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“Design Statement”
to accompany the following application:-

Proposed extension, renovation and alterations
Yew Tree House - Sibford

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Date: 6 January 2016



This photograph shows the frontage of Yew Tree House. It should be noted that this view is not available from any public location and is taken within the garden of the property.

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Existing property:

Yew Tree House is a detached stone constructed three-storey property. The house is listed and is set within a Conservation area.

The house is incredibly hard to see from any public view point, despite it being raised considerably higher than the street level it is very much hidden by the fact that it is considerably set back from the road and is located behind a combination of high level natural stone walls, mature trees and planting. The property is visible from the road, however only minor aspects of the building are seen from the road frontage.

It is my understanding that the property has been let by the previous owners for somewhere in the region of the last 40 years. As a consequence of the owner not actually living at the property, it has suffered from neglect. The building is not structurally failing in anyway, but it is very “tired” with only very minimal maintenance and repair items being carried out over the years. The property has been altered during this time including the installation of external drainage details and modern windows within the dormers as well as various elements of update and repair internally. The property is roofed with natural slate to the main roof.

To the rear of the property is a series of outbuildings that look to be original, these buildings have been very much neglected over more recent years with an ivy creeper being allowed to take hold in a very strong way. This has not only grown over the stonework but also covered the entire roof structure and very much penetrates the roof inside the building and right the way through the existing timber structures.



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**Existing
photographs:**



Design statement:

My clients Mr and Mrs Roger Mallows, have only recently purchased the property. The property is in such a state that they are not able to live in it at the moment and therefore are currently living in a rented property within a short walk of Yew Tree House.

Mr and Mrs Mallows have owned, renovated and extended a previous listed building and have purchased this house as their retirement property for their long-term future. They were fully aware when purchasing the property that it is listed and that relatively substantial renovation works are going to be required to bring this property into good order.

In addition to renovations my clients would like to create an extension to the property enabling them to install a comfortable size open family kitchen to the ground floor and to create an en-suite bathroom to the first floor, providing them with a good sized master bedroom suite.

As well as an extension element my clients would like to renovate the attached outbuilding structure. This building has been very badly neglected over the last 40 years and my clients would like to bring it back into use and create a utility/boot room area from this existing space, as well as convert the single storey element that has been used previously as a kitchen into a study.

“ We have spent a good deal of our previous life living in and managing with a beautiful listed property in the West Country. We spent a great deal of time and energy carefully restoring the property and very much enjoyed the experience.

Now that we have decided to retire we wanted to move to this area to be nearer family and friends and have spent the last couple of years looking for a property that we could restore and enjoy our retirement. We are both very keen gardeners so we also wanted a property with good garden potential.

We completely fell in love with Yew Tree House and the village of Sibford as soon as we saw the property. We could see that it had been neglected for many years and are very much looking forward to restoring the house.

The house whilst looking large from the front elevation has actually quite a small internal layout and doesn't quite suit what we would like to achieve. We therefore are looking to create an extension to form a family kitchen space and create a much-needed ensuite bathroom over the extension.

We are very conscious that we don't like the idea of trying to fit a modern kitchen within a traditional house like this and therefore feel that the creation of an extension will allow us to put the modern elements into the extension and leave the main fabric of the existing house relatively unchanged.

One critical aspect of the proposed extension for us, is for the ability to look into the garden to both the front and rear from the extension itself. We will be spending a great deal of time in the garden and would like to have the benefit of being able to see the garden from the house in the main room that we intend to live in”

- Mr and Mrs Roger Mallows.

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Design progression:

A detailed set of existing drawings have been prepared, these consist of a full topographical survey of the entire garden area surrounding the property, taking in not only the front garden, but also the garden walls enclosing the side garden in particular. The topographical survey was then integrated within a detailed survey of the existing house that I prepared to include the ground floor, first floor and second floor plans, all at the large scale of 1:50 along with detail elevations at the scale of 1:100.

In addition to two-dimensional drawings we have also prepared perspective sketch views, we feel these perspective sketches help fully understand the overall look of the property. We very specifically try and choose realistic viewpoints of the building when preparing the perspectives.

During the early stage of this project, we employed the services of a well-respected property historian Mr Nicholas Worlledge. I have worked with Nick on many projects in the past and very much trust his historical judgement. Before undertaking any design work whatsoever, Mr Worlledge arranged to undertake a detailed inspection of the building and prepared his full historical report. This report is included as part of the overall planning submission.

Proposed work:

The work that we wish to discuss as part of this application is in fact in two stages. The first being the proposed extension and the second being the renovation and alterations to the existing building. These are described under separate headings below.

Extension concept:

Both myself and Nick Worlledge met with Mr and Mrs Mallows onsite before any design works were carried out. We took time to examine the building and consider all different aspects of the building to understand where an extension could best be placed. We concluded that an extension to the gable end on the eastern end of the existing property would be the best place to create an extension and under the guidance of our building historian, we produced concept design sketches that were then discussed with the client.

Although we proposed to construct the extension using natural stone, we are also proposing that the stonework itself is dressed differently to that of the main house. The main house is constructed from "cut



The image above shows the main frontage of the house viewed from inside the front garden.

The existing extension can be clearly seen on the left-hand side with the proposed extension on the right-hand side, this image clearly shows that the main symmetrical frontage of the property remains the focus of this house.

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The image above shows the frontage of the building with the proposed extension to the right hand side. This view is only visible from within the confines of the property.



The image above shows the overall rear of the property, the extension can be seen to the left-hand side beyond the stone garden wall.

stone” whereas the existing single-storey extension on the opposite side of the house is still constructed with Hornton stone, but the stone is of a “chopped” appearance. We suggest that the new extension is constructed in the same way, this gives the extension a subservient and less grand feel and allows the main core of the house to remain the focus point.

We have very specifically set the extension in from both the front and rear elevations, so that there is a very clear separation from the existing building to the proposed extension. We also stepped down carefully from the existing floor level into the extension. The extension is visible from the main front/South elevation from within the garden, but remains virtually hidden from any public view.

The design principle behind the proposal is to create an extension that contains the modern elements of the house. We therefore are including the kitchen on the ground floor of the extension so that the existing ground floor rooms of the property can remain unchanged.

At first floor level we have decided to incorporate an ensuite with integrated dressing room area over the top of the proposed kitchen. This negates the need for trying to subdivide any of the existing first floor rooms to try to incorporate an en-suite.

The extension has been carefully designed to carry across some of the detail from the existing building, including the roof pitch and roof finish as well as the style of the dormer windows. To the rear of the main extension a hidden structure sits carefully below the height of the existing stone boundary wall and provides a larger ground floor footprint to the extension.

Following a pre-app meeting and exchange of documents, the detail of this single-storey element was updated to incorporate a modern glazed roofing panel, rather than a raised glass roof lantern. We have also incorporated a slim profile roof detail which is only visible partly from the integrated garden courtyard and adds a modern aspect of the proposed extension, but without being obvious or intrusive.

Works to the garden wall:

As part of our pre-app discussions we also proposed a series of openings within the existing garden wall. These openings have now been revised and changed within the details submitted scheme as the penetrations were considered too much by the Conservation Officer. We have simplified the openings so that we are providing just one window from the kitchen looking into the rear garden, the style of the window now matches the style of the windows in the existing single-storey outbuilding, rather than matching the style of the main rear elevation of the house.

We have proposed to introduce a single pedestrian opening within the garden wall providing a link from the self-contained courtyard, directly into the rear garden. This pedestrian opening is to be an external door/gate in a similar style to the existing gate formed on the side of the same wall.

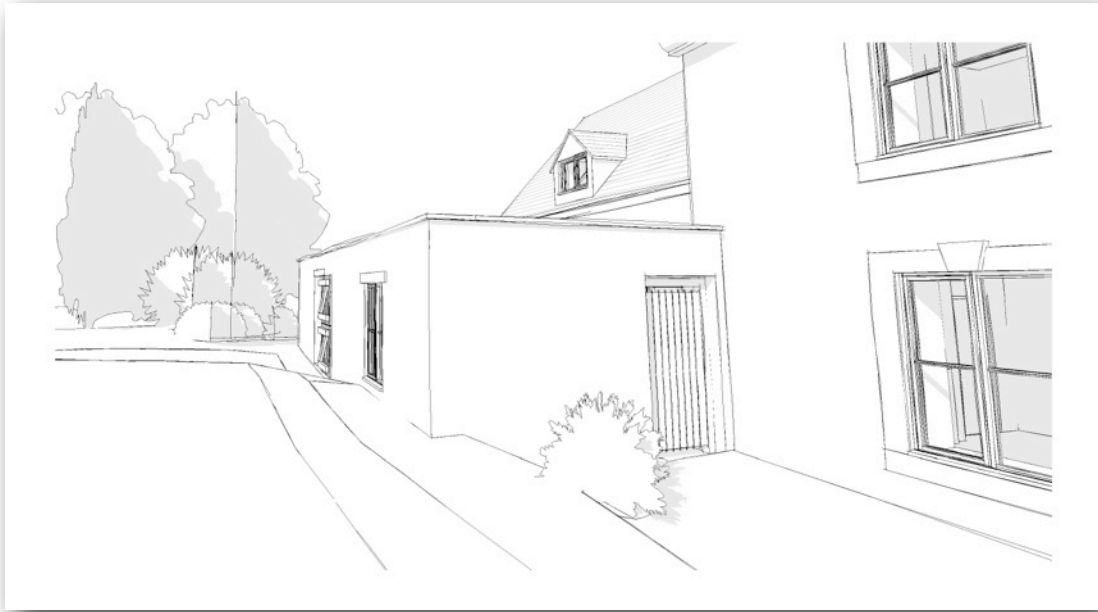
As part of the submission details we have included a report prepared by the locally respected structural engineer Andrew Baxter. Andrew has visited the site and his report is as a result of the site visit.



The image above shows a close-up view of the garden wall with the window and new pedestrian gateway installed in the wall. The proposed two-storey extension is then visible beyond the wall

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The image above shows the garden wall which acts as shield hiding the extension from the rear, This image shows the new ateway style door that leads into the proposed kitchen, you can also see the new window and new pedestrian gate in the rear facing element of this wall



The image shows the single-storey element from the hidden courtyard, this is a glazed contemporary opening viewing onto the courtyard. To the right hand side of this image you can see the pedestrian gateway which is to be formed within the garden wall, the gate in this view is shown swung open.

Renovation and alterations:

In addition to the extension we also propose to undertake significant renovations and minor alterations to the existing listed building.

As part of the initial pre-app submission we explored discussions with regard to the listed building officer's opinion on various internal aspects within the existing property, as well as a few minor external aspects.

Following those discussions a schedule of works document has been prepared and is included as part of this overall planning application. The works shown in the schedule are intended to be carried out as part of this planning/listed building work.

Bat report:

As part of the pre-app advice, the Conservation Officer requested a bat report to be carried out prior to the work on the existing single-storey outbuildings. This single-storey structure is overgrown with ivy.

As part of the submission details we have included a bat report undertaken by Swift Ecology and the conclusion of the bat report is that there is a very low likelihood of any bats within this existing structure and that no further survey work is required. The ecologist has noted precautionary measures during the works/repairs.

Conclusion:

We have been very careful when creating this proposed design and have sought the advice at an early stage of a well respected and recognised Building Historian and have used his advice to help create the proposed design.

Once we had a principal design created we then submitted a pre-app to the local authority. The results of which were a site meeting with both the Planning Officer Mr Bob Neville and the Listed Building Officer Mrs Joyce Christie. Following the pre-app, feedback was received predominantly from the Listed Building Officer which was then incorporated within the proposed designs that are now submitted as part of this application.

We feel we have been very mindful of the historic fabric of the building and the historic nature of both the internal and external appearance of the overall structure.

Report ends

Please note:

This design statement is to be read alongside the following additional documents:

Historic building report

Schedule of works

Existing drawing sheets

Proposed drawing sheets