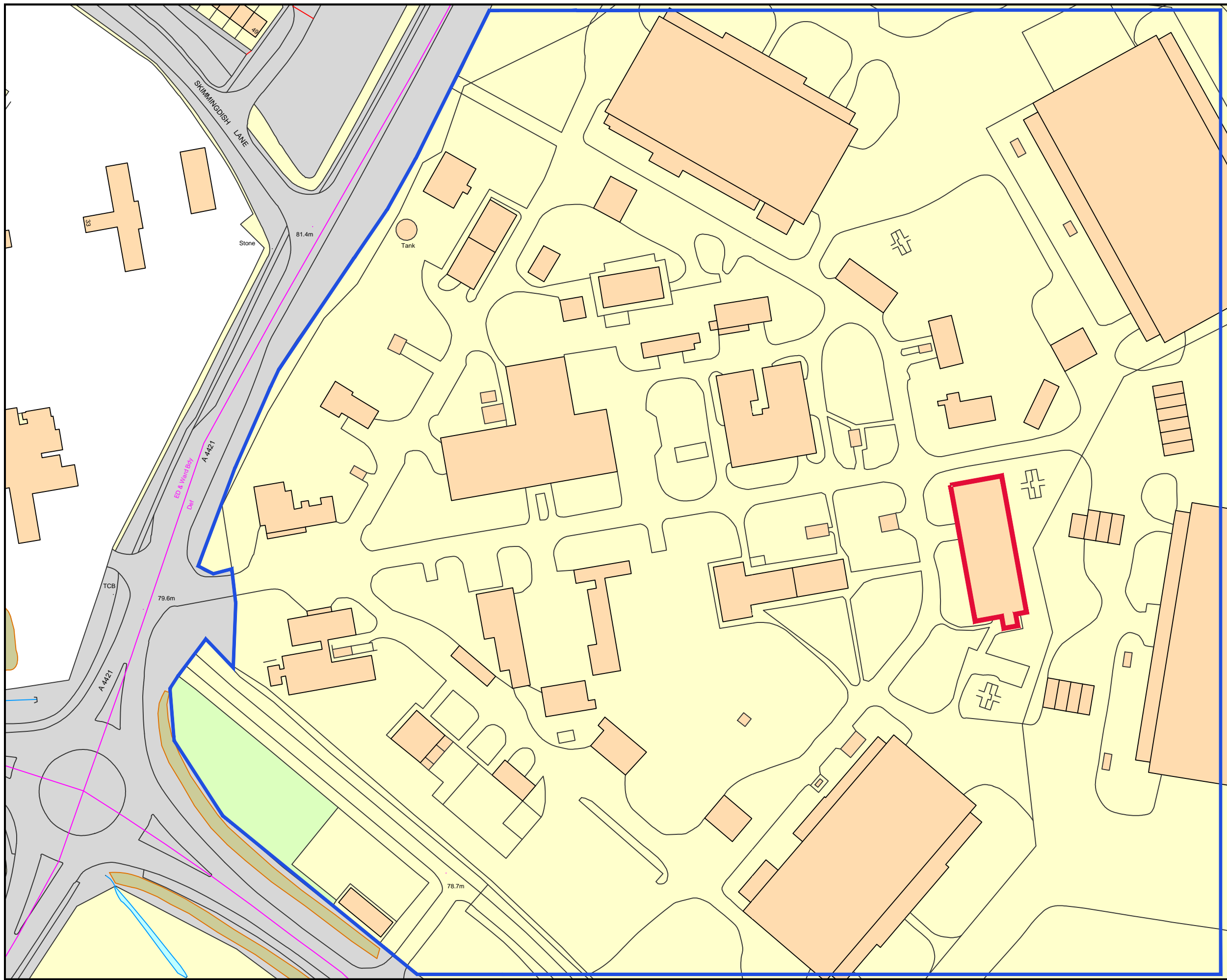
## 7.0 Design & Access Statement Conclusion

- 7.1 The proposed schemes will breath new life into the building and enable it to provide a beneficial, & viable, new use that compliments the building's original use, form & character.
- 7.2 The proposed scheme will be fully DDA compliant, and will conform with Part M of the Building regulations wherever possible, so that the renovated buildings is fully accessible inside & out.



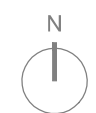
## 8.0 Appendix





rev	date	initials	revision	checked

Planning



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Client

Bicester Heritage

Project

Bicester Heritage  
Technical Site

Title

Site Location Plan  
Building 119  
Planning

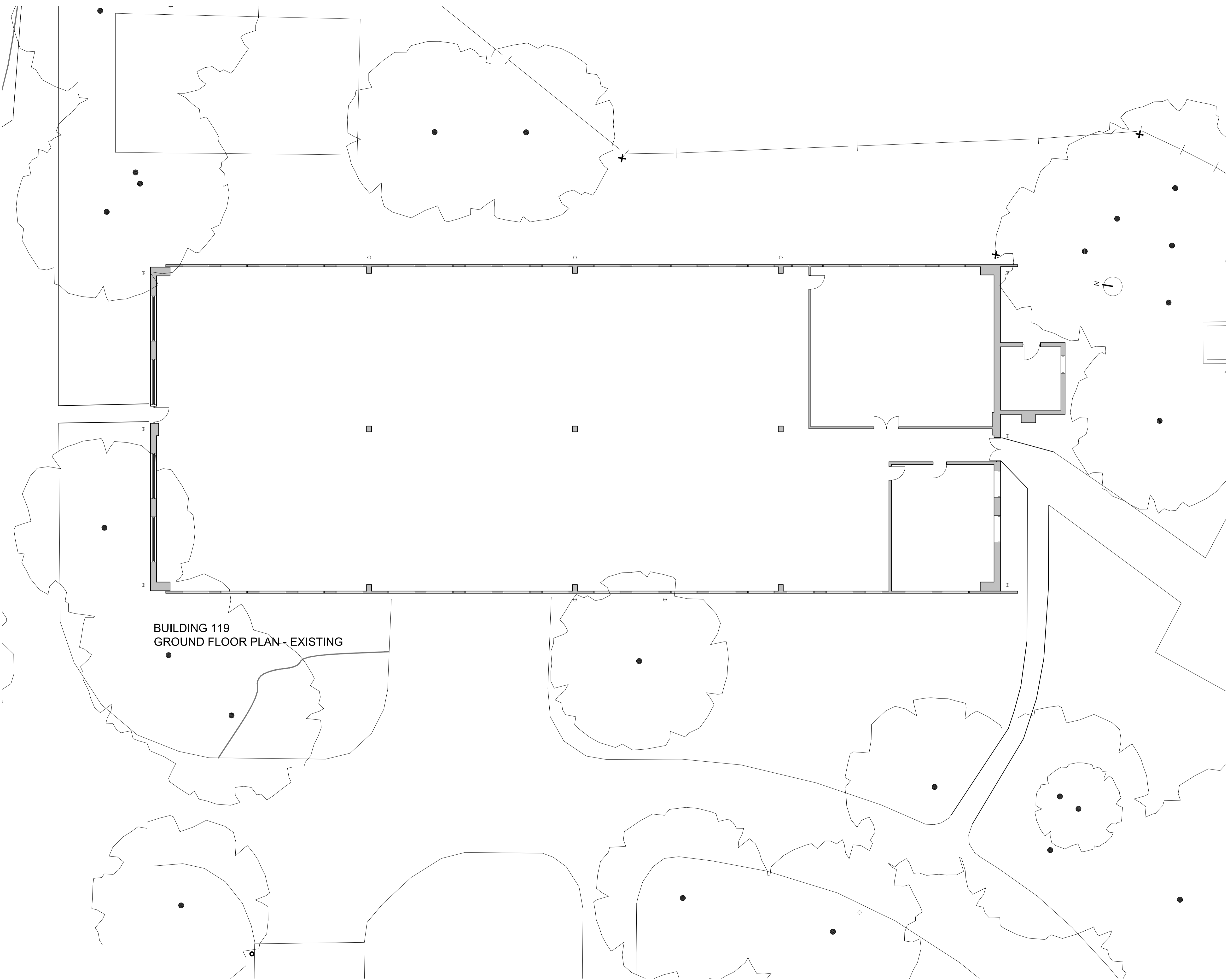
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Site Location Plan - 119







BUILDING 119  
GROUND FLOOR PLAN - EXISTING

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Client  
**Bicester Heritage**

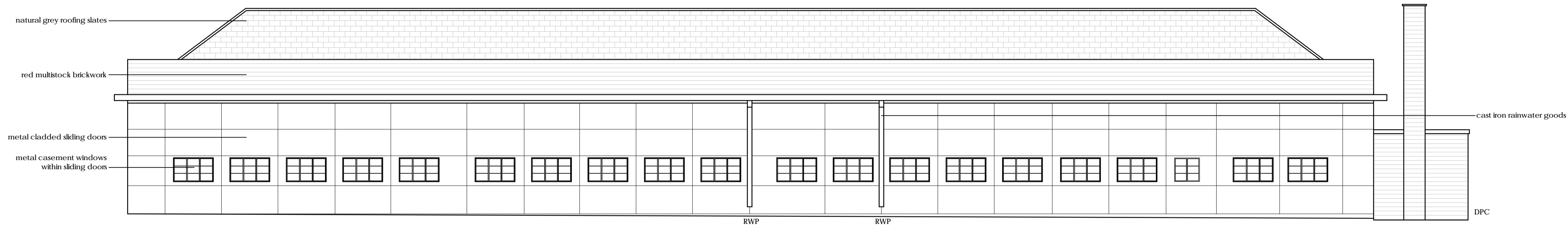
Project  
**Bicester Heritage**

Title  
**Ground Floor Plan  
Existing  
Planning**

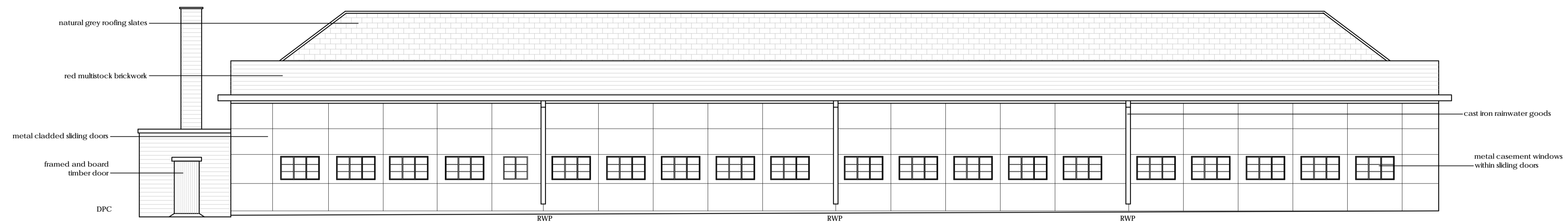
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# Existing Ground Floor Plan



**BUILDING 119**  
**WEST ELEVATION - EXISTING**



**BUILDING 119**  
**EAST ELEVATION - EXISTING**



**BUILDING 119**  
**NORTH ELEVATION - EXISTING**



**BUILDING 119**  
**SOUTH ELEVATION - EXISTING**

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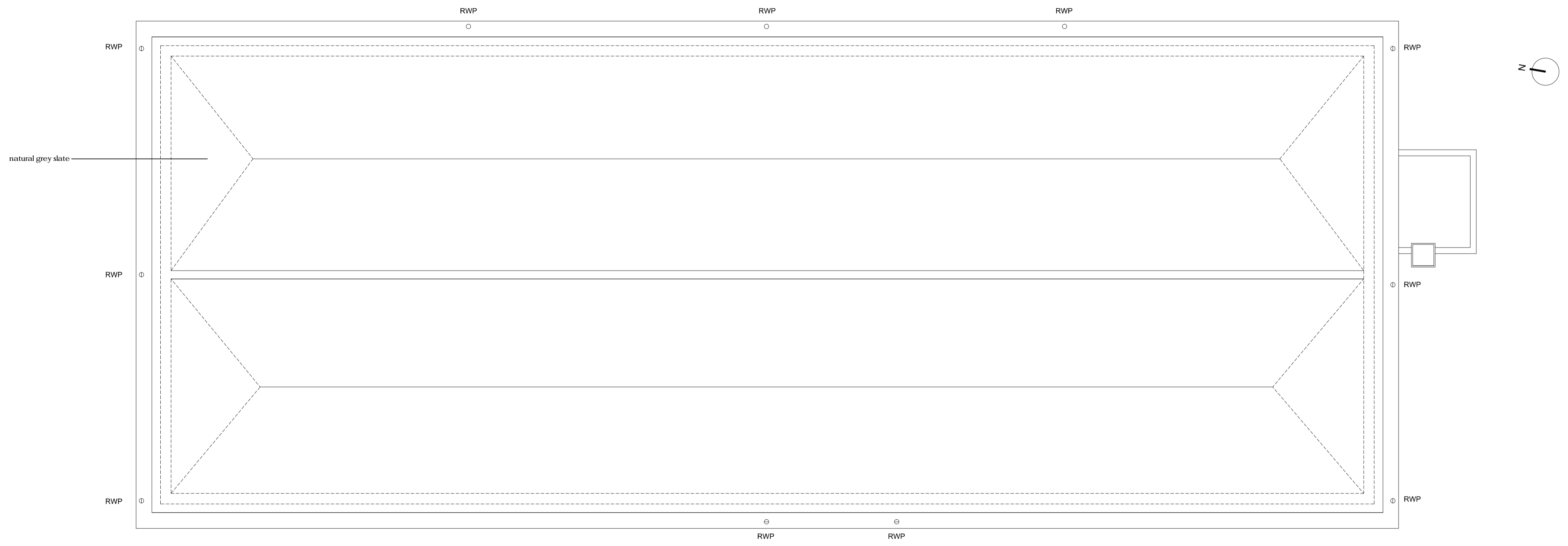
**Project**  
Bicester Heritage

**Title**  
Elevation  
Existing  
Planning

Drawing No	Rev	Drawn	Date	Scale
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**BUILDING 119**  
Roof plan - existing (assumed only)

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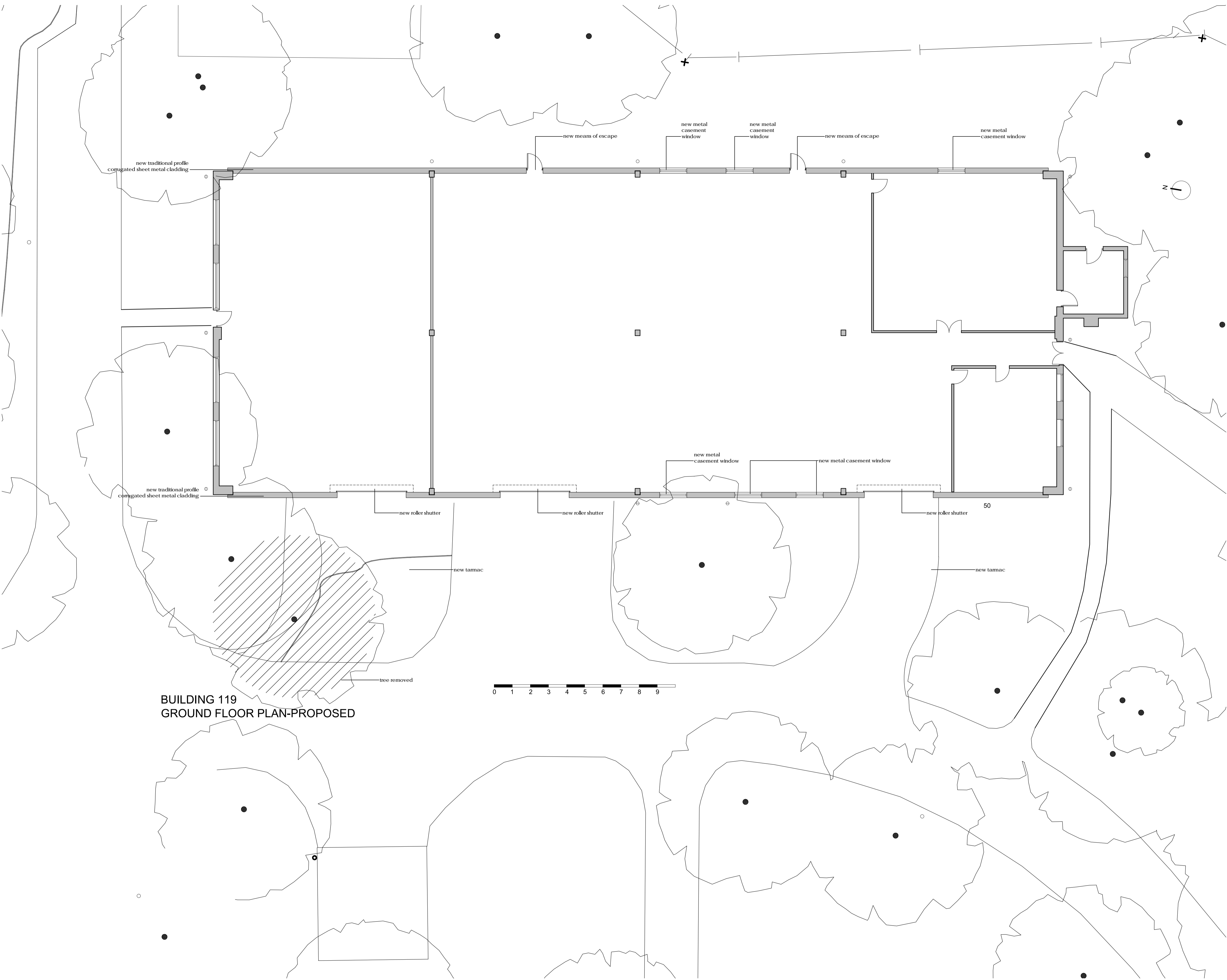
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Bicester Heritage

**Title**  
Roof Plan  
Existing  
Planning

Drawing No	Rev	Drawn	Date	Scale
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# Existing Roof Plan



**BUILDING 119  
GROUND FLOOR PLAN-PROPOSED**

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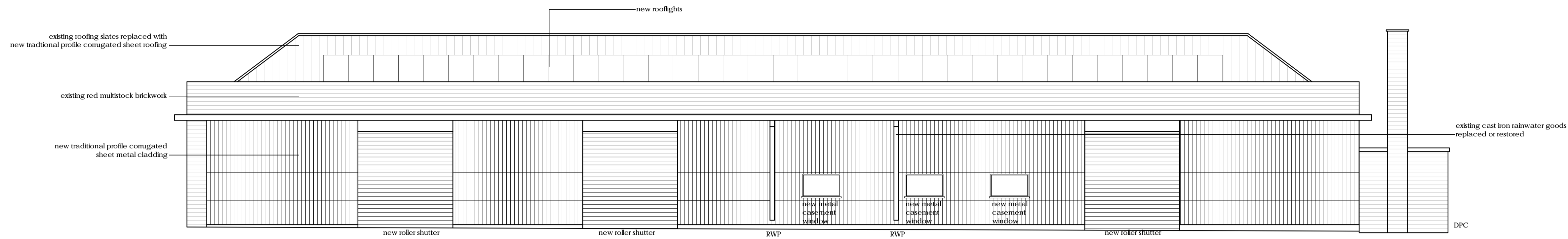
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Bicester Heritage

**Title**  
Ground Floor Plan  
Proposed  
Planning

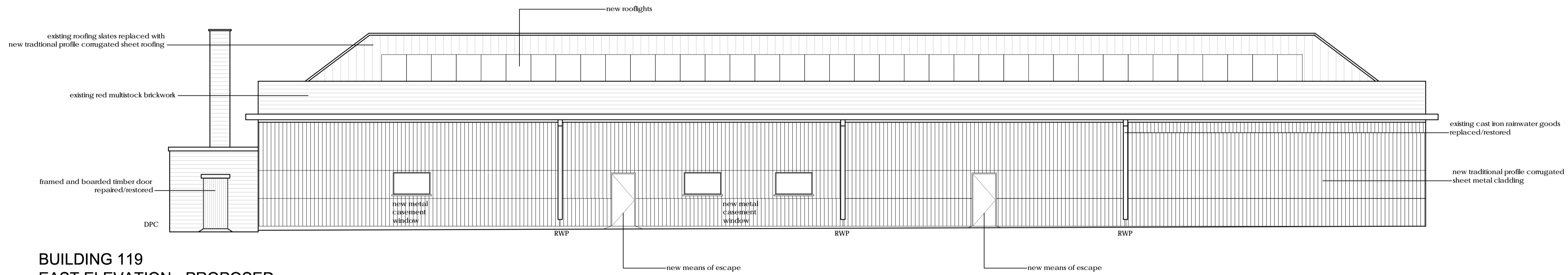
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**BUILDING 119  
WEST ELEVATION - PROPOSED**



**BUILDING 119  
EAST ELEVATION - PROPOSED**



**BUILDING 119  
NORTH ELEVATION - PROPOSED**



**BUILDING 119  
SOUTH ELEVATION - PROPOSED**

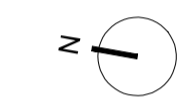
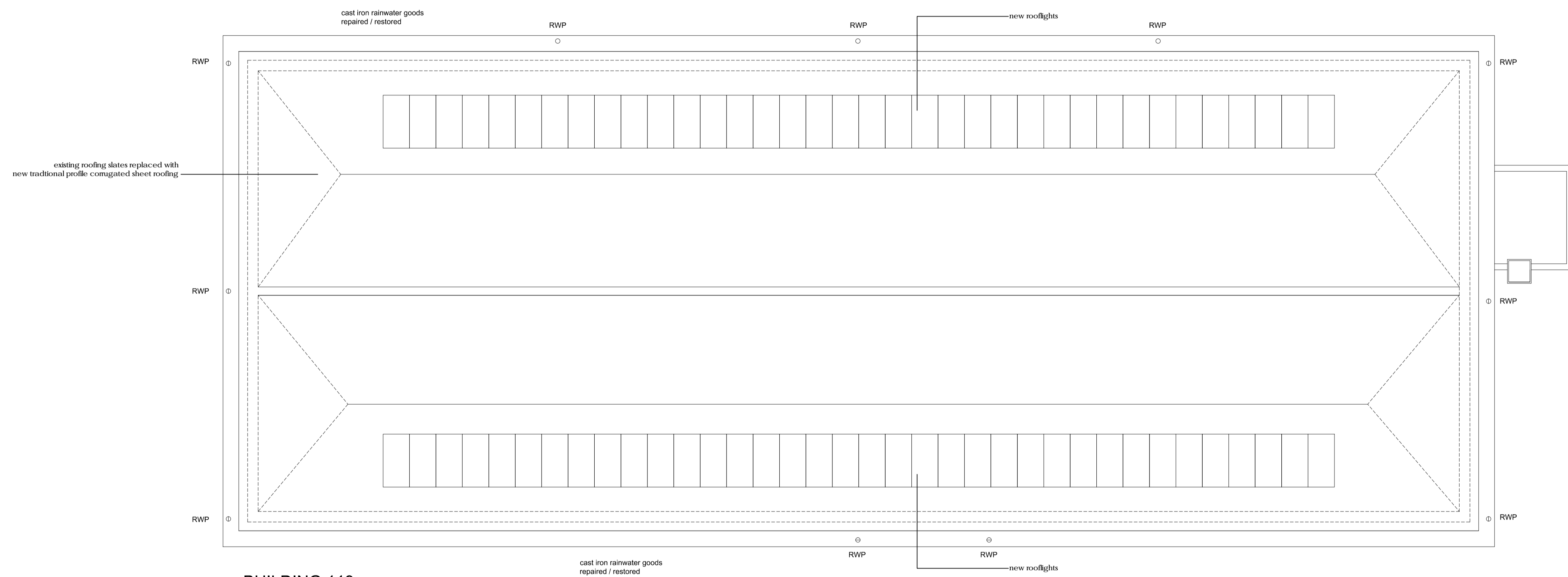
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Client  
**Bicester Heritage**

Project  
**Bicester Heritage**

Title  
**Elevation  
Proposed  
Planning**

Drawing No	Rev	Drawn	Date	Scale
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**BUILDING 119**  
Roof plan - proposed

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**Project**  
Bicester Heritage

**Title**  
Roof Plan  
Proposed  
Planning

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# Proposed Roof Plan



architecture ▪ masterplanning ▪ sustainability

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