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Development Technical
Consultants

UTILITIES



Land West of Fringford Road, Caversfield
Utilities Assessment
December 2023

Report Ref: 27877-UTIL-0701

Land West of Fringford Road, Caversfield Utilities Assessment December 2023

REPORT REF: 27877-UTIL-0701

CLIENT: Richborough

ENGINEER: MEC
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REGISTRATION OF AMENDMENTS

Date	Rev	Comment	Prepared By	Checked By	Approved By
December 2023	-	First issue	Emma Harris Utilities Coordinator	Nathan Allen MEnvSci Senior Environmental Consultant	Alexander Bennett BSc(Hons) MCIHT MTPS Managing Director

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CONTENTS

1.0	INTRODUCTION	4
2.0	EXISTING SERVICES	6
3.0	SERVICES SUPPLY	7
4.0	DIVERSIONS AND PROTECTION OF APPARATUS	9
5.0	SUMMARY	10

APPENDICES

A.	SITE LOCATION PLAN
B.	PROPOSED SITE LAYOUT
C.	THAMES WATER – WASTE WATER AND CLEAN WATER
D.	SGN - GAS
E.	SCOTTISH & SOUTHERN ELECTRICITY NETWORK - ELECTRICITY
F.	OPENREACH - TELECOMS
G.	GTC – MULTI UTILITY
H.	UTILITY CONSTRAINTS PLAN – 27877_07_010_01

1.0 INTRODUCTION

- 1.1 MEC has been commissioned by Richborough (hereafter referred to as ‘the Client’) to undertake a Utilities Assessment for a proposed residential development at Land West of Fringford Road, Caversfield (hereafter referred to as ‘the Site’). A site location plan is provided in **Appendix A** and a sketch masterplan contained within **Appendix B**.
- 1.2 The development proposals comprise the demolition of existing structures and erection of up to 99 dwellings, access, open space and associated works (outline, all matters reserved save for access)
- 1.3 This assessment seeks to establish how the proposed development will be serviced with key utility supplies, whether diversion or protection of existing apparatus may be required and estimated costs for service connection and diversion works, where available.
- 1.4 Consultation has been undertaken with key Statutory Undertakers to establish:
- Available capacity within existing infrastructure;
 - Required capacity improvement works to accommodate the development;
 - Required diversions of infrastructure to accommodate the proposed development;
 - Any required easements;
 - Service connection locations; and
 - Service connection costs.
- 1.5 Consultation has been undertaken with the following Statutory Undertakers:
- Thames water (sewerage and clean water provider for Caversfield);
 - SGN (gas);
 - Scottish & Southern Electricity Network (electricity);
 - Openreach (telecommunications);
 - GTC (multi utility connections).
- 1.6 Consultation responses received from Statutory Undertakers are included within **Appendices C-G**. A services constraints plan has been produced from the apparatus plans, and is provided in **Appendix H**.
- 1.7 Following this introductory Section of the report, **Section 2.0** details the existing utilities infrastructure in the vicinity of the site, **Section 3.0** details proposed future supply to the site and **Section 4.0** provides details on requisite diversions and easements. A summary of information is provided within **Section 5.0**.

Disclaimer

- 1.8 MEC has completed this report for the benefit of the individuals referred to in paragraph 1.1 and any relevant statutory authority which may require reference in relation to approvals for the proposed development. Other third parties should not use or rely upon the contents of this report unless explicit written approval has been gained from MEC.
- 1.9 MEC accepts no responsibility or liability for:
- a) The consequence of this documentation being used for any purpose or project other than that for which it was commissioned;
 - b) The issue of this document to any third party with whom approval for use has not been agreed.

2.0 EXISTING SERVICES

2.1 Formal requests have been made to relevant utility companies for a copy of their existing asset plans for the proposed development area. The following table summarises the Statutory Undertakers that have been approached, their response and likely requirements for diversion or extra protection measures of any existing apparatus. Further information on the diversion and extra protection of the affected apparatus can be found in Section 4.0 of this report.

Table 2.1 : Existing Services Summary

Service	Statutory Undertaker	Response Received?	Area Affected?	Diversion/Protection Required?
Foul Water	Thames Water	Yes	Yes – 150mm foul sewer located within the carriageway of Fringford Road	Yes – Refer to Section 4.0
Clean Water	Thames Water	Yes	Yes – Clean 16” trunk main within the western verge of Fringford Road. 250mm clean water main within the access road to development.	Yes – Refer to Section 4.0
Gas	SGN	Yes	Yes – Low pressure gas main within the western verge of Fringford Road	Yes – Refer to Section 4.0
Electricity	National Grid Electricity Distribution	Yes	Yes – Overhead HV (11kV) cable that enters the site from north east crossing to the south east.	Yes – Refer to Section 4.0
Electricity/Gas	GTC	Yes	No	No
Telecoms	Openreach	Yes	Yes –Overhead supply within the site boundary to the south.	Yes – Refer to Section 4.0
Telecoms	Virgin Media	Yes	No	No
Telecoms	Sky	Yes	No	No
Telecoms	Verizon	Yes	No	No
Telecoms	Mobile Broadband Network	Yes	No	No
Telecoms	Sota	Yes	No	No
Telecoms	CityFibre	Yes	No	No

3.0 SERVICES SUPPLY

Foul Water

- 3.1 Thames Water (TW) have confirmed the existing foul sewer network does have sufficient capacity to accommodate the proposed foul water discharge and therefore reinforcement is not required. The foul water from the proposed development can be discharged via gravity into manhole MH5901 on the 150mm foul water sewer within the carriageway of Fringford Road. A copy of the developer enquiry can be found within **Appendix C**.

Clean Water

- 3.2 Thames Water (TW) have confirmed that there is capacity to serve the first 50 properties of the development. The point of connection will be at the 250mm DI main within the junction of Fringford Road and Skimmingdish Lane. In order to assess the impact of the new water demand on the existing mains network and resources, a network capacity investigation would be necessary for the remainder of the development. The investigation determines whether any additional reinforcement or enhancement is required to maintain the current flows and pressures to their existing customers before the development is supplied. Typical timescales for a development of this size would be 6 months to complete the modelling work, 6 months for the design work and 6 months to complete construction. A developer response can be found within **Appendix C**.

Gas

- 3.3 SGN have confirmed that there is sufficient capacity in the local low pressure gas network to supply the development site and therefore reinforcement is not required. SGN have provided a budget connection cost of £90,000.00 to connect the development to the local low pressure network. Connections are to be made to the low-pressure gas main located within Fringford Road at the site boundary. A developer enquiry response can be found within **Appendix D**.

Electricity

- 3.4 Scottish & Southern Electricity Networks (SSEN) have provided a budget estimate of £491,500.00 to connect the proposed development to their existing HV (11kV) network with a total capacity of 959kVA which is sufficient for Air Source Heat Pumps (ASHPs) and Electric Vehicle Charging Points (EVCPs) at each dwelling. SSEN have advised that the point of supply will be from the HV (11kV) overhead cable to the north east of the site. SSEN will lay a new HV network from this point of connection to a centrally located ground mounted substation. From the substation, SSE will lay LV mains and service cable to serve the entire development. Please note SSEN do not undertake a network capacity assessment for budget quotes and as such have assumed that sufficient capacity is available from the local HV network without reinforcement works. A budget quotation developer enquiry response can be found within **Appendix E**.
- 3.5 The typical plot of land required for a substation is 5x5m and 24/7 vehicle and pedestrian access will be required. A minimum of 9m clearance should be maintained between the substation and nearest residential dwelling in order to mitigate the risk of noise disturbance.

Telecommunications

- 3.6 Openreach will deploy Fibre to the Premises (FTTP), free of charge, into all new housing developments of 20 or more homes. Openreach's FTTP infrastructure is open to all communication service providers to encourage greater adoption and customers can benefit from the faster speeds of up to 1Gbps. Openreach will supply all of the materials such as ducts and joint boxes required to build and install the network free of charge, however, it is the responsibility of the developer or their appointed contractor to install the on-site ducts and joint boxes to Openreach's specification. An asset map showing Openreach infrastructure within the area of the proposed development site is included in **Appendix F**.

Multi Utility

- 3.7 GTC is an independent distribution network operator who has supplied a budget cost of £125,824.80 to supply electricity, clean water, waste water and fibre connections to the proposed development. This includes a rebate associated with the fibre connections and if fibre is provided by others the cost will increase to £138,954.80. A copy of the budget quote is included in **Appendix G**.
- 3.8 GTC have assumed water and waste connection points at the site entrance and have not included any allowance for barrier pipe for the new clean water mains. Infrastructure charges are also excluded. Clean water service connections are included.
- 3.9 GTC have assumed a point of connection to the HV electricity network at the site boundary and included allowance for 1 substation within the development. This is based on a total capacity of 333kVA which would be sufficient for ASHPs and EVCPs at each dwelling. It is to be noted that GTC do not calculate residential loads in the same way as SSEN and do not require additional capacity for EVCPs of 7.2kW or less.

4.0 DIVERSIONS AND PROTECTION OF APPARATUS

Foul Water

- 4.1 The TW waste water records show a 150mm foul sewer within the carriageway of Fringford Road. Extra precaution is required when constructing in this vicinity. If diversion is necessary, TW will require further information including existing and proposed asset levels and the proposed diversion route in addition to an application fee. The approximate route is shown on the utility constraints plan (drawing number 25272_07_010_01) within **Appendix H** of this report

Clean Water

- 4.2 TW clean water records show a 16" trunk main within the western verge of Fringford Road and a 250mm clean water main within the access road to the development. Extra care is required when constructing in this vicinity. The approximate route of the water mains is shown on the utility constraints plan within **Appendix H** of this report.

Gas

- 4.3 SGN apparatus plans show a low-pressure gas main within the western verge of Fringford Road crossing the current access road to the development. This gas main may require lowering/extra protection to facilitate the proposed site access. Further survey work and trial holes are recommended to determine the exact depth of the main to determine whether diversions can be avoided. Extra care is required when working in this area. The approximate route of the gas main is shown on the utility constraints plan within **Appendix H** of this report.

Electricity

- 4.4 The SSEN plans show an overhead HV (11kV) line entering the site from the north east crossing to the south east. This overhead line would affect the proposed development, as such, would require dismantling and diverting underground. SSEN have included the diversion cost within the new connection budget. The diversion plans are shown within **Appendix E** and the route of the overhead HV cable is shown on the utility constraints plan within **Appendix H** of this report.

Telecommunications

- 4.5 A review of the Openreach apparatus plan indicates that there is an overhead line within the site boundary. After consultation with Openreach, we have been advised the overhead apparatus will require a disconnection. Openreach have advised a cost of £2,167.13 to undertake a site survey and provide a disconnection cost. A copy of the site survey and estimate can be found in **Appendix F**. The approximate route of the overhead cable is shown on the utility constraints plan within **Appendix H**.

5.0 SUMMARY

5.1 This report has been produced to support a proposed residential use development at Land West of Fringford Road, Caversfield. A summary of all findings to date is provided in the below table.

Table 5.1 : Summary

Service and/or Provider	Capacity Available?	Point of Connection	Budget Costs Provided?	Are Diversions / Extra Protection Measures Required?	Additional Comments
Foul Drainage (Thames Water)	Yes	MH5901 on the 150mm foul water sewer within the carriageway of Fringford Road	Developer to construct and offer for adoption.	No	TW developer enquiry confirms that there is capacity to take flows generated from the proposed development.
Clean water (Thames Water)	No	250mm DI main within the junction of Fringford Road and Skimmingdish Lane	Upon receipt of formal application	Yes - Clean 16" trunk main within the western verge of Fringford Road. 250mm clean water main within the access road to development.	TW developer enquiry confirms that there is capacity to serve the first 50 properties, further investigation is required for the remaining development.
Gas (SGN)	Yes	Low pressure gas main within Fringford Road	<u>New Connection</u> £90,000.00	Yes – Low pressure gas main within the western verge of Fringford Road	SGN have confirmed that there is capacity to supply the development with gas.
Electricity (SSEN)	Yes	Diverted overhead HV (11kV) within site	<u>New Connection & Diversion</u> £491,500.00	Yes – Overhead HV (11kV) cable that enters the site from north east crossing to the south east.	SSEN have confirmed that there is sufficient capacity within the local HV network to provide the development with electricity. Diversion of the overhead cable within the site will be required. X1 Substation is required within the development.

Service and/or Provider	Capacity Available?	Point of Connection	Budget Costs Provided?	Are Diversions / Extra Protection Measures Required?	Additional Comments
Telecoms (Openreach)	N/A	N/A	<u>Site Survey</u> £2,167.13	Yes – Overhead cable that enters the site from the south east.	Openreach will deploy FTTP, free of charge, into all new housing developments of 20 or more homes. No proposals have therefore been sought.
Multi Utility (GTC)	N/A	Assumed at site entrance	<u>New Connections Inc Fibre</u> £125,824.80 <u>New Connections Exc Fibre</u> £138,954.80	N/A	GTC have provided a budget cost to supply electricity, clean water and waste water to the proposed development with an option to provide fibre.



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APPENDICES



APPENDIX A



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DISCUSSION

— Site boundary (6.88ha)

Rev.	Date	Description
		Land west of Fringford Rd CAVERSFIELD
Location Plan		
Job ref: 354	Drawing number: L01	Revision: -
Scale: 1:1,500 @ A3	Date: September 2021	



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APPENDICES



APPENDIX B



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PLANNING

- Site boundary
- 1 Proposed vehicular/cycle/pedestrian access
- 2 Proposed emergency/pedestrian & cycle access
- 3 Primary tree lined street
- 4 Secondary street
- 5 Village mews
- 6 Private lane/drive
- 7 Shared surface
- 8 Informal courtyard with agricultural theme
- 9 Historic track alignment
- 10 Cycle way
- 11 Play space (LEAP)
- 12 Natural play/ trail space
- 13 Sustainable drainage
- 14 Entrance green (wildflower planting)
- 15 Planted swale corridor
- 16 Existing vegetation retained and enhanced as necessary
- 17 Mown path
- 18 Open grassland
- 19 Community orchard
- 20 Garden Common
- 21 Natural open space
- 22 Soft development edge
- 23 Area to be fenced off for ecology/ wildlife
- 24 Drop bollards

Rev.	Date	Description
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Land West of Fringford Road
CAVERSFIELD

Illustrative Masterplan

Job ref: 501	Drawing number: P07	Revision: -
Scale: 1:1,500 @ A3	Date: December 2023	



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APPENDICES



APPENDIX C



Index Property Information
PO Box 6715
Kenilworth
CV8 9FA

Search address supplied	South Lodge, Caversfield, Bicester, OX27 8TH
Your reference	JIM/CAR/RIC181/5
Our reference	DWS/DWS Standard/2021_4516062
Received date	4 October 2021
Search date	5 October 2021

Keeping you up-to-date

Why the CON29DW?

Mitigating risk - There are potential risks for homebuyers and they need qualified drainage and water information to make an informed purchasing decision.

Expert knowledge - Specialist teams, with years of experience working directly with drainage and water data, check and review each report.

Complete and consistent - Comprising 25 standard questions answered in full, from sewerage and water asset information to sewer flooding history and connection information, fully endorsed by The Law Society.

Peace of mind - Terms & Conditions are there to support you and your client and CON29DW reports are put together using the most up to date information available.



Thames Water Utilities Ltd
Property Searches, PO Box 3189, Slough SL1 4WW
DX 151280 Slough 13



searches@thameswater.co.uk
www.thameswater-propertysearches.co.uk



0800 009 4540



Question	Summary Answer
Maps	
1.1 Where relevant, please include a copy of an extract from the public sewer map.	Map Provided
1.2 Where relevant, please include a copy of an extract from the map of waterworks.	Map Provided
Drainage	
2.1 Does foul water from the property drain to a public sewer?	Not Connected
2.2 Does surface water from the property drain to a public sewer?	Not Connected
2.3 Is a surface water drainage charge payable?	No Charge
2.4 Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	No
2.4.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the boundaries of the property?	No
2.5 Does the public sewer map indicate any public sewer within 30.48 metres(100 feet) of any buildings within the property?	No
2.5.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the 50metres of any buildings within the property?	No
2.6 Are any sewers or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No
2.7 Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	No
2.8 Is the building which is or forms part of the property, at risk of internal flooding due to overloaded public sewers?	Not At Risk
2.9 Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	2.048 Kilometres
Water	
3.1 Is the property connected to mains water supply?	Connected
3.2 Are there any water mains, resource mains or discharge pipes within the boundaries of the property?	No
3.3 Is any water main or service pipe serving or which is proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No
3.4 Is the property at risk of receiving low water pressure or flow?	No
3.5 What is the classification of the water supply for the property?	Hard
3.6 Please include details of the location of any water meter serving the property.	See Details
Charging	
4.1.1 Who are the sewerage undertakers for the area?	Thames Water
4.1.2 Who are the water undertakers for the area?	Thames Water
4.2 Who bills the property for sewerage services?	Not Billed
4.3 Who bills the property for water services?	Thames Water
4.4 What is the current basis for charging for sewerage and/or water services at the property?	Metered
4.5 Will the basis for charging for sewerage and water services at the property change as a consequence of a change of occupation?	No

Search address supplied: South Lodge, Caversfield, Bicester, OX27 8TH

Any new owner or occupier will need to contact Thames Water on 0800 316 9800 or log onto our website www.thameswater.co.uk and complete our online form to change the water and drainage services bills to their name.

The following records were searched in compiling this report: - the Map of Public Sewers, the Map of Waterworks, Water and Sewer billing records, Adoption of Public Sewer records, Building Over Public Sewer records, the Register of Properties subject to Internal Foul Flooding, the Register of Properties subject to Poor Water Pressure and the Drinking Water Register. Thames Water Utilities Ltd (TWUL), Clearwater Court, Vastern Road, Reading RG1 8DB, holds all of these.

TWUL, trading as Property Searches, are responsible in respect of the following:-

- (i) any negligent or incorrect entry in the records searched;
- (ii) any negligent or incorrect interpretation of the records searched;
- (iii) and any negligent or incorrect recording of that interpretation in the search report
- (iv) compensation payments

Interpretation of CON29DW Drainage and Water Search

Appendix 1 contains definitions of terms and expressions used in this report.

For your guidance:

- Thames Water Property Searches Complaints Procedure:
 - o Thames Water Property Searches offers a robust complaints procedure. Complaints can be made by telephone, in writing, by email (searches@thameswater.co.uk) or through our website (www.thameswater-propertysearches.co.uk)

As a minimum standard Thames Water Property Searches will:

- o endeavour to resolve any contact or complaint at the time of receipt. If this isn't possible, we will advise of timescales;
- o investigate and research the matter in detail to identify the issue raised (in some cases third party consultation will be required);
- o provide a response to the customer within 10 working days of receipt of the complaint;
- o provide compensation, if no response or acknowledgment that we are investigating the case is given within 10 working days of receipt of the complaint;
- o keep you informed of the progress and, depending on the scale of investigation required, update with new timescales as necessary;
- o provide an amended search, free of charge, if required;
- o provide a refund if we find your complaint to be justified; take the necessary action within our power to put things right.

If you want us to liaise with a third party on your behalf, just let us know.

If you are still not satisfied with the outcome provided we will refer the matter to a Senior Manager for resolution who will respond again within 5 working days.

If you remain dissatisfied with our final response you may refer your complaint for consideration under The Property Ombudsman scheme (TPOs). Further information can be obtained by visiting www.tpos.co.uk or by sending an email to admin@tpos.co.uk

Maps

1.1 – Where relevant, please include a copy of an extract from the public sewer map.

A copy of an extract from the public sewer map is included in which the location of the property is identified.

For your guidance:

- The Water Industry Act 1991 defines Public Sewers as those which Thames Water have responsibility for. Other assets and rivers, watercourses, ponds, culverts or highway drains may be shown for information purposes only.
- The company is not generally responsible for rivers, watercourses, ponds, culverts or highway drains. If any of these are shown on the copy extract they are shown for information only.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.
- Assets other than public sewers may be shown on the copy extract, for information.

1.2 – Where relevant, please include a copy of an extract from the map of waterworks.

A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property.

For your guidance:

- The "water mains" in this context are those, which are vested in and maintainable by the water company under statute.
- Assets other than public water mains may be shown on the plan, for information only.
- Water companies are not responsible for private supply pipes connecting the property to the public water main and do not hold details of these. These may pass through land outside of the control of the seller, or may be shared with adjacent properties. The buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- If an extract of the public water main record is enclosed, this will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.

Drainage

2.1 – Does foul water from the property drain to a public sewer?

Records indicate that foul water from the property does not drain to a public sewer.

For your guidance:

- Water companies are not responsible for any private drains that connect the property to the public sewerage system and do not hold details of these. The property owner will normally have sole responsibility for private drains serving the property. These may pass through land outside the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- If foul water does not drain to the public sewerage system, the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.
- An extract from the public sewer map is enclosed. This will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

2.2 – Does surface water from the property drain to a public sewer?

Records indicate that surface water from the property does not drain to a public sewer. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System (SuDS). Further information may be available from the Developer.

For your guidance:

- Sewerage Undertakers are not responsible for any private drains that connect the property to the public sewerage system, and do not hold details of these.
- The property owner will normally have sole responsibility for private drains serving the property. These private drains may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.
- In some cases, 'Sewerage Undertakers' records do not distinguish between foul and surface water connections to the public sewerage system.
- At the time of privatisation in 1989, Sewerage Undertakers were sold with poorly-kept records of sewerage infrastructure. The records did not always show which properties were connected for surface water drainage purposes. Accordingly, billing records have been used to provide an answer for this element of the drainage and water search.
- Due to the potential inadequacy of 'Sewerage Undertakers' infrastructure records with respect to surface water drainage, it is the customer's responsibility to inform the Sewerage Undertaker that they do not receive the surface water drainage service. If on inspection, the buyer finds that surface water from the property does not drain to a public sewer, then the property may be eligible for a rebate of the surface water drainage charge. For further information, please contact Thames Water on Tel: 0800 316 9800, or refer to the website at www.thameswater.co.uk.
- If surface water from the property does not drain to the public sewerage system, the property may have private facilities in the form of a soakaway or private connection to a watercourse.
- An extract from the public sewer map is enclosed. This will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

2.3 – Is a surface water drainage charge payable?

Records indicate that a surface water charge is not applicable at this property. If the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System (SuDS). Further information may be available from the Developer.

For your guidance:

- If surface water from the property drains to a public sewer, then a surface water drainage charge is payable.
- Where a surface water drainage charge is currently included in the property's water and sewerage bill but, on inspection, the buyer finds that surface water from the property does not drain to a public sewer, then the property may be eligible for a rebate of the surface water drainage charge. For further information, please contact Thames Water on Tel: 0800 316 9800 or refer to the website www.thameswater.co.uk.

2.4 – Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?

The public sewer map indicates that there are no public sewers, disposal mains or lateral drains within the boundaries of the property. However, from the 1st October 2011 there may be lateral drains and/or public sewers which are not recorded on the public sewer map but which may prevent or restrict development of the property.

For your guidance:

- Thames Water has a statutory right of access to carry out work on its assets. Employees of Thames Water or its contractors may, therefore, need to enter the property to carry out work.
- Please note if the property was constructed after 1st July 2011 any sewers and/or lateral drain within the boundary of the property are the responsibility of the householder.
- The approximate boundary of the property has been determined by reference to the Ordnance Survey Record or the map supplied.
- The presence of a public sewer running within the boundary of the property may restrict further development. The company has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the company, or its contractors, needing to enter the property to carry out work.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

2.4.1 – Does the public sewer map indicate any public pumping station or any other ancillary apparatus within the boundaries of the property?

The public sewer map included indicates that there is no public pumping station within the boundaries of the property.

For your guidance:

- Private pumping stations installed before 1 July 2011 will be transferred into the ownership of the sewerage undertaker.
- The approximate boundary of the property has been determined by reference to the Ordnance Survey Record or the map supplied.
- The presence of a public Pumping station running within the boundary of the property may restrict further development. The company has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the company, or its contractors, needing to enter the property to carry out work.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

2.5 – Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

The public sewer map indicates that there are no public sewers within 30.48 metres (100 feet) of any buildings within the property.

However, from the 1st October 2011 many private sewers were transferred into public ownership and may not be recorded on the public sewer map and it is our professional opinion that if the property is connected to a foul sewer it is likely that there will be a public sewer within 30.48 metres (100 feet) of any buildings within the property.

For your guidance:

- The presence of a public sewer within 30.48 metres (100 feet) of the building(s) within the property can result in the local authority requiring a property to be connected to the public sewer.
- The measurement is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

2.5.1 – Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?

The public sewer map included indicates that there is no public pumping station within 50 metres of any buildings within the property.

For your guidance:

- Private pumping stations installed before 1 July 2011 will be transferred into the ownership of the sewerage undertaker.
- The presence of a public pumping station within 50 metres of the building(s) within the property can result in the local authority requiring a property to be connected to the public sewer.
- The measurement is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.
- Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.

2.6 – Are any sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that Foul sewers serving the development, of which the property forms part are not the subject of an existing adoption agreement or an application for such an agreement.

The Surface Water sewer(s) and/or Surface Water lateral drain(s) are not the subject of an adoption agreement.

For your guidance:

- Any sewers and/or lateral drains within the boundary of the property are not the subject of an adoption agreement and remain the responsibility of the householder. Adoptable sewers are normally those situated in the public highway.
- This enquiry is of interest to purchasers of new homes who will want to know whether or not the property will be linked to a public sewer.
- Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.
- Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991 and meeting the requirements of 'Sewers for Adoption' 6th Edition.

2.7 – Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?

There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain.

For your guidance:

- From the 1st October 2011 most private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have been approved or consulted about any plans to erect a building or extension on the property over or in the vicinity of these.
- Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered.

2.8 – Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?

The property is not recorded as being at risk of internal flooding due to overloaded public sewers.

From the 1st October 2011 most private sewers, disposal mains and lateral drains were transferred into public ownership. It is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor.

For your guidance:

- For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.
- "Internal flooding" from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.
- "At Risk" properties are those that the water company is required to include in the Regulatory Register that is presented annually to the Director General of Water Services. These are defined as properties that have suffered, or are likely to suffer, internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Company's reporting procedure.
- Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included on the At Risk Register.
- Properties may be at risk of flooding but not included on the Register where flooding incidents have not been reported to the Company.
- Public Sewers are defined as those for which the Company holds statutory responsibility under the Water Industry Act 1991.
- It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Company. This report excludes flooding from private sewers and drains and the Company makes no comment upon this matter.
- For further information please contact Thames Water on Tel: 0800 316 9800 or website www.thameswater.co.uk

2.9 – Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

The nearest sewage treatment works is BAINTON ROAD (BUCKNELL) STW (PRIVATE) which is 2.048 kilometres to the west of the property.

For your guidance:

- The nearest sewage treatment works will not always be the sewage treatment works serving the catchment within which the property is situated.
- The sewerage undertaker's records were inspected to determine the nearest sewage treatment works.
- It should be noted that there may be a private sewage treatment works closer than the one detailed above that has not been identified.
- As a responsible utility operator, Thames Water Utilities seeks to manage the impact of odour from operational sewage works on the surrounding area. This is done in accordance with the Code of Practice on Odour Nuisance from Sewage Treatment Works issued via the Department of Environment, Food and Rural Affairs (DEFRA). This Code recognises that odour from sewage treatment works can have a detrimental impact on the quality of the local environment for those living close to works. However DEFRA also recognises that sewage treatment works provide important services to communities and are essential for maintaining standards in water quality and protecting aquatic based environments. For more information visit www.thameswater.co.uk

Water

3.1 – Is the property connected to mains water supply?

Records indicate that the property is connected to mains water supply.

For your guidance:

- The Company does not keep details of private supplies. The situation should be checked with the current owner of the property.

3.2 – Are there any water mains, resource mains or discharge pipes within the boundaries of the property?

The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property.

For your guidance:

- The boundary of the property has been determined by reference to the plan supplied. Where a plan was not supplied the Ordnance Survey Record was used. If the Water company mentioned in 4.1.2 is not Thames Water Utilities Ltd the boundary of the property has been determined by the Ordnance Survey.
- The presence of a public water main within the boundary of the property may restrict further development within it. Water companies have a statutory right of access to carry out work on their assets, subject to notice. This may result in employees of the company, or its contractors, needing to enter the property to carry out work.

3.3 – Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?

Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement.

For your guidance:

- This enquiry is of interest to purchasers of new homes who will want to know whether or not the property will be linked to the mains water supply.

3.4 – Is the property at risk of receiving low water pressure or flow?

Records confirm that the property is not recorded on a register kept by the water undertaker as being at risk of receiving low water pressure or flow.

For your guidance:

- The boundary of the property has been determined by reference to the plan supplied. Where a plan was not supplied the Ordnance Survey Record was used.
- “Low water pressure” means water pressure below the regulatory reference level, which is the minimum pressure when demand on the system is not abnormal.
- Water Companies are required to include in the Regulatory Register that is presented annually to the Director General of Water Services, properties receiving pressure below the reference level, provided that allowable exclusions do not apply (i.e. events which can cause pressure to temporarily fall below the reference level)
- The reference level of service is a flow of 9 litres/minute at a pressure of 10metres / head on the customer's side of the outside stop valve (osv). The reference level of service must be applied on the customer's side of a meter or any other company fittings that are on the customer's side of the main stop tap. The reference level applies to a single property. Where more than one property is served by a common service pipe, the flow assumed in the reference level must be appropriately increased to take account of the total number of properties served. For two properties, a flow of 18 litres/minute at a pressure of 10metres/head on the customers' side of the osv is appropriate. For three or more properties the appropriate flow should be calculated from the standard loadings provided in BS806-3 or the Institute of Plumbing handbook.
- **Allowable exclusions** The Company is required to include in the Regulatory Register properties receiving pressure below the reference level, provided that allowable exclusions listed below do not apply.
- **Abnormal demand:** This exclusion is intended to cover abnormal peaks in demand and not the daily, weekly or monthly peaks in demand, which are normally expected. Companies should exclude from the reported figures properties which are affected by low pressure only on those days with the highest peak demands. During the report year companies may exclude, for each property, up to five days of low pressure caused by peak demand.
- **Planned maintenance:** Companies should not report low pressures caused by planned maintenance. It is not intended that companies identify the number of properties affected in each instance. However, companies must maintain sufficiently accurate records to verify that low-pressure incidents that are excluded because of planned maintenance are actually caused by maintenance.
- **One-off incidents:** This exclusion covers a number of causes of low pressure; mains bursts; failures of company equipment (such as pressure reducing valves or booster pumps); firefighting; and action by a third party. However, if problems of this type affect a property frequently, they cannot be classed as one-off events and further investigation will be required before they can be excluded
- **Low-pressure incidents of short duration:** Properties affected by low pressures, which only occur for a short period, and for which there is evidence that incidents of a longer duration would not occur during the course of the year, may be excluded from the reported figures.
- Please contact your water company mentioned in Question 4.1.2 if you require further information on water pressure.

3.5 – What is the classification of the water supply for the property?

The water supplied to the property has an average water hardness of 100.3mg/l calcium which is defined as HARD by ThamesWater.

For your guidance:

- Water hardness can be expressed in various indices for example the hardness settings for dishwashers are commonly expressed in Clark's degrees, but check with the manufacturer as there are also other units. The following table shows the normal ranges of hardness.
- Sample table for information only:

Thames Water Hardness Category	Calcium (mg/l)	Calcium Carbonate (mg/l)	English Clarke degrees	French degrees	General/German degrees
Soft	0 to 40	0 to 100	0 to 7	0 to 10	0 to 5.6
Medium	41 to 80	101 to 200	8 to 14	11 to 20	5.7 to 11.2
Hard	Over 80	Over 200	Over 14	Over 20	over 11.2

3.6 – Please include details of the location of any water meter serving the property.

Records indicate that the property is served by a water meter, which is not located within the dwelling-house which is or forms part of the property.

For your guidance:

- Where a meter does not serve the property and the customer wishes to consider this method of charging, they should contact the water undertakers mentioned in Question 4.1.2.

Charging

4.1.1 – Who is responsible for providing the sewerage services for the property?

Thames Water Utilities Limited, Clearwater Court, Reading, RG1 8DB is the sewerage undertaker for the area.

4.1.2 – Who is responsible for providing the water services for the property?

Thames Water Utilities Limited, Clearwater Court, Reading, RG1 8DB is the water undertaker for the area.

4.2 – Who bills the property for sewerage services?

The property is not billed for sewerage services.

4.3 – Who bills the property for water services?

The property is billed for water services by:

Thames Water Utilities Limited
Clearwater Court
Vastern Road
Reading
Berkshire
RG1 8DB

Tel: 0800 9808 800
Website: www.thameswater.co.uk.

4.4 – What is the current basis for charging for sewerage and/or water services at the property?

The property is charged based on actual volumes of water measured through a water meter ("metered supply").

For your guidance:

- Water and sewerage companies' full charges are set out in their charges schemes which are available from the company free of charge upon request.
- The Water Industry Act 1991 Section 150, The Water Resale Order 2001 provides protection for people who buy their water or sewerage services from a person or company instead of directly from a water or sewerage company. Details are available from the Office of Water Services (OFWAT) website is www.ofwat.gov.uk.
- Where charges are given these are based on the data available at the time of the report.
- The Company may install a meter at the premises where a buyer makes a change of use of the property or where the buyer uses water for:
 - o Watering the garden other than by hand (this includes the use of sprinklers).
 - o Automatically replenishing a pond or swimming pool with a capacity greater than 10,000 litres.
 - o A bath with a capacity in excess of 230 litres.
 - o A reverse osmosis unit.

4.5 – Will the basis for charging for sewerage and water services at the property change as a consequence of a change of occupation?

There will be no change in the current charging arrangements as a consequence of a change of occupation.

For your guidance:

- Water and sewerage companies' full charges are set out in their charges schemes which are available from the company free of charge upon request.
- The Water Industry Act 1991 Section 150, The Water Resale Order 2001 provides protection for people who buy their water or sewerage services from a person or company instead of directly from a water or sewerage company. Details are available from the Office of Water Services (OFWAT) website is www.ofwat.gov.uk.
- It is policy to meter all new water connections. This would result in charges being levied according to the measured tariff.
- The Company may install a meter at the premises where a buyer makes a change of use of the property or where the buyer uses water for:
 - o Watering the garden other than by hand (this includes the use of sprinklers).
 - o Automatically replenishing a pond or swimming pool with a capacity greater than 10,000 litres.
 - o A bath with a capacity in excess of 230 litres.
 - o A reverse osmosis unit.



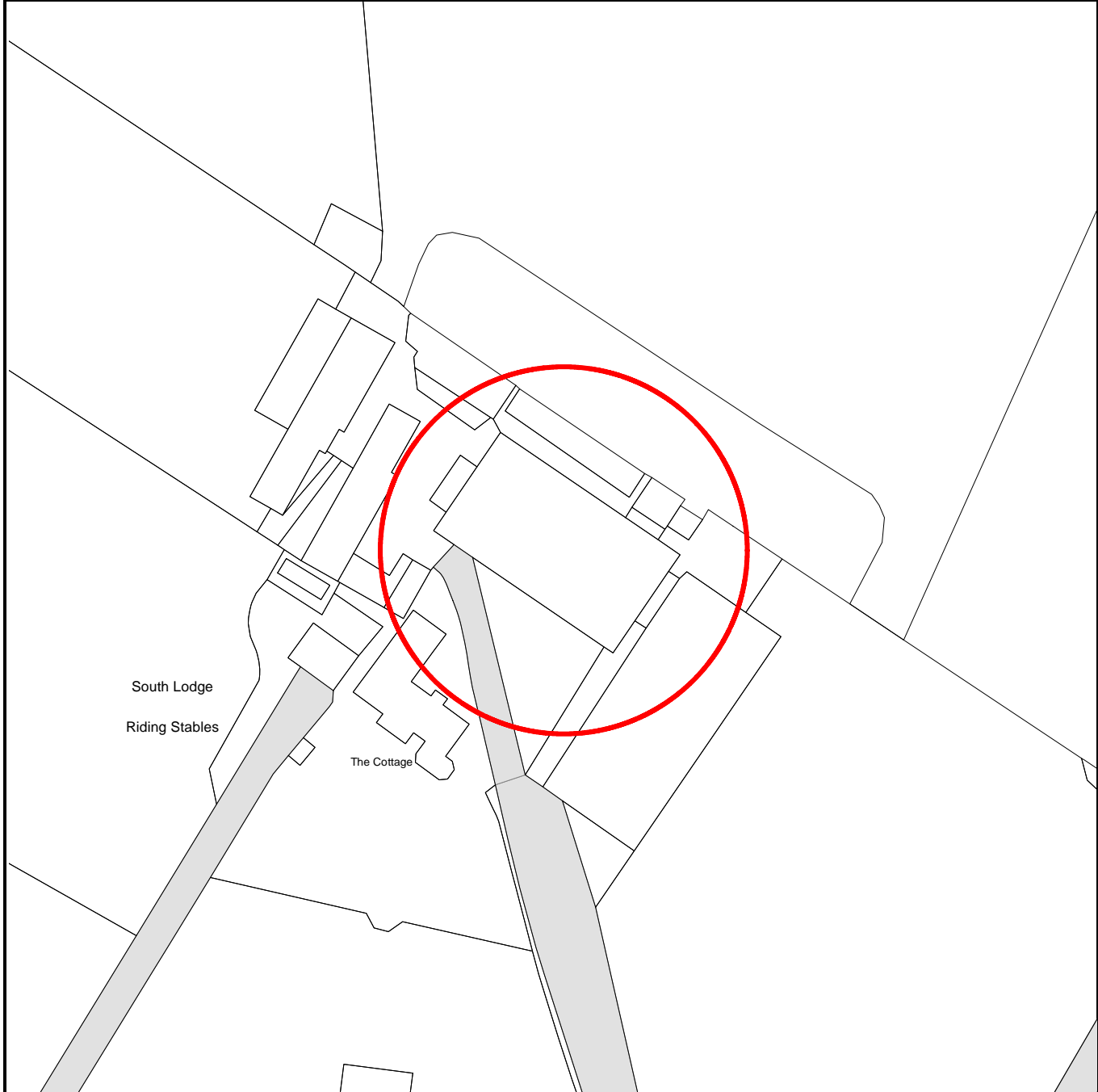
Payment for this Search

A charge will be added to your suppliers account.

Please note that none of the charges made for this report relate to the provision of Ordnance Survey mapping information.

All prices are in accordance with the standard terms of Property Searches; discounts are available, please contact us on 0800 009 4540 to obtain further details.

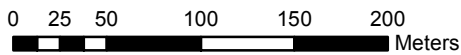
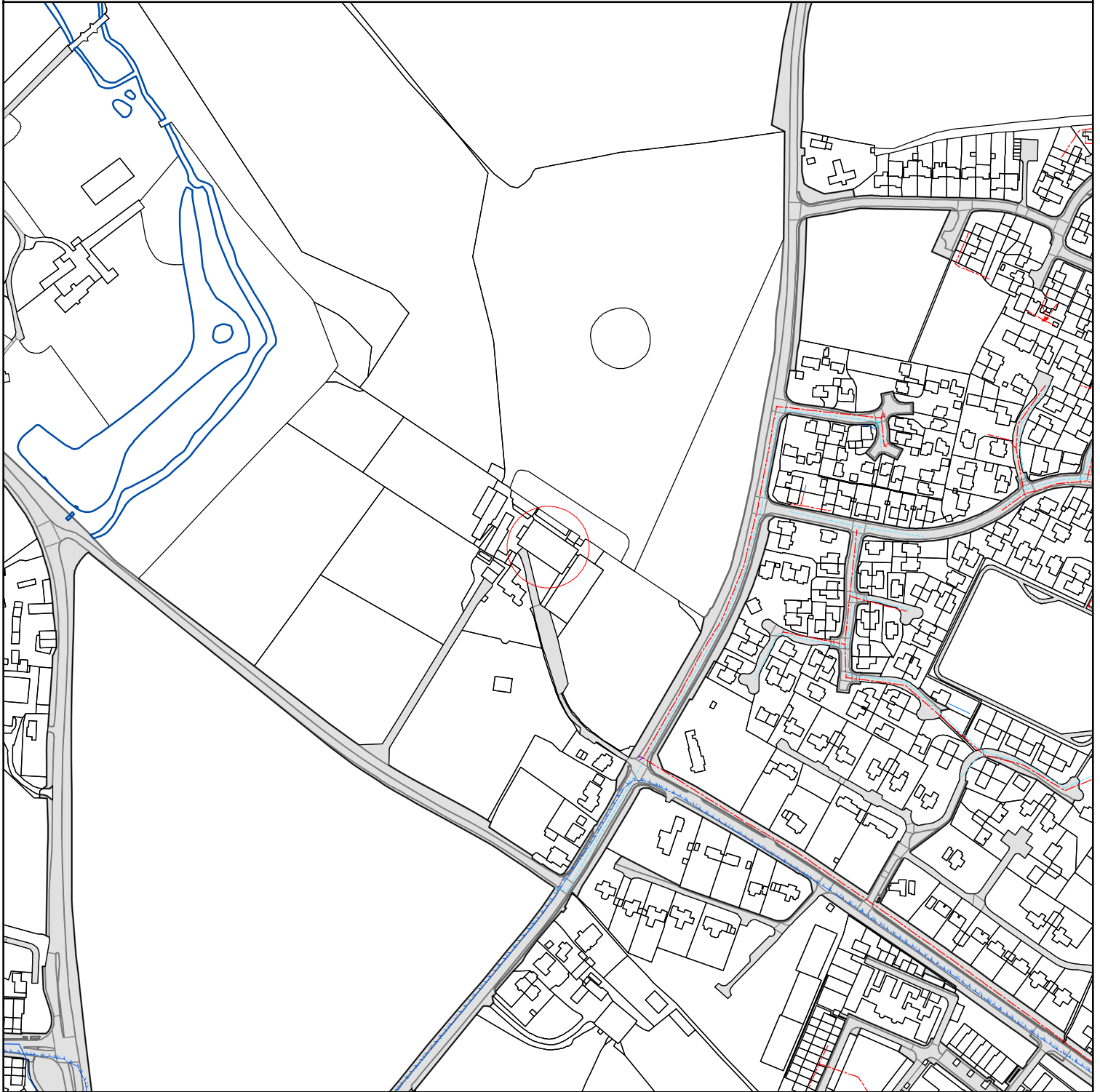
**Residential CON29DW Drainage & Water Search Sewer Map-DWS/DWS
Standard/2021_4516062**



The width of the displayed area is 200m

The position of the apparatus shown on this plan is given without obligation and warranty, and the accuracy cannot be guaranteed. Service pipes are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Thames Water for any error or omission. The actual position of mains and services must be verified and established on site before any works are undertaken.

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Scale:	1:4038
Width:	800m
Printed By:	Rveldhur
Print Date:	05/10/2021
Map Centre:	458471,225078
Grid Reference:	SP5825SW

Comments:









Residential Drainage & Water Search Sewer Key



Public Sewer Pipes (Operated & Maintained by Thames Water)

-  **Foul Sewer:** A sewer designed to convey waste water from domestic and industrial sources to a treatment works.
-  **Surface Water Sewer:** A sewer designed to convey surface water (e.g. rain water from roofs, yards and car parks) to rivers, watercourses or a treatment works.
-  **Combined Sewer:** A sewer designed to convey both waste water and surface water from domestic and industrial sources to a treatment works.
-  **Trunk Sewer:** A strategic sewer which collects either foul or surface water flow from a number of subsidiary catchments and transfers this flow to a pumping station, river outfall or treatment works.
-  **Storm Overflow Sewer:** A sewer designed to convey excess rainfall to rivers or watercourses so that the flow does not exceed the capacity of normal sewers (which could cause flooding).
-  **Biosolids:** A sewer designed to convey sludge from one treatment works to another.
-  **Vent Pipe:** A section of sewer pipe connected between the top of a sewer and vent column, used to prevent the accumulation of gas in a sewer and thus allowing the system to operate properly.
-  **Rising Main:** A pipe carrying pumped flow under pressure from a low point to a high point on the sewerage network. Line style / colour and direction of fleck indicate sewer purpose and direction of flow within the pipe.
-  **Vacuum:** A foul sewer designed to remove foul sewerage under pressure (vacuum sewers cannot accept direct new connections).
-  **Proposed Foul Sewer**
-  **Proposed Surface Water Sewer**

Other Sewer Types (Not Operated or Maintained by Thames Water)

-  **Foul Sewer:** Any foul sewer that is not owned by Thames Water.
-  **Surface Water Sewer:** Any surface water sewer that is not owned by Thames Water.
-  **Combined Sewer:** Any combined sewer that is not owned by Thames Water.
-  **Gulley:** A sewer designed to convey surface water from large roads, motorways, etc. to watercourses or to public surface water sewers. These sewers are generally maintained by the relevant highway authority.
-  **Culverted Watercourse:** A watercourse running through a culvert or pipe which is the responsibility of the property owner or the Environment Agency.
-  **Abandoned Sewer:** A disused sewer. Usually filled with cement mixture or removed from the ground.

Other Symbols

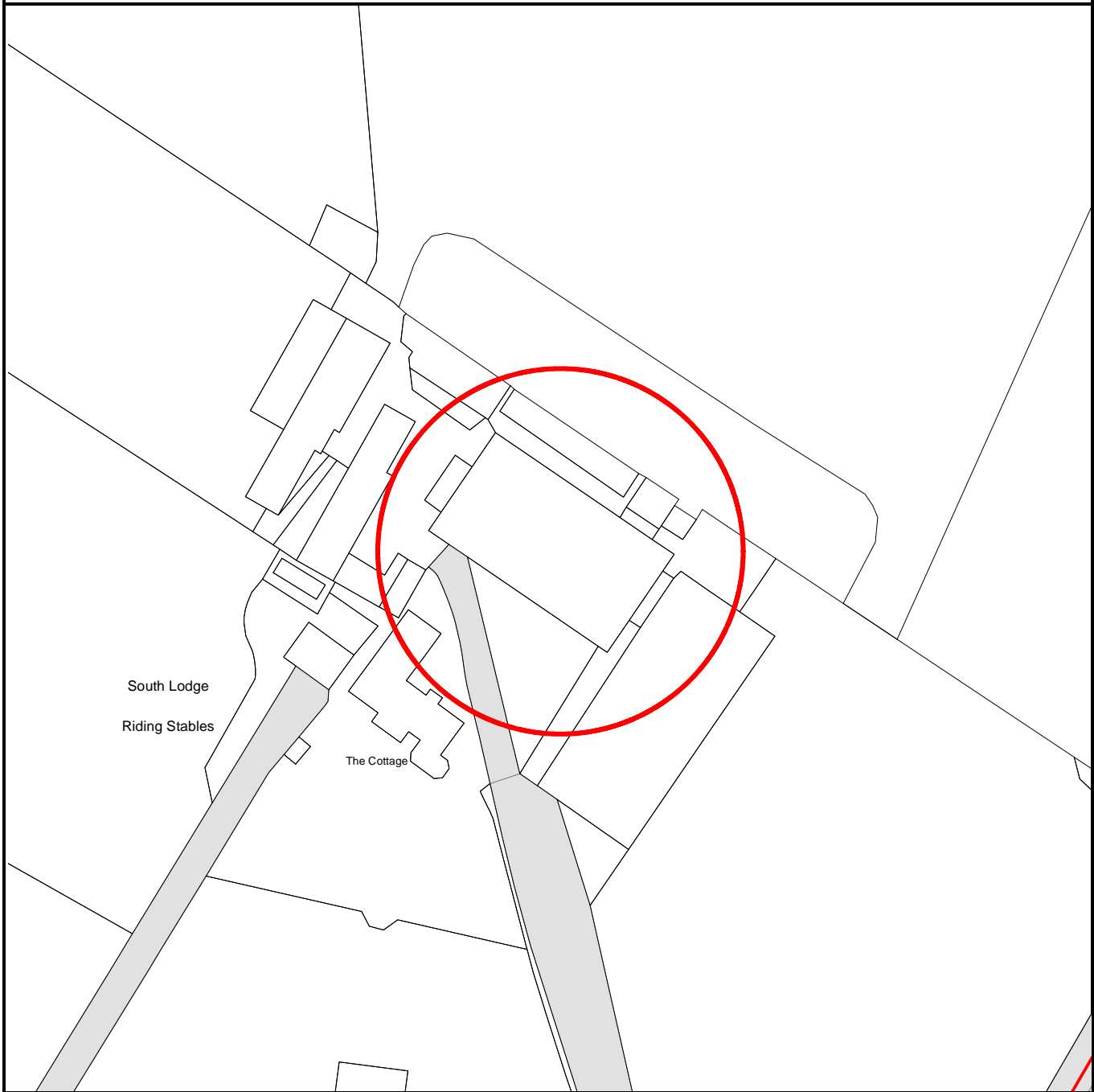
-  **Undefined Ends:** These symbols represent the point at which a pipe continues but no records of its position are currently held by Thames Water. These symbols are rare but may be found on any of the public sewer types.
-  **Public/Private Pumping Station:** Foul or Surface water pumping station.

Notes:

- 1) All levels associated with the plans are to Ordnance Datum Newlyn.
- 2) All measurements on the plans are metric.
- 3) Arrows (on gravity fed sewers) or flecks (on rising mains) indicate direction of flow.

- 4) Most private pipes are not shown on our plans, as in the past, this information has not been recorded.
- 5) 'na' or '0' on a manhole level indicates that data is unavailable.
- 6) The text appearing alongside a sewer line indicates the internal diameter of the pipe in millimetres. Text next to a manhole indicates the manhole reference number and should not be taken as a measurement. If you are unsure about any text or symbology present on the plan, please contact a member of Property Searches on 0800 009 4540.

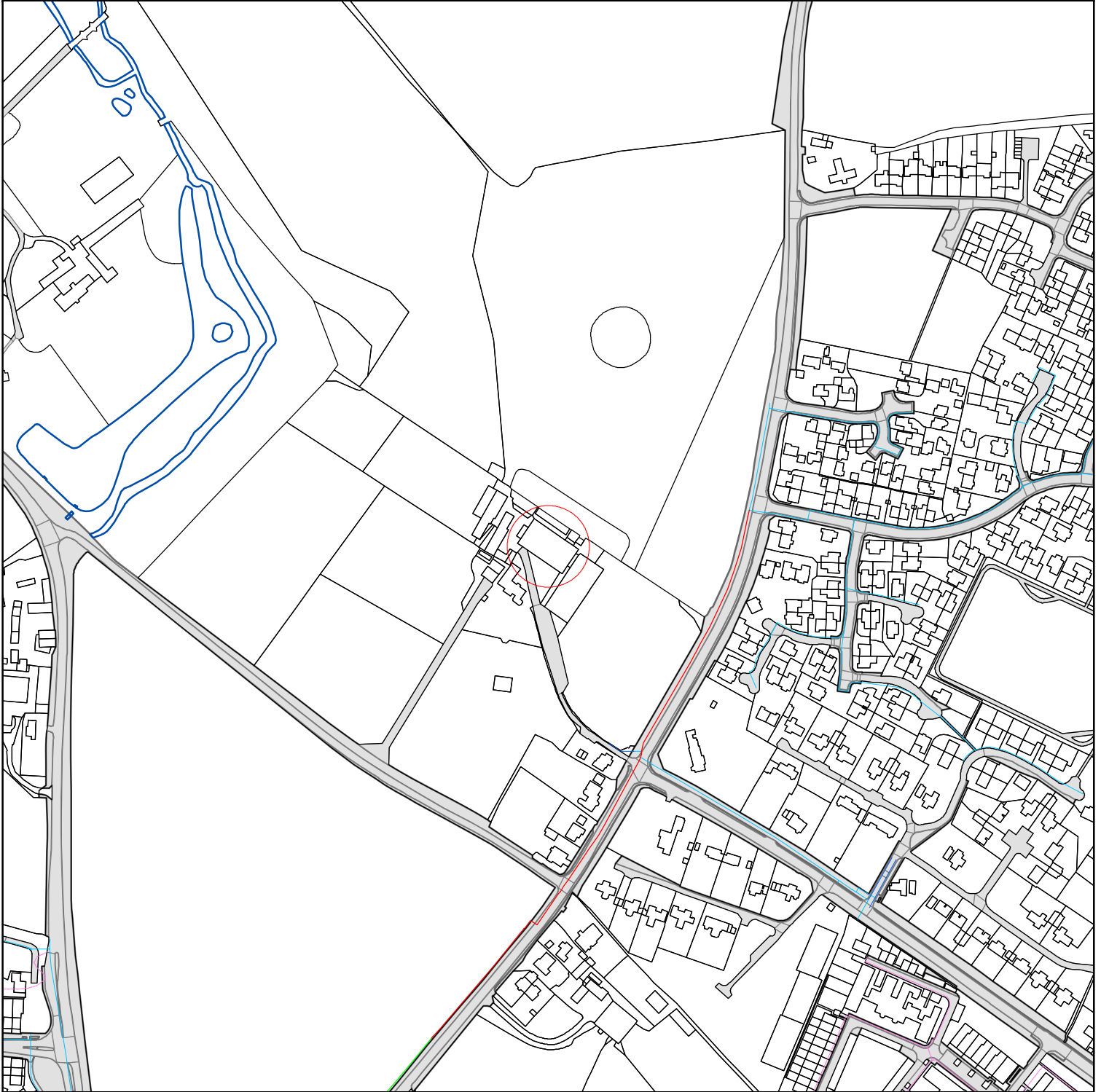
**Residential CON29DW Drainage & Water Search Water Map-DWS/DWS
Standard/2021_4516062**



The width of the displayed area is 200m

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0 25 50 100 150 200
Meters

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Comments:



Residential Drainage & Water Search Water Key





Public Water Pipes (Operated & Maintained by Thames Water)

- 
4" Distribution Main: The most common pipe shown on water maps. With few exceptions, domestic connections are only made to distribution mains.
- 
16" Trunk Main: A main carrying water from a source of supply to a treatment plant or reservoir, or from one treatment plant or reservoir to another. Also a main transferring water in bulk to smaller water mains used for supplying individual customers.
- 
3" SUPPLY Supply Main: A supply main indicates that the water main is used as a supply for a single property or group of properties.
- 
3" FIRE Fire Main: Where a pipe is used as a fire supply, the word FIRE will be displayed along the pipe.
- 
3" METERED Metered Pipe: A metered pipe indicates that the pipe in question supplies water for a single property or group of properties and that the quantity of water passing through the pipe is metered even though there may be no meter symbol shown.
- 
Transmission Tunnel: A very large diameter water pipe. Most tunnels are buried very deep underground. These pipes are not expected to affect the structural integrity of buildings shown on the map provided.
- 
Proposed Main: A main that is still in the planning stages or in the process of being laid. More details of the proposed main and its reference number are generally included near the main.



Depth of Water Pipes (Normal Cover)

PIPE DIAMETER	DEPTH BELOW GROUND
Up to 300mm (12")	900mm (3')
300mm - 600mm (12" - 24")	1100mm (3' 8")
600mm and bigger (24" plus)	1200mm (4')

Pipe fittings and controls (Operated & Maintained by Thames Water)

- 
Hydrant: A point on a water main which is used by the fire services or operational purposes by Thames Water.
- 
Meter: Used to measure water flowing through a water main for domestic metering or operational purposes by Thames Water.
- 
General Purpose Valve: Valves allowing control of water flow or pressure within the system.
- 
Air Valve: A valve which allows the release of trapped air within a water pipe.

Other Water Pipes (Not Operated or Maintained by Thames Water)

- 
Private Main: Indicates that the water main in question is not owned by Thames Water. These mains normally have text associated with them indicating the diameter and ownership of the pipe.
- 
Other Water Company or Unknown Main: Occasionally other water company water pipes may overlap the border of our clean water coverage area. The mains are denoted in purple and in most cases have the owner of the pipe displayed along them.

Note:

Most private pipe work and assets i.e. stopcocks, are not shown on our plans (in the past this information had not been recorded).

Appendix 1 - terms and expressions in this report

“the 1991 Act” means the Water Industry Act 1991**(1)**;

“the 2000 Regulations” means the Water Supply (Water Quality) Regulations 2000**(2)**;

“the 2001 Regulations” means the Water Supply (Water Quality) Regulations 2001**(3)**;

“adoption agreement” means an agreement made or to be made under section 51A(1) or 104(1) of the 1991 Act**(4)**;

“bond” means a surety granted by a developer who is a party to an adoption agreement;

“bond waiver” means an agreement with a developer for the provision of a form of financial security as a substitute for a bond;

“calendar year” means the twelve months ending with 31st December;

“discharge pipe” means a pipe from which discharges are made or are to be made under section 165(1) of the 1991 Act;

“disposal main” means (subject to section 219(2) of the 1991 Act) any outfall pipe or other pipe which—

(a) is a pipe for the conveyance of effluent to or from any sewage disposal works, whether of a sewerage undertaker or of any other person; and

(b) is not a public sewer;

“drain” means (subject to section 219(2) of the 1991 Act) a drain used for the drainage of one building or of any buildings or yards appurtenant to buildings within the same curtilage;

“effluent” means any liquid, including particles of matter and other substances in suspension in the liquid;

“financial year” means the twelve months ending with 31st March;

“lateral drain” means—

(a) that part of a drain which runs from the curtilage of a building (or buildings or yards within the same curtilage) to the sewer with which the drain communicates or is to communicate; or

(b) (if different and the context so requires) the part of a drain identified in a declaration of vesting made under section 102 of the 1991 Act or in an agreement made under section 104 of that Act**(5)**;

“licensed water supplier” means a company which is the holder for the time being of a water supply licence under section 17A(1) of the 1991 Act**(6)**;

“maintenance period” means the period so specified in an adoption agreement as a period of time—

(a) from the date of issue of a certificate by a sewerage undertaker to the effect that a developer has built (or substantially built) a private sewer or lateral drain to that undertaker’s satisfaction; and

(b) until the date that private sewer or lateral drain is vested in the sewerage undertaker;

“map of waterworks” means the map made available under section 198(3) of the 1991 Act**(7)** in relation to the information specified in subsection (1A);

“private sewer” means a pipe or pipes which drain foul or surface water, or both, from premises, and are not vested in a sewerage undertaker;

“public sewer” means, subject to section 106(1A) of the 1991 Act**(8)**, a sewer for the time being vested in a sewerage undertaker in its capacity as such, whether vested in that undertaker—

(a) by virtue of a scheme under Schedule 2 to the Water Act 1989**(9)**;

(b) by virtue of a scheme under Schedule 2 to the 1991 Act**(10)**;

(c) under section 179 of the 1991 Act(11); or

(d) otherwise;

“public sewer map” means the map made available under section 199(5) of the 1991 Act(12);

“resource main” means (subject to section 219(2) of the 1991 Act) any pipe, not being a trunk main, which is or is to be used for the purpose of—

(a) conveying water from one source of supply to another, from a source of supply to a regulating reservoir or from a regulating reservoir to a source of supply; or

(b) giving or taking a supply of water in bulk;

“sewerage services” includes the collection and disposal of foul and surface water and any other services which are required to be provided by a sewerage undertaker for the purpose of carrying out its functions;

“sewerage undertaker” means the company appointed to be the sewerage undertaker under section 6(1) of the 1991 Act for the area in which the property is or will be situated;

“surface water” includes water from roofs and other impermeable surfaces within the curtilage of the property;

“water main” means (subject to section 219(2) of the 1991 Act) any pipe, not being a pipe for the time being vested in a person other than the water undertaker, which is used or to be used by a water undertaker or licensed water supplier for the purpose of making a general supply of water available to customers or potential customers of the undertaker or supplier, as distinct from for the purpose of providing a supply to particular customers;

“water meter” means any apparatus for measuring or showing the volume of water supplied to, or of effluent discharged from any premises;

“water supplier” means the company supplying water in the water supply zone, whether a water undertaker or licensed water supplier;

“water supply zones” in relation to a calendar year means the names and areas designated by a water undertaker within its area of supply that are to be its water supply zones for that year; and

“water undertaker” means the company appointed to be the water undertaker under section 6(1) of the 1991 Act for the area in which the property is or will be situated.

In this report, references to a pipe, including references to a main, a drain or a sewer, shall include references to a tunnel or conduit which serves or is to serve as the pipe in question and to any accessories for the pipe.

(1) 1991 c. 56.

(2) S.I. 2000/3184. These Regulations apply in relation to England.

(3) S.I. 2001/3911. These Regulations apply in relation to Wales.

(4) Section 51A is inserted by section 92(2) of the Water Act 2003 (c. 37). Section 104(1) is amended by section 96(4) of that Act.

(5) To which there are various amendments made by sections 102 and 104 by section 96 of the Water Act 2003.

(6) Inserted by section 56 of and Schedule 4 to the Water Act 2003.

(7) Subsection (1A) is inserted by section 92(5) of the Water Act 2003.

(8) Section 106(1A) is inserted by section 99 of the Water Act 2003.

(9) 1989 c. 15.

(10) To which there are various amendments made by section 101(1) of and Schedule 8 to the Water Act 2003.

(11) To which there are various amendments made by section 101(1) of and Schedule 8 to the Water Act 2003.

(12) Section 199 is amended by section 97(1) and (8) of the Water Act 2003.

CON29DW DRAINAGE & WATER ENQUIRY (DOMESTIC)
TERMS AND CONDITIONS

The Customer and the Client are asked to note these terms, which govern the basis on which the drainage and water report is supplied.

Definitions

"Apparatus" means the public assets shown on the Company's map keys relevant to the Report.

"Client" means the person, company or body who is the intended recipient of the Report with an actual or potential interest in the Property.

"Company" means the company who produces the Report, being Thames Water Utilities Limited, a company registered in England and Wales with company number 02366661 and whose registered office is at Clearwater Court, Vastern Road, Reading, Berkshire, RG1 8DB.

"Customer" means the person, company, firm or other legal body placing the Order, either on their own behalf as Client, or, as an agent for a Client.

"Order" means any request completed by the Customer requesting the Report from the Company.

"Property" means the address or location supplied by the Customer in the Order.

"Report" means the drainage and/or water report prepared by the Company in respect of the Property, including any maps provided as part of such reports.

1. Agreement

1.1 The Company agrees to supply the Report to the Customer and the Client subject to these terms and conditions. The scope and limitations of the Report are described in clause 2 of these terms. Where the Customer is acting as an agent for the Client then the Customer shall be responsible for bringing these terms to the attention of the Client.

1.2 The Customer and the Client agree that the placing of an Order for a Report and the subsequent provision of a copy of the Report to the Client indicates their acceptance of these terms.

2. The Report

Whilst the Company will use reasonable care and skill in producing the Report, it is provided to the Customer and the Client on the basis that they acknowledge and agree to the following:-

2.1 The information contained in the Report can change on a regular basis so the Company cannot be responsible to the Customer or the Client for any change in the information contained in the Report after the date on which the Report was produced and sent to the Client.

2.2 The Report does not give details about the actual state or condition of the Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Property for any particular purpose, or relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.

2.3 The information contained in the Report is based upon the accuracy of the address supplied by the Customer or Client when placing the Order.

2.4 The Report provides information as to the indicative location and connection of existing services and other information in relation to drainage and water enquiries and should not be relied on for any other purpose.

2.5 The Report is produced only for use in relation to individual domestic property transactions which require the provision of drainage and water information and cannot be used for commercial development of domestic properties, development of land or commercial properties for intended occupation by third parties. Where a Report is required for commercial development of domestic properties, development of land or commercial properties for intended occupation by parties, the Customer can order a different report, and different terms shall apply.

2.6 The customer shall only use the Report for the purpose for which it is supplied in accordance with these terms.

2.7 In providing the Customer with the Report, the Company shall comply with the Drainage & Water Searches Network (DWSN) Standards.

3. Disclaimers

3.1 Without prejudice to any other terms set out herein, the Company accepts responsibility for any inaccuracy in the location of Apparatus, or missing Apparatus contained in the maps within the Report provided that such inaccuracies or errors arise as a direct result of the negligence of the Company and the existence of which the Company should reasonably have been aware.

3.2 For the purposes of the Report, the Company will not seek to rely on any statements and/or disclaimer shown on any maps which seeks to limit its liability in relation to the accuracy and/or location of Apparatus where any inaccuracies or errors arise as a direct result of the negligence of the Company and the existence of which the Company should reasonably have been aware.

4. Liability

4.1 The Company shall not be liable to the Customer or Client in contract, tort, negligence, breach of statutory duty, misrepresentation or otherwise for any inaccuracies, mistakes or omissions in the Report unless any such liability arises as a direct consequence of the Company's negligence and the existence of which the Company should reasonably have been aware.

4.2 Notwithstanding clause 4.1 above, the Company shall accept liability for (a) death or personal injury arising from its negligence, (b) fraud or fraudulent misrepresentation, and (c) any other liability which cannot be excluded or limited by law.

4.3 Subject to clause 4.2 above, the Company's total liability to the Customer or Client, whether for breach of contract, tort, negligence, breach of statutory duty, misrepresentation or otherwise, arising under or in connection with these terms and conditions and/or the provision of a Report shall be limited to £10 million in aggregate.

5. Copyright and Confidentiality

5.1 The Customer and the Client acknowledge that the Report is confidential and is intended for the personal use of the Client. The copyright and any other intellectual property rights in the Report shall remain the property of the Company and/or its licensors. No intellectual or other property rights are transferred or licensed to the Customer or the Client except to the extent expressly provided in these terms.

5.2 The Customer or Client is entitled to make copies of the Report for their own internal purposes, but may only copy Ordnance Survey mapping or data contained in or attached to the Report if they have an appropriate licence from the originating source of that mapping or data.

5.3 The Customer and the Client agree (in respect of both the original and any copies made) to respect and not to alter any trademark, copyright notice or other property marking which appears on the Report.

5.4 The maps contained in the Report are protected by Crown Copyright and must not be used for any purpose outside the context of the Report.

5.5 The enquiries in the Report are protected by copyright by the Law Society of 113 Chancery Lane, London WC2A 1PL and must not be used for any purpose outside the context of the Report.

5.6 The Customer and the Client agree to indemnify the Company against any losses, costs, claims and damage suffered by the Company as a result of any breach by either of them of the terms of clauses 5.1 to 5.5 inclusive.

6. Payment

6.1 Unless otherwise stated, all prices are inclusive of VAT. The Customer shall pay for the price of the Report specified by the Company, without any set off, deduction or counterclaim. Unless otherwise agreed between the parties, the Company must receive payment for the Report in full before the Report is produced. Where the parties agree that payment is not required in advance, the Customer must pay for the Report in full within 14 days of the date of the invoice, unless otherwise agreed in writing between the parties.

7. Cancellation Rights

As a consumer

7.1 Where the Customer is an individual consumer (and not acting for purposes wholly or mainly relating to his or her trade, business, craft or profession), the Customer has specific legal rights relating to cancellation of any Order the Customer may place. The Customer may cancel his or her Order at any time within 14 days after the day on which the contract is entered into ("**Cancellation Period**").

CON29DW DRAINAGE & WATER ENQUIRY (DOMESTIC)
TERMS AND CONDITIONS

- 7.2 To exercise the right to cancel, the Customer must inform the Company in writing of his or her decision to cancel this contract.
- 7.3 Where the Customer is ordering a Report as a consumer, due to the Customer's cancellation rights, the Company will not process the Order or provide the Report to the Customer before the end of the Cancellation Period unless the Customer provides his or her express consent and acknowledges that he or she will lose the right to cancel the contract under regulation 29(1) of the Consumer Contracts (Information, Cancellation, and Additional Charges) Regulations 2013
- 7.4 In addition to these rights, where the Company is able to, it will cancel any Order in accordance with its cancellation policy, which can be found on the Company's website.

As a business

- 7.5 The Cancellation Period does not apply to the Customer's Order if the Customer is placing the Order wholly or mainly for purposes relating to their trade, business, craft or profession.
- 7.6 If the Customer cancels the Order other than in accordance with this clause the Customer may be liable for fees as detailed in the Company's cancellation policy which can be found on the Company's website.

8. Complaints

- 8.1 The Company's complaints procedure is available on the Company's website.
- 8.2 If the Customer follows the Company's complaints procedure but is dissatisfied with the response, the Customer may refer the complaint for consideration under The Property Ombudsman Scheme (TPOs). Further information can be obtained by visiting www.tpos.co.uk or by sending an email to admin@tpos.co.uk.

9. General

- 9.1 These terms are the only terms and conditions that shall apply to any Order and the provision of a Report by the Company to the Customer and shall constitute the entire agreement between the Customer and the Company and supersede, replace and extinguish any previous arrangement, understanding or agreement between the parties relating to such Report.
- 9.2 In the event of any conflict of inconsistency between any information on the Company's website describing the features of the Report and these terms, then these terms shall prevail.
- 9.3 Where the Customer is acting wholly or mainly in the normal course of his or her trade, business, craft or profession, the Client is entitled to the benefit of these terms. Save as provided in this clause 9.3, it is not intended that any other person who is not a party to these terms has any right to enforce any term of these terms under the Contracts (Rights of Third Parties) Act 1999.
- 9.4 If any provision of these terms is or becomes invalid or unenforceable, it will be taken to be removed from the rest of these terms to the extent that it is invalid or unenforceable. No other provision of these terms shall be affected.
- 9.5 These terms shall be governed by English law and all parties submit to the exclusive jurisdiction of the English courts.
- 9.6 Nothing in these terms and conditions shall in any way restrict the Customer or the Client's statutory or any other rights of access to the information contained in the Report.

These Terms & Conditions are available in larger print for those with impaired vision

Payment Terms and Conditions

All sales are made in accordance with Thames Water Utilities Limited (TWUL) standard terms and conditions unless previously agreed in writing.

1. All goods remain in the property of Thames Water Utilities Ltd until full payment is received.
2. Provision of service will be in accordance with all legal requirements and published TWUL policies.
3. All invoices are strictly due for payment 14 days from due date of the invoice. Any other terms must be accepted/agreed in writing prior to provision of goods or service, or will be held to be invalid.
4. Thames Water does not accept post-dated cheques-any cheques received will be processed for payment on date of receipt.
5. In case of dispute TWUL's terms and conditions shall apply.
6. Penalty interest may be invoked by TWUL in the event of unjustifiable payment delay. Interest charges will be in line with UK Statute Law 'The Late Payment of Commercial Debts (Interest) Act 1998'.
7. Interest will be charged in line with current Court Interest Charges, if legal action is taken.
8. A charge may be made at the discretion of the company for increased administration costs.

A copy of Thames Water's standard terms and conditions are available from the Commercial Billing Team (cashoperations@thameswater.co.uk).

We publish several Codes of Practice including a guaranteed standards scheme. You can obtain copies of these leaflets by calling us on 0800 316 9800.

If you are unhappy with our service you can speak to your original goods or customer service provider. If you are not satisfied with the response, your complaint will be reviewed by the Customer Services Director. You can write to her at: Thames Water Utilities Ltd. PO Box 492, Swindon, SN38 8TU.

If the Goods or Services covered by this invoice falls under the regulation of the 1991 Water Industry Act, and you remain dissatisfied you can refer your complaint to Consumer Council for Water on 0121 345 1000 or write to them at Consumer Council for Water, 1st Floor, Victoria Square House, Victoria Square, Birmingham, B2 4AJ.

Ways to pay your bill

Credit Card	BACS Payment	Telephone Banking	Cheque
Call 0800 009 4540 quoting your invoice number starting CBA or ADS / OSS.	Account number 90478703 Sort code 60-00-01 A remittance advice must be sent to: Thames Water Utilities Ltd., PO Box 3189, Slough SL1 4WW. or email ps.billing@thameswater.co.uk	By calling your bank and quoting: Account number 90478703 Sort code 60-00-01 and your invoice number	Made payable to ' Thames Water Utilities Ltd ' Write your Thames Water account number on the back. Send to: Thames Water Utilities Ltd., PO Box 3189, Slough SL1 4WW or by DX to 151280 Slough 13

Thames Water Utilities Ltd Registered in England & Wales No. 2366661 Registered Office Clearwater Court, Vastern Rd, Reading, Berks, RG1 8DB.



Mrs Emma Harris

Mewies Engineering Consultants Ltd
The Old Chapel
Station Road
Hugglescote
LE67 2GB



05 September 2023

Pre-planning enquiry: Confirmation of sufficient capacity

Site Address: Aunt Ems Lane, Caversfield OX27 8TH

Dear Emma,

Thank you for providing information on your development.

*Proposed site: Proposed General Housing (110), Total of 2 phases, Phase 1 (50), Phase 2 (51).
Proposed Foul water discharge by gravity into FWMH5901. Proposed Surface Water discharge into a SWMH5903 at 2l/s.*

We have completed the assessment of the foul water flows and surface water run-off based on the information submitted in your application with the purpose of assessing sewerage capacity within the existing Thames Water sewer network.

Foul Water

If your proposals progress in line with the details you've provided, we're pleased to confirm that there will be sufficient sewerage capacity in the adjacent foul water sewer network to serve your development.

This confirmation is valid for 12 months or for the life of any planning approval that this information is used to support, to a maximum of three years.

You'll need to keep us informed of any changes to your design – for example, an increase in the number or density of homes. Such changes could mean there is no longer sufficient capacity.

Surface Water

In accordance with the Building Act 2000 Clause H3.3, positive connection of surface water to a public sewer will only be consented when it can be demonstrated that the hierarchy of disposal methods have been examined and proven to be impracticable. Before we can consider your surface water needs, you'll need written approval from the lead local flood authority that you have followed the sequential approach to the disposal of surface water and considered all practical means.

The disposal hierarchy being:

- 1) rainwater use as a resource (for example rainwater harvesting, blue roofs for irrigation)
- 2) rainwater infiltration to ground at or close to source
- 3) rainwater attenuation in green infrastructure features for gradual release (for example green roofs, rain gardens)
- 4) rainwater discharge direct to a watercourse (unless not appropriate)
- 5) controlled rainwater discharge to a surface water sewer or drain
- 6) controlled rainwater discharge to a combined sewer.

Where connection to the public sewerage network is required to manage surface water flows we will accept these flows at a discharge rate in line with CIRIA's best practice guide on SuDS or that stated within the sites planning approval.

If the above surface water hierarchy has been followed and proven to be impracticable and if the flows are restricted to a total of 2 l/s then Thames Water would not have any objections to the proposal.

Please see the attached 'Planning your wastewater' leaflet for additional information.

What happens next?

Please make sure you submit your connection application, giving us at least 21 days' notice of the date you wish to make your new connection/s.

If you've any further questions, please contact me on number below.

Yours sincerely

Natalya Bacon

Developer Services – Adoptions Engineer

Helpdesk: 0800 009 3921

Clearwater Court, Vastern Road, Reading, RG1 8DB

Find us online at developers.thameswater.co.uk

Get advice on making your sewer connection correctly at connectright.org.uk



Your reference: DS6107845

Your site address: 27877, Aunt Ems Lane, Caversfield, Oxfordshire, OX27 8TH

Customer: Mewies Engineering Consultants Ltd

Clean water capacity report

Status: Capacity concerns

Date: 11.09.2023

Validity: Valid until 11.09.2024 or for the duration of your Local Authority planning permission when this report is used to support your application.

We confirm that there will be sufficient capacity in our clean water network to serve the first 50 properties of your development:

However, we're unable to confirm capacity for your whole development of 101 dwellings, without further investigation. How to make a request for us to progress with network modelling activity is listed in the accompanying email.

Please be aware that this report is based upon the details and drawings provided. If there are any subsequent changes to these, then the contents of this report will become invalid and a new assessment will be needed.

Please note that the below POC is based on desktop study and it might change after capacity check study or site-specific survey.

Nearest point of connection / Your preferred point of connection



Point of connection -
250 DI Main in FRINGFORD ROAD



Contaminated land

If your site is on contaminated land, any new water pipes laid should be barrier pipe which is more expensive. If you think this is not the case you will need to provide a soil report when applying for new mains and services.

Building near our assets

Please [read our guide](#) 'working near our assets' to ensure your workings will be in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures. Should you require further information please contact [us](#).

Diversions

From our records we don't anticipate that any clean water assets need to be diverted to accommodate your proposals.

Building water

It's important that you apply for a building water supply before you start using water on site even if you believe your supply is already metered. We need to ensure your account is properly set up and you have the correct meter for your supply or fines maybe imposed. Apply [here](#).

Fire hydrant and sprinkler demand

Please note that we cannot confirm whether a fire hydrant or sprinkler demand can be accommodated on a new connection. You'll need to contact an independent consultant or specialist company for hydrant testing for fire-fighting purposes. Valve operations must be carried out by our Network Service Technician which can be booked on 0800 316 9800.

Asset location search

If you need help in identifying the location of existing water mains and sewers, you can get this information from any property search provider. We have a Property Searches team who will carry out an asset location search, which provides information on the location of known Thames Water clean and/or wastewater assets, including details of pipe sizes, direction of flow and depth (for which a fee is payable). You can find out more [online](#) or by calling us on 0845 070 9148.

Quotation process

Please use links below to find out more information about water main and services connections, including application process.

Click [here](#) for our home improvements website, or click [here](#) to apply for clean water services.



MEC

Development Technical
Consultants

APPENDICES



APPENDIX D



16 October 2023

Our Ref: 2491107
Your Ref: N/A

SGN Connections
St Lawrence House
Station Approach
Horley
Surrey
RH6 9HJ

Emma Harris
M-EC
The Old Chapel
Station Road
Hugglescote
Coalville
Leicestershire
LE67 2GB

Customer Service **0800 912 1700***

Dear **M-EC**

New connections at Land At Aunt Ems Lane, Caversfield, Bicester, Oxfordshire, OX27 8TJ

Thank you for choosing us to give you a budget indication for new connections at the above site, and please find our detailed quote below.

Work to be carried out

SGN Connections to install appropriately sized gas infrastructure to a suitable location to feed 101 x domestic properties.

SGN Connections to carry out all the necessary excavation and reinstatement work in public and up to the site boundary.

Customer is responsible for all the necessary excavation and reinstatement work within the site boundary.

No meter works are included.

SGN to supply & install suitable meter housing.

Your budget indication is £90,000.00 (inc VAT charged at 0%)

Please note that this figure is a budget indication only, it is based upon an hourly load of 101 x 60 kW and an annual quantity of 101 x 12,500 kWh along with any other information you've given us, and doesn't represent an offer to carry out the work.

To ensure that the existing gas infrastructure can manage your new gas load, Southern Gas Networks will need to run further analysis upon acceptance of this quotation (Security of Supply Check). If the existing infrastructure requires reinforcing to accommodate your load, then this will incur time delays to the installation of your gas supply. Reinforcement costs will be met by Southern Gas Networks and we will contact you, where required.

Please note that this budget indication doesn't allow for any diversion of our existing infrastructure if we find it's necessary. You can get further detail on this by calling SGN Diversions/Isolations on 0800 912 1722.



If you have any further questions, please feel free to contact me on the number at the top of this letter.

Yours sincerely

Jon White
Design & Quote Team (Southern)

* All calls are recorded and may be monitored



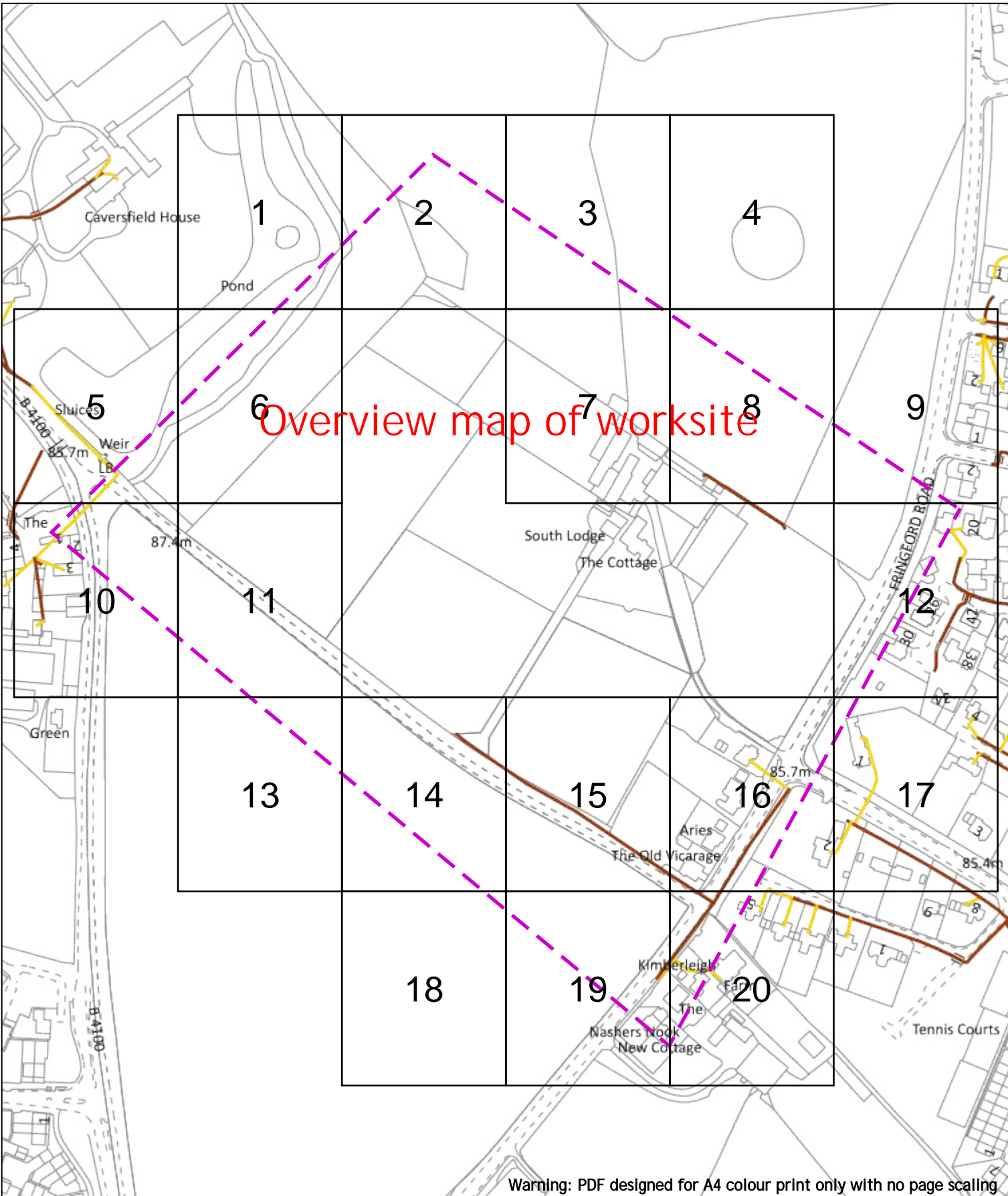
MEC

Development Technical
Consultants

APPENDICES

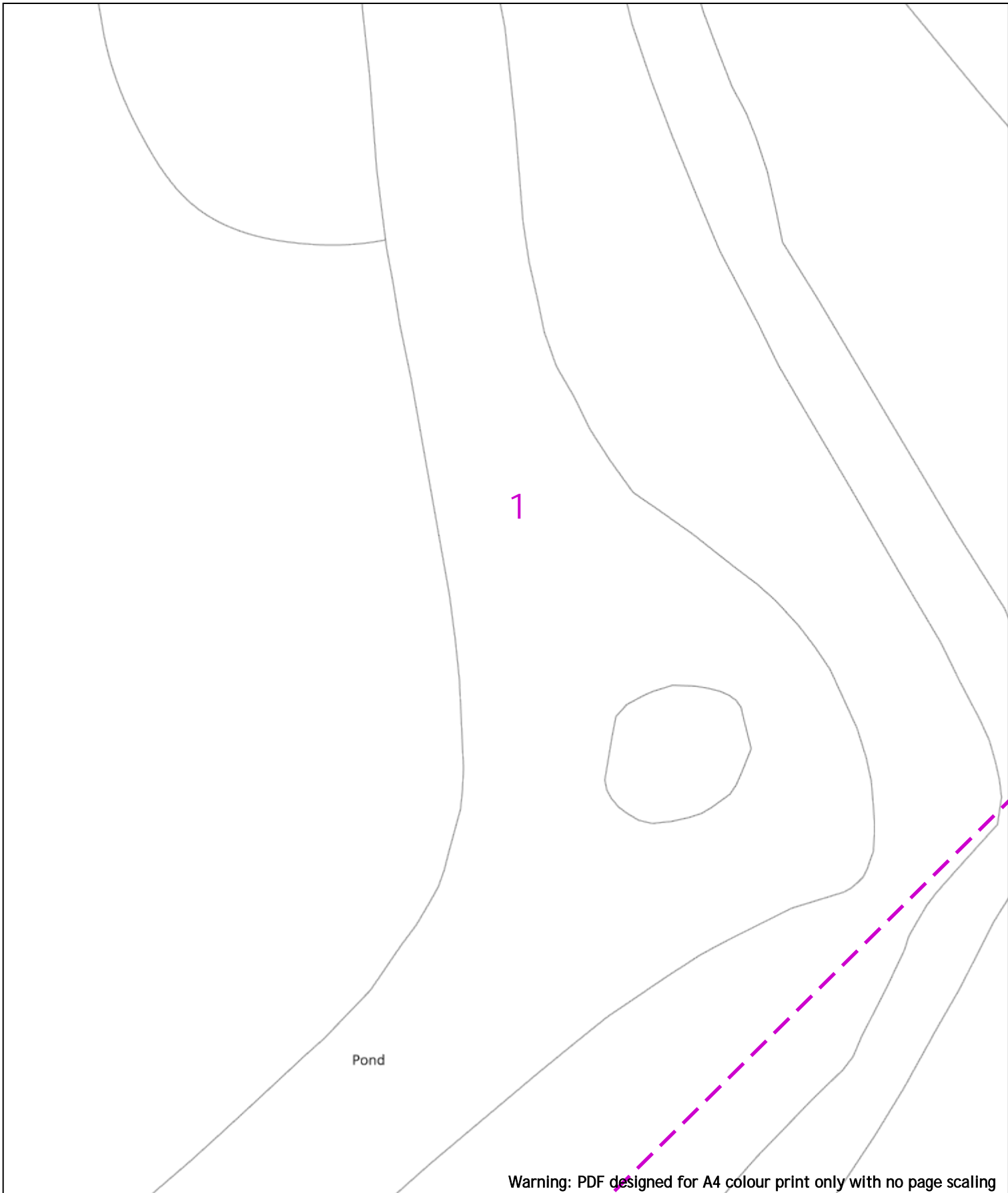


APPENDIX E



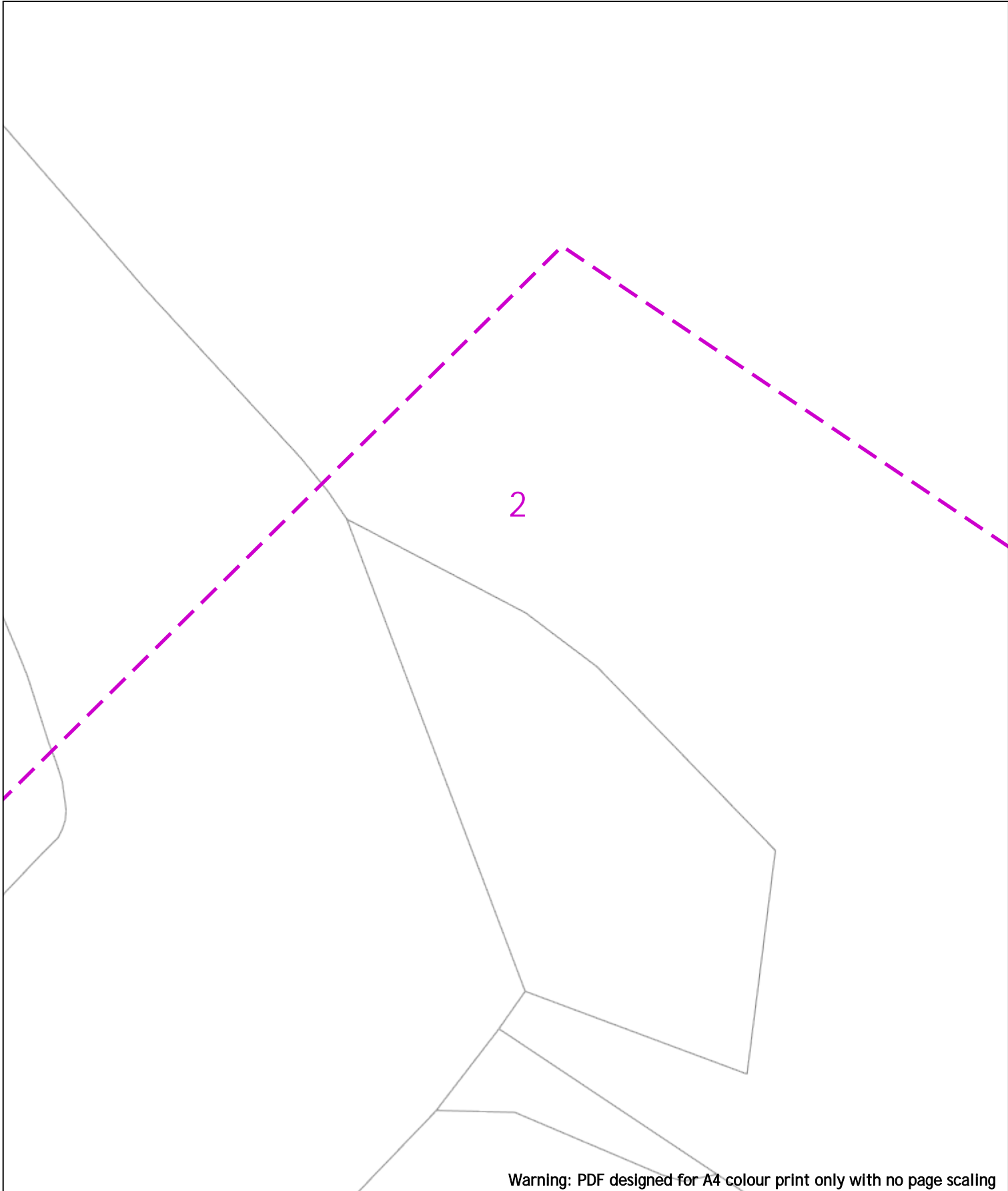
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Scale: 1:3075 (When plotted at A4)	<p>WARNING</p> <p>There may have been subsequent alteration to the surface levels. Trial holes must be undertaken to determine position and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive - Avoiding Danger from Buried Cables - should be consulted before commencing excavation work.</p> <p>WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)</p>	<p>Southern Electric Power Distribution plc Registered Office: No.1 Forbury Place 43 Forbury Road Reading RG1 3JH Registered In England & Wales No.04094290</p> <p>If you're unsure & need to seek advice before commencing excavations, please contact: General Enquiries: 0800 048 3516</p> <p>Subject to revision - Master held by SSEN Asset Data Team: Asset.Data@sse.com 01256 337 294</p>																																																																														



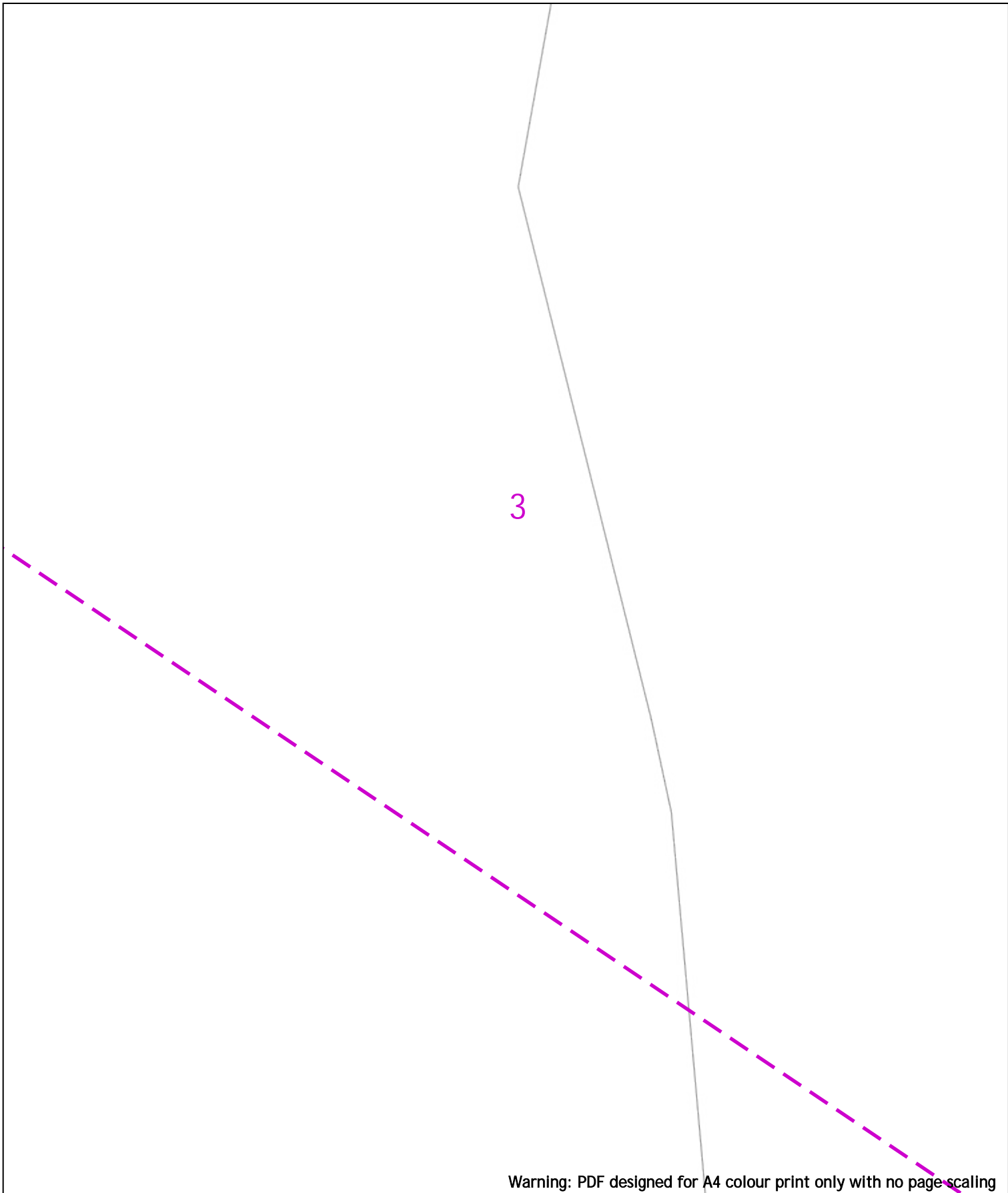
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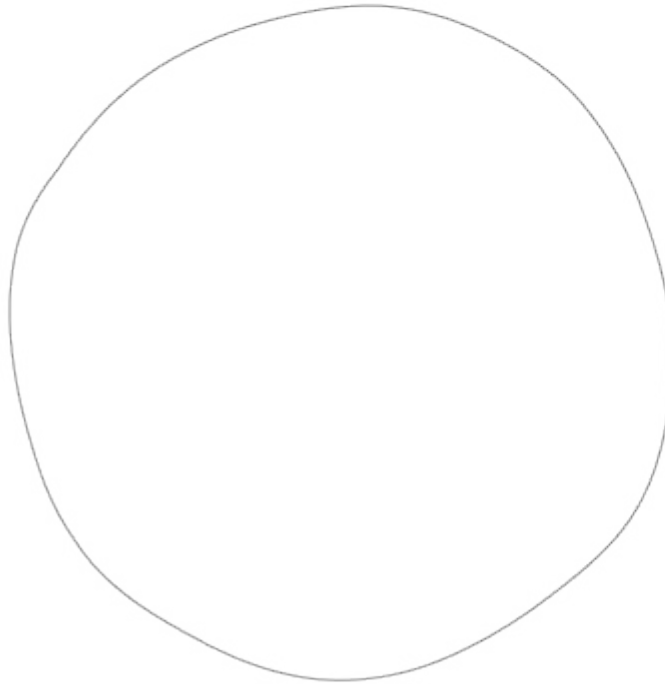
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0 20m Dig Sites Area: Line:



Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
 Your Scheme/Reference: 27877

Voltages (V)			
LV (Low Voltage) and Services	Up to 1,000V		
HV (High Voltage)	Over 1,000V to 11,000V		
EHV (Extra High Voltage)	22,000V to 132,000V		
Transmission	275,000V and 400,000V		
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m 0.8m
Road Crossing	0.6m	0.6m	0.75m 0.9m
Agricultural	1m	1m	1m 1.1m

<p>Legend</p> <ul style="list-style-type: none"> Service Cable LV Mains 2-13kV 6.6kV 11kV 22kV 33kV 66kV 132kV 275kV 400kV Fibre Optic Pilot Cable 	<p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> Pole, Existing Location Pole Structure, Existing Location - Single Pole Structure, Existing Location - H Duct Route Cross Section Route
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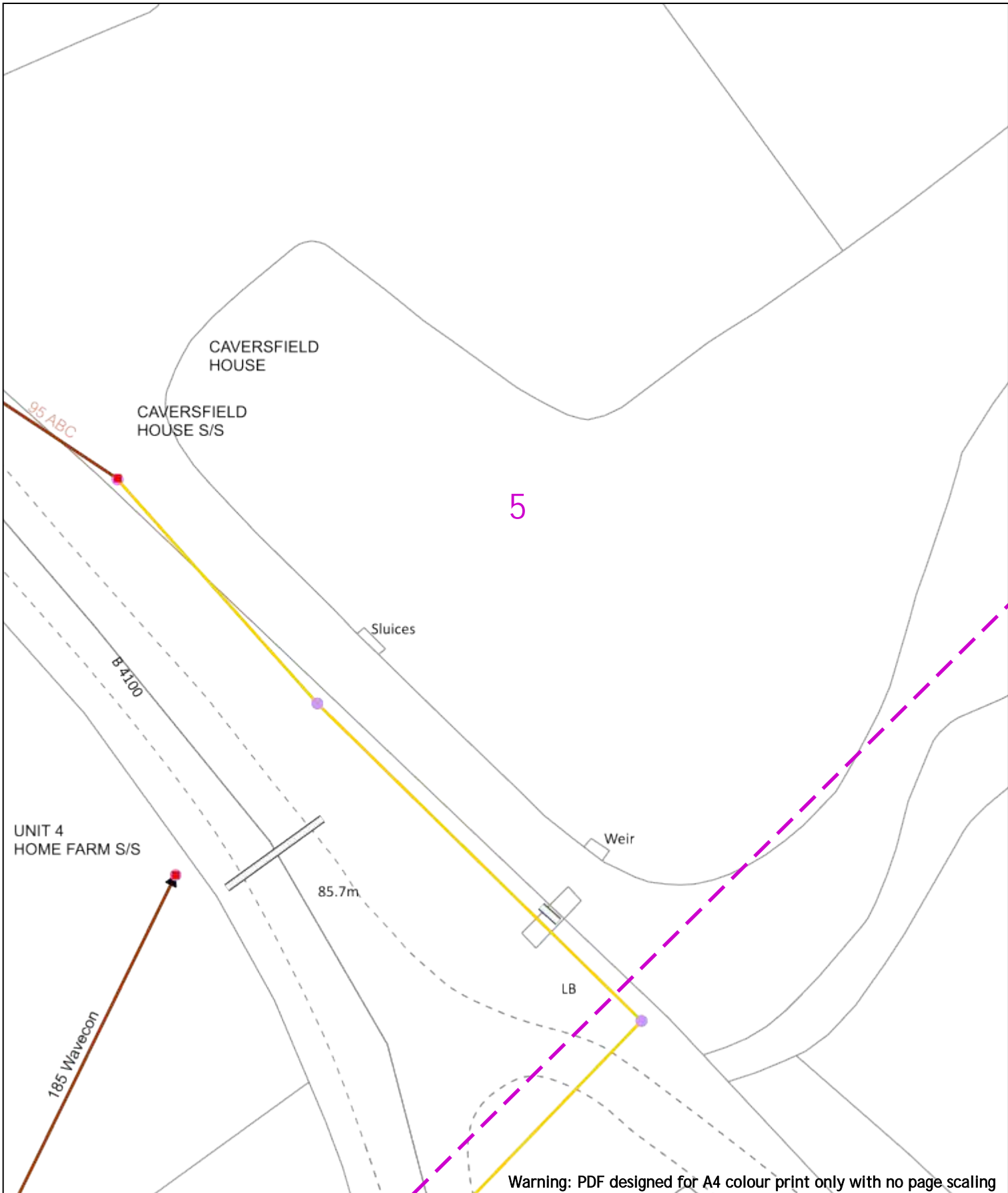
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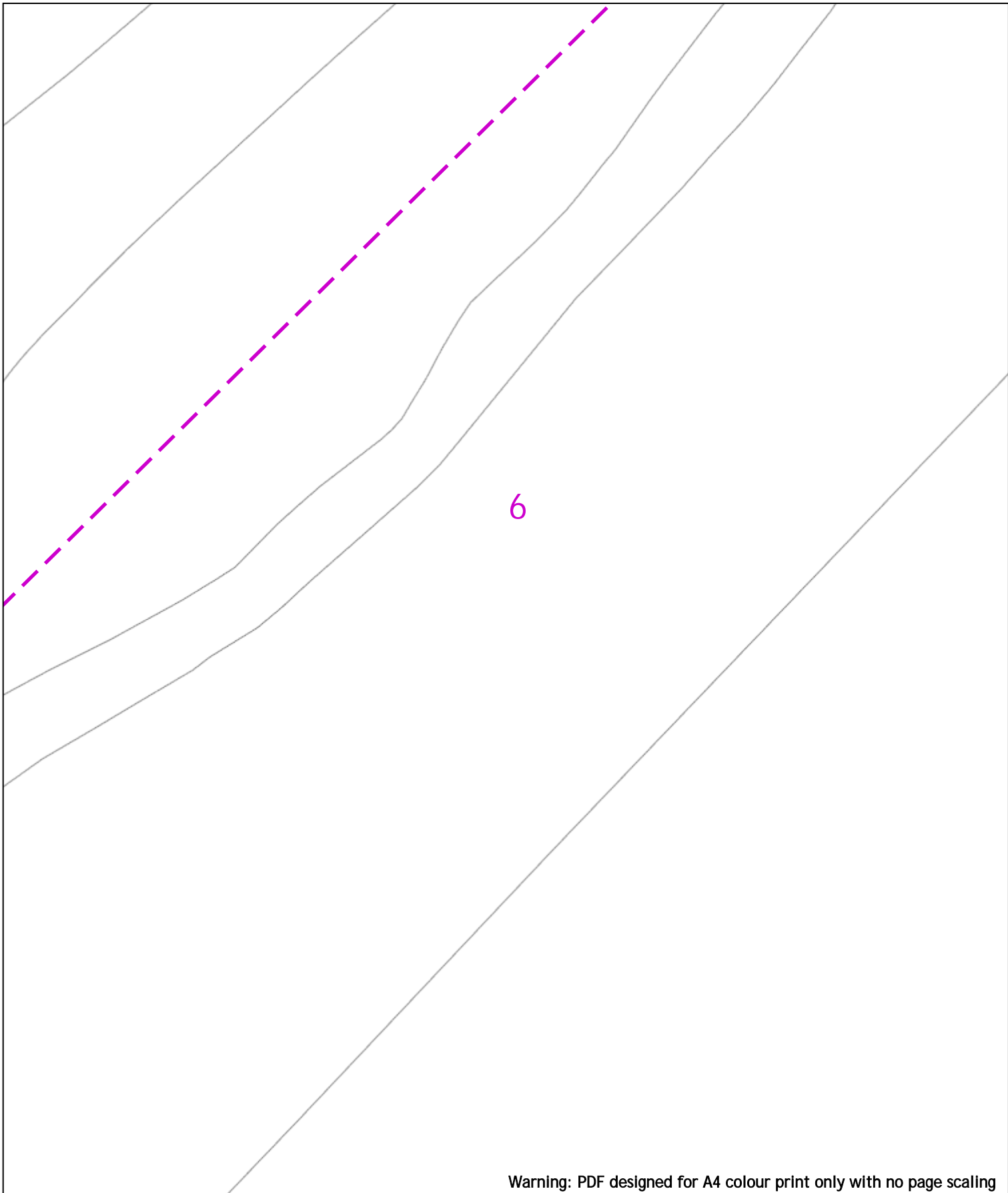
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0 20m Dig Sites Area: Line:

Date Requested: 11/09/2023
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 Site Location: 458321 225285
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 Your Scheme/Reference: 27877

Voltages (V)

LV (Low Voltage) and Services	Up to 1,000V		
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NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID

Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.8m
Road Crossing	0.6m	0.6m	0.9m
Agricultural	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

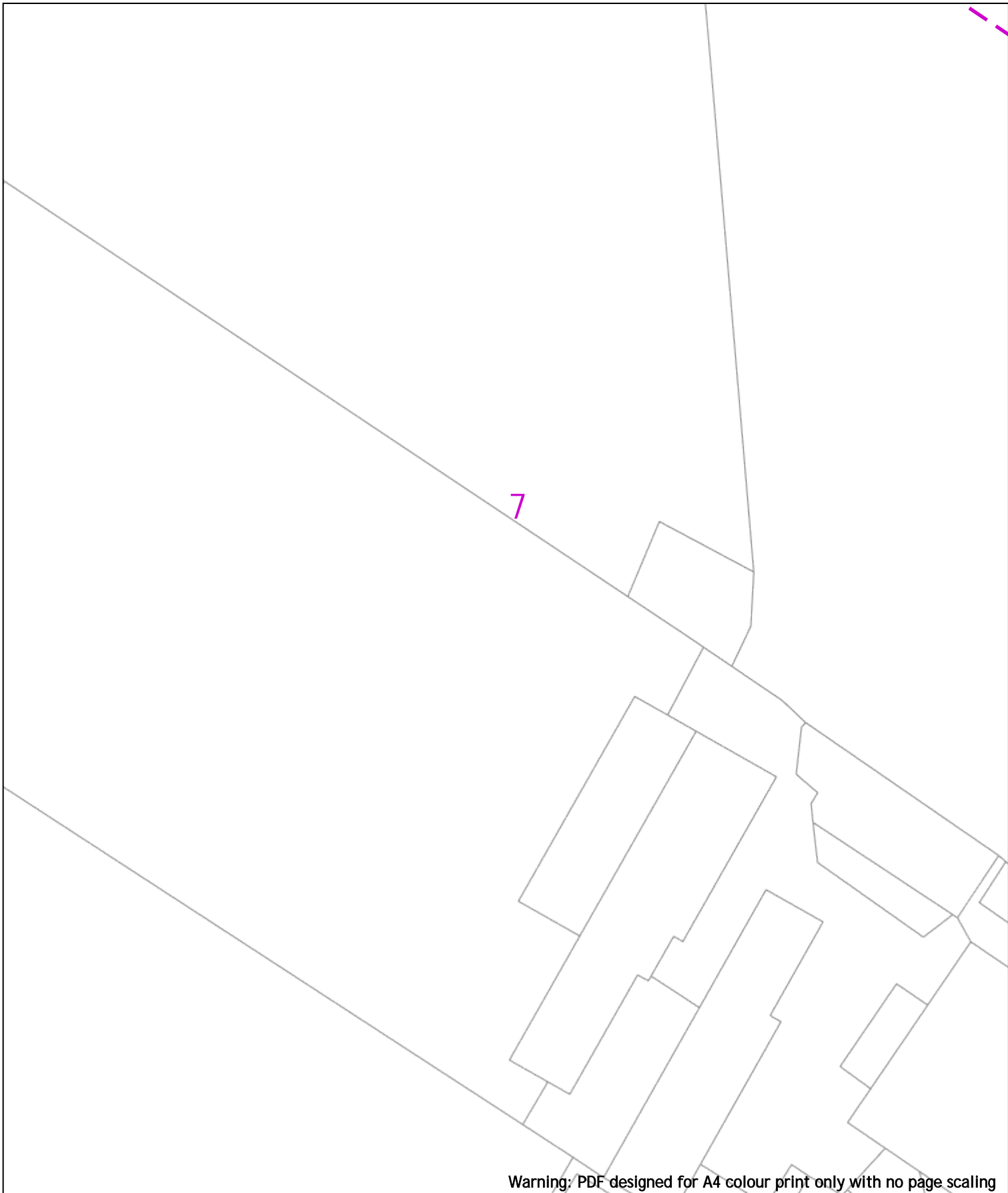
- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H
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- Cross Section Route

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Legend	Distribution Structures (Electric)
Service Cable	Pole, Existing Location
LV Mains	Pole Structure, Existing Location - Single
2-3.3kV	Pole Structure, Existing Location - H
6.6kV	Duct Route
11kV	Cross Section Route
22kV	
33kV	
66kV	
132kV	
275kV	
400kV	
Fibre Optic	
Pilot Cable	

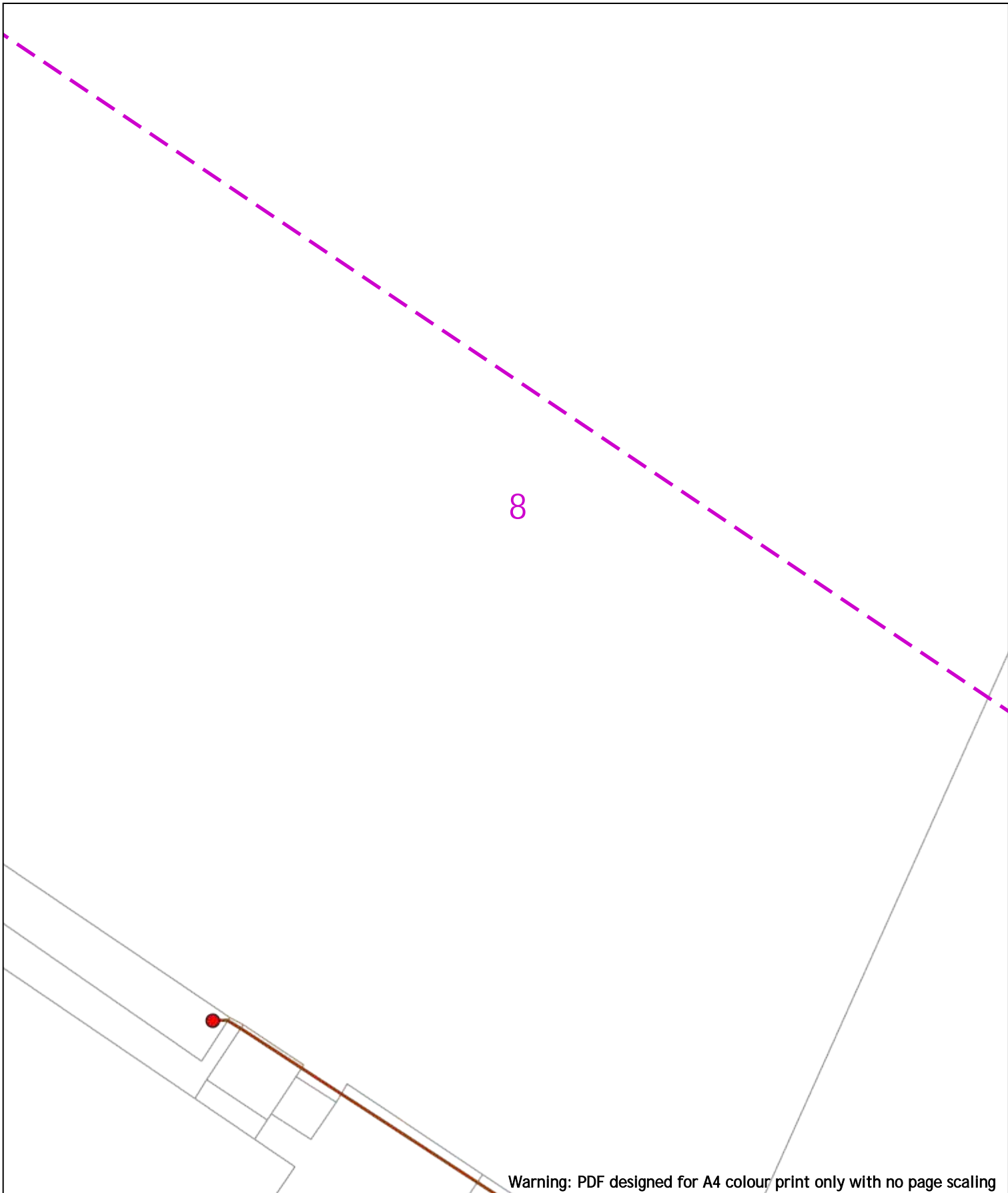
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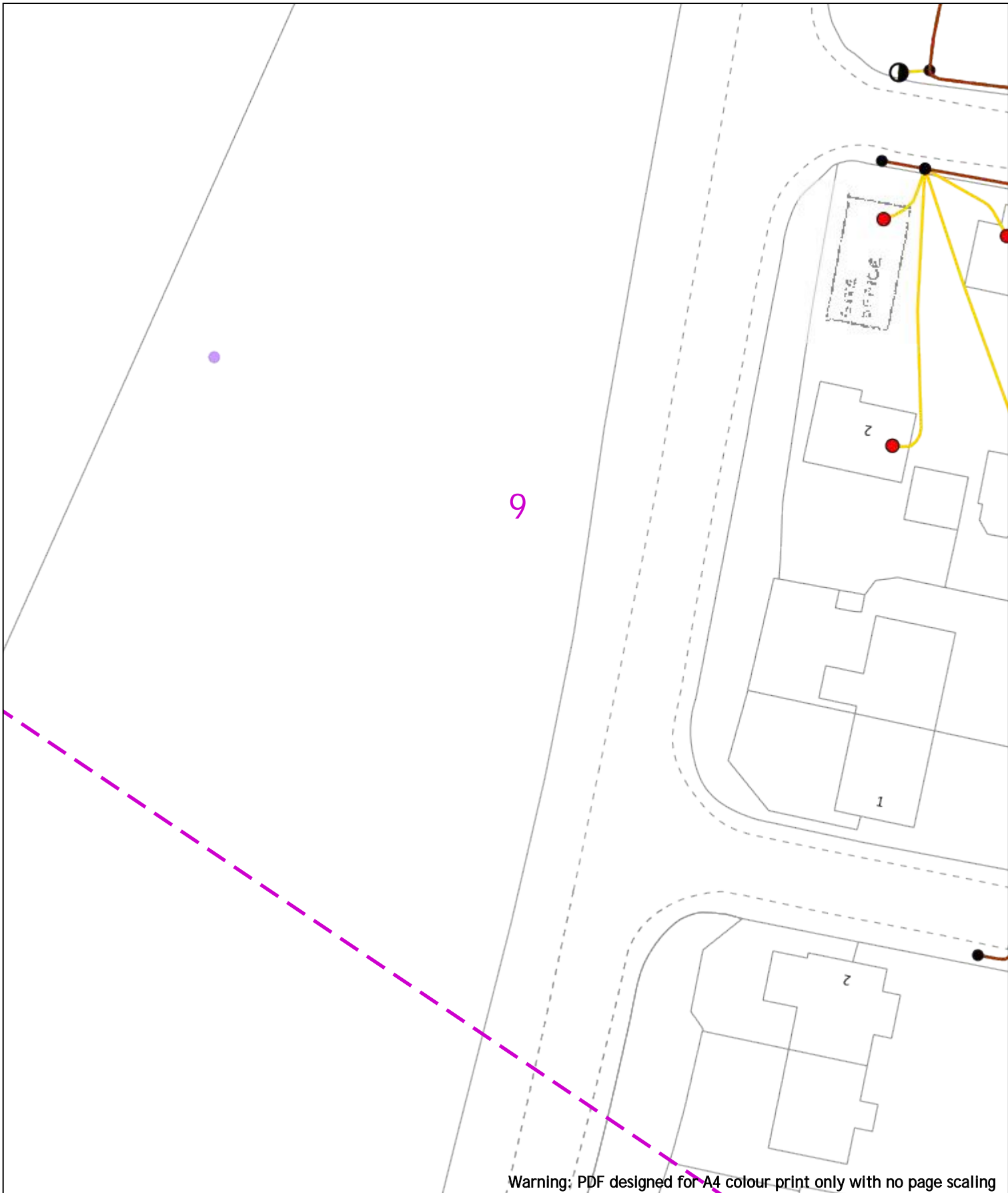
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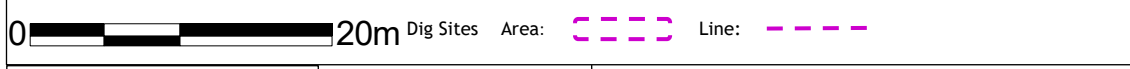
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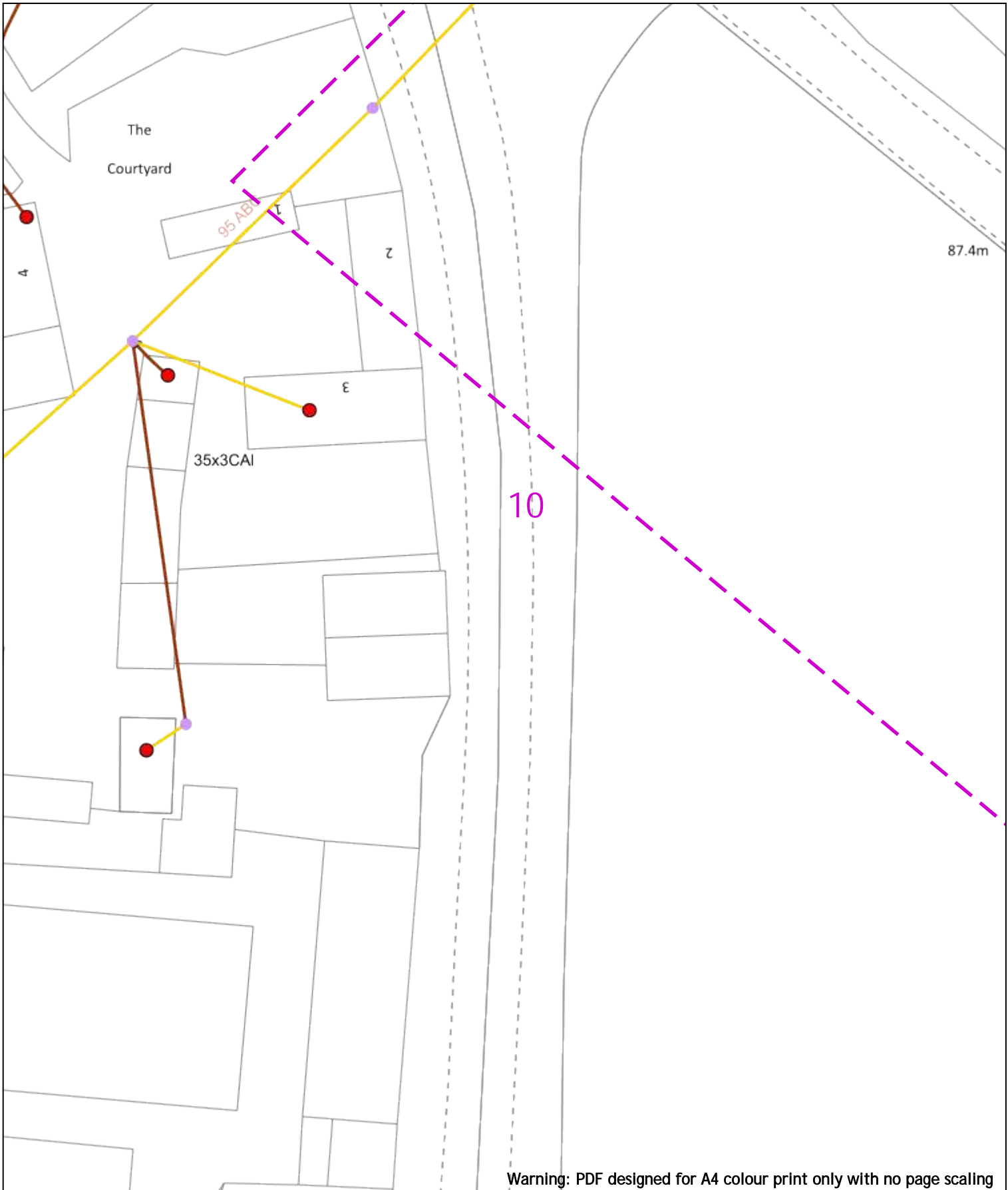
Voltages (V)			
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NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
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<p>Legend</p> <ul style="list-style-type: none"> — Service Cable — LV Mains — 2 – 13kV — 66kV — 11kV — 22kV — 33kV — 66kV — 132kV — 275kV — 400kV — Fibre Optic — Pilot Cable 	<p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> ● Pole, Existing Location ○ Pole Structure, Existing Location - Single ○ Pole Structure, Existing Location - H — Duct Route — Cross Section Route
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Agricultural	1m	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Dust Route

Cross Section Route

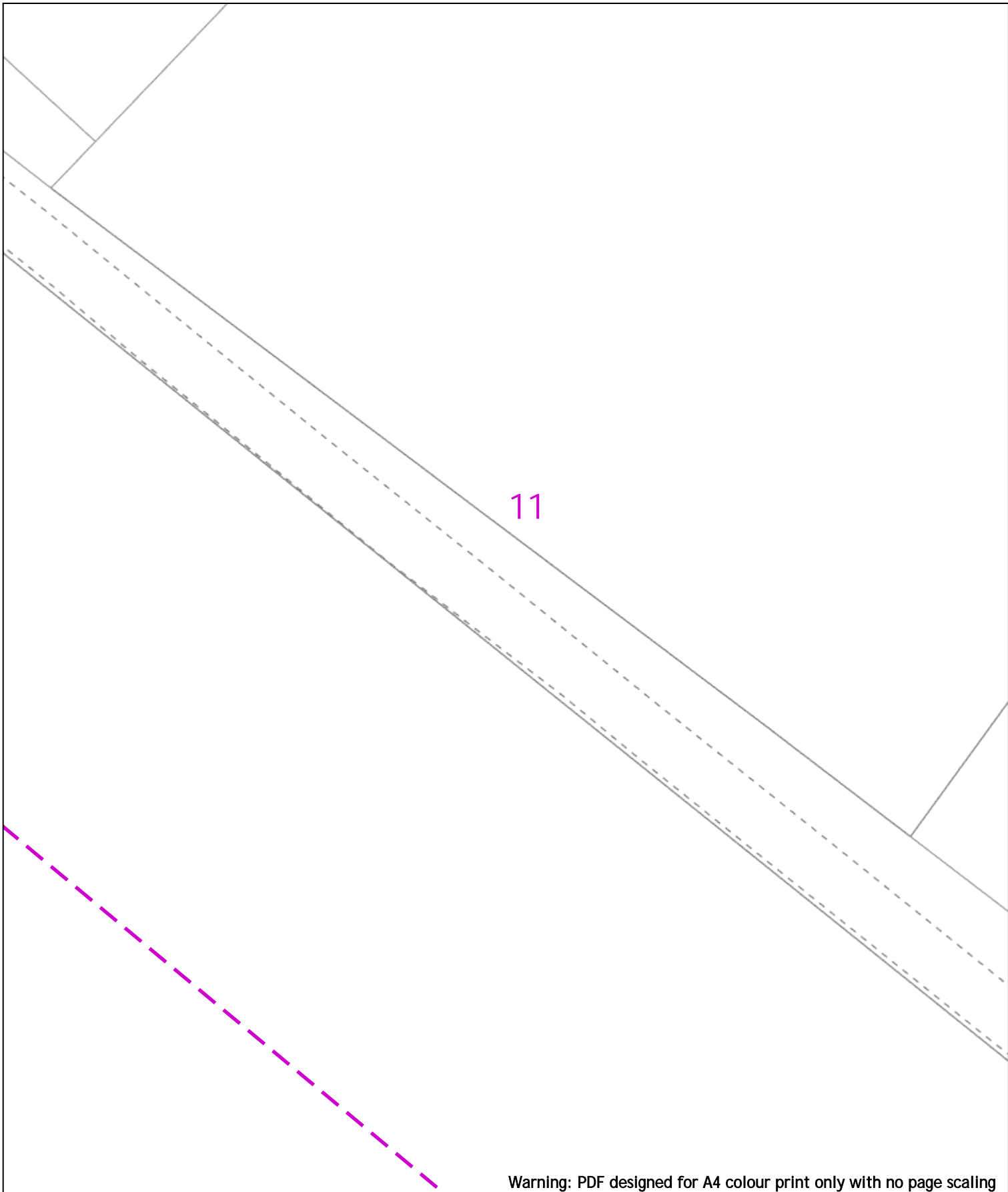
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Legend

- Service Cable
- LV Mains
- 11kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Dist Route

- Cross Section Route

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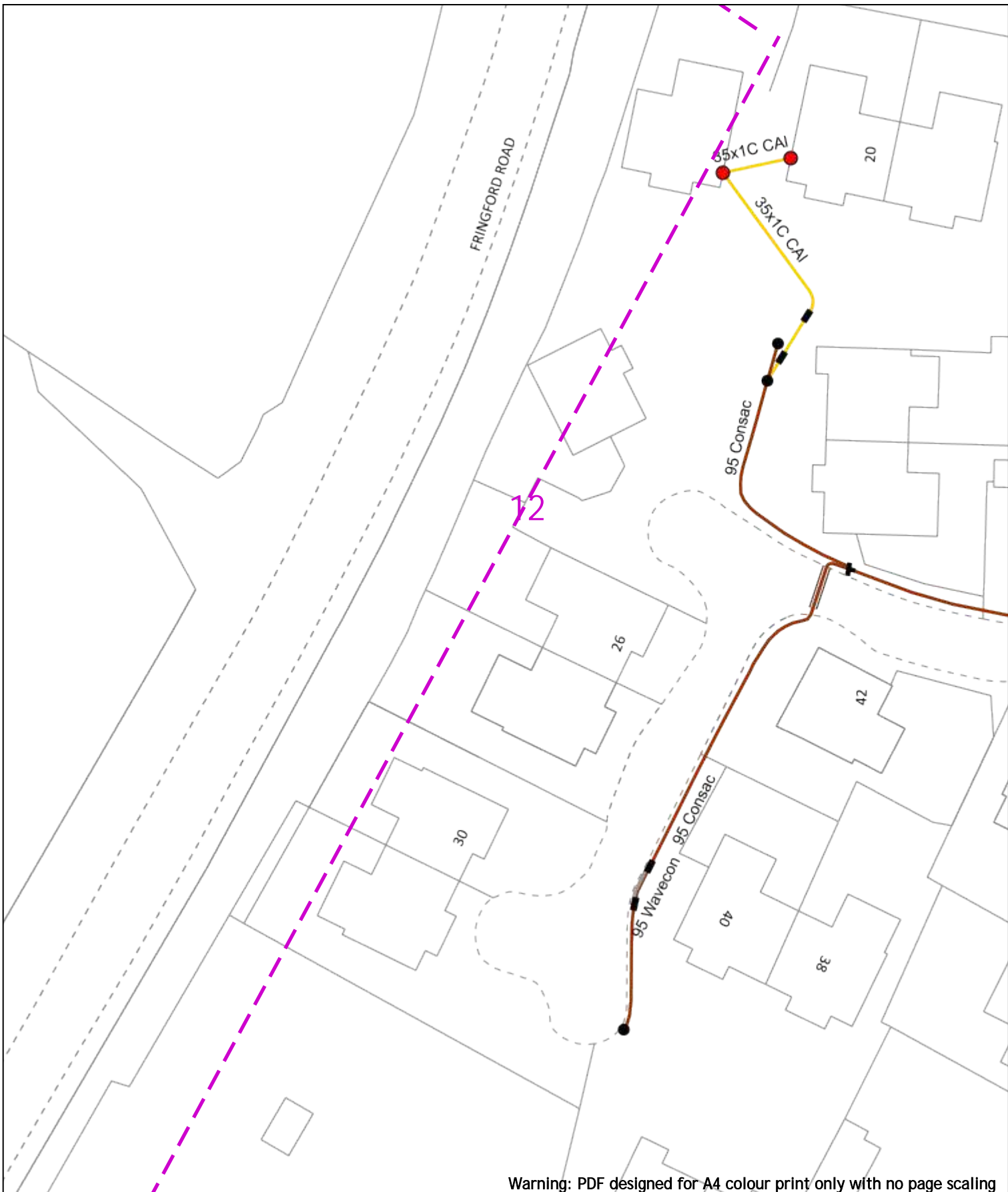
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Legend	
Service Cable	—
LV Mains	—
6.6kV	—
11kV	—
22kV	—
33kV	—
66kV	—
132kV	—
275kV	—
400kV	—
Fibre Optic	—
Pilot Cable	—

Distribution Structures (Electric)	
Pole, Existing Location	●
Pole Structure, Existing Location - Single	○
Pole Structure, Existing Location - H	○

Dig Route	
Dig Route	—
Cross Section Route	—



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SOUTH LODGE

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0  20m Dig Sites Area:  Line: 



Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
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Footpath/Unmade	0.45m	0.45m	0.6m
Road Crossing	0.6m	0.6m	0.75m
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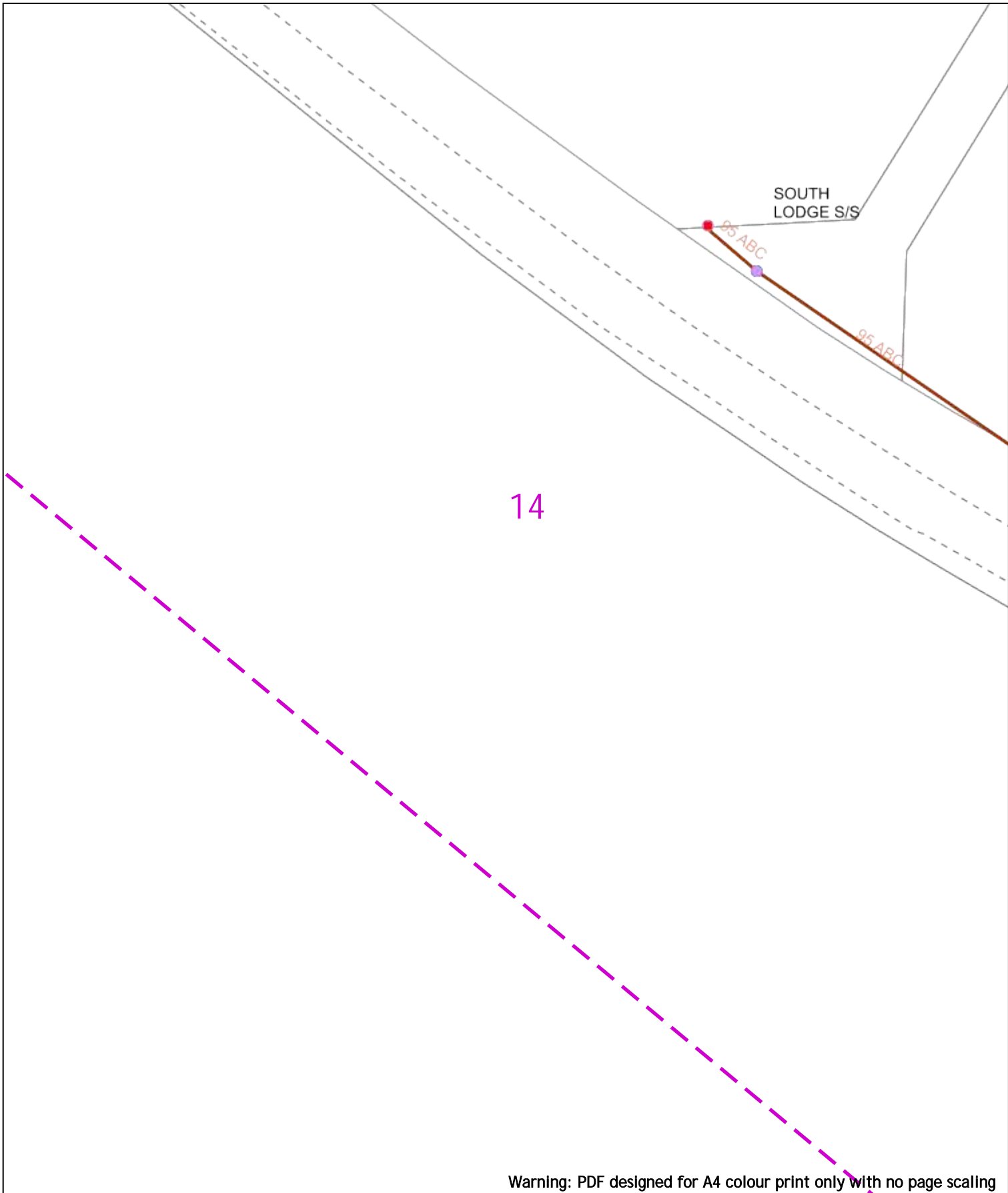
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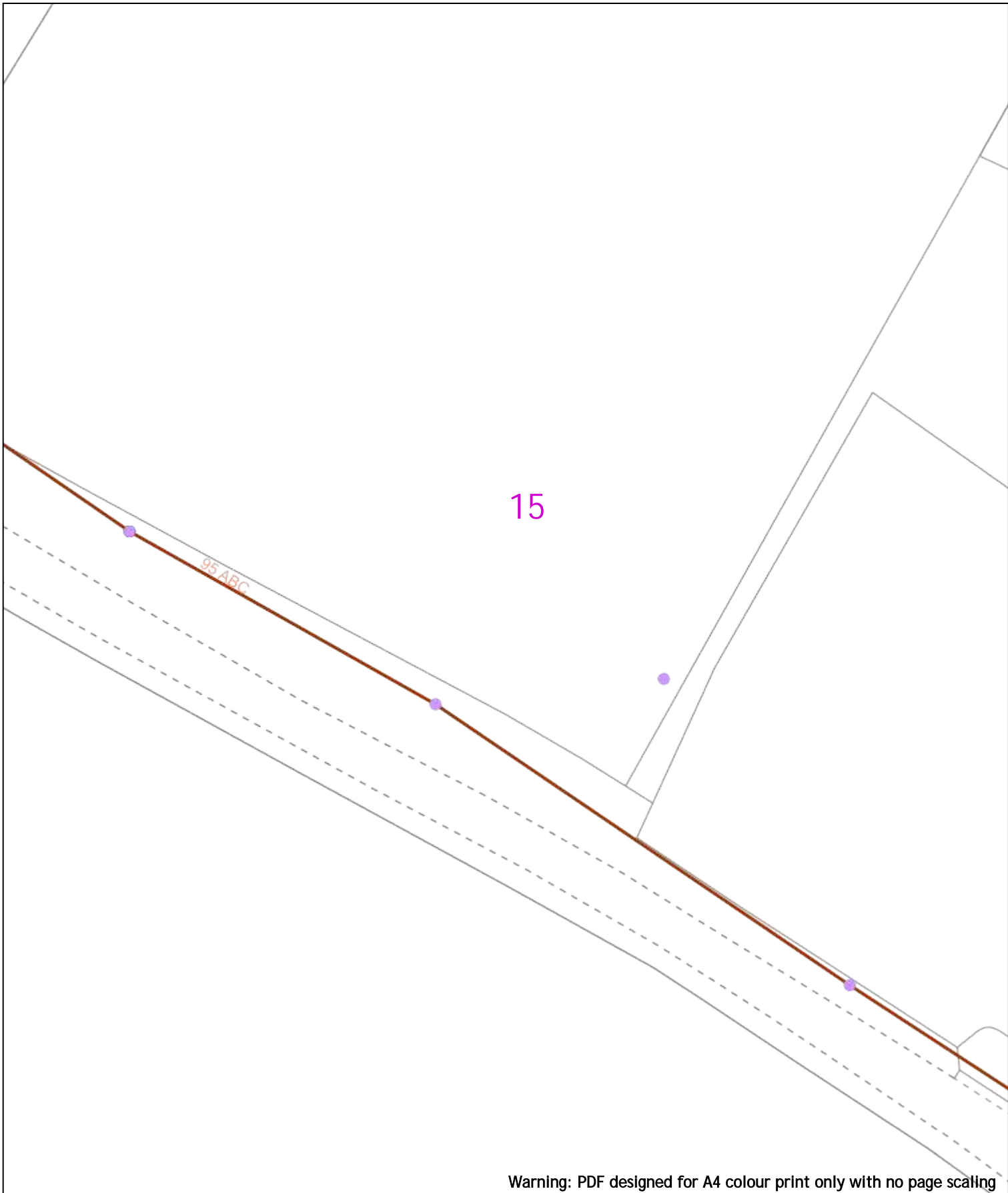
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14

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<p>0 20m Dig Sites Area: Line: </p>	<p>Legend</p> <p>Service Cable</p> <p>LV Mains: 2-3.3kV</p> <p>6.6kV</p> <p>11kV</p> <p>22kV</p> <p>33kV</p> <p>66kV</p> <p>132kV</p> <p>275kV</p> <p>400kV</p> <p>Fibre Optic</p> <p>Pilot Cable</p>	<p>Distribution Structures (Electric)</p> <p>Pole, Existing Location</p> <p>Pole Structure, Existing Location - Single</p> <p>Pole Structure, Existing Location - H</p> <p>Duct Route</p> <p>Cross Section Route</p>	<p> Scottish & Southern Electricity Networks</p>																
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 Your Scheme/Reference: 27877

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Legend

- Service Cable
- LV Mains: 2-3.3kV
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- 11kV
- 21kV
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Distribution Structures (Electric)

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- Pole Structure, Existing Location - H

Duct Route

Cross Section Route

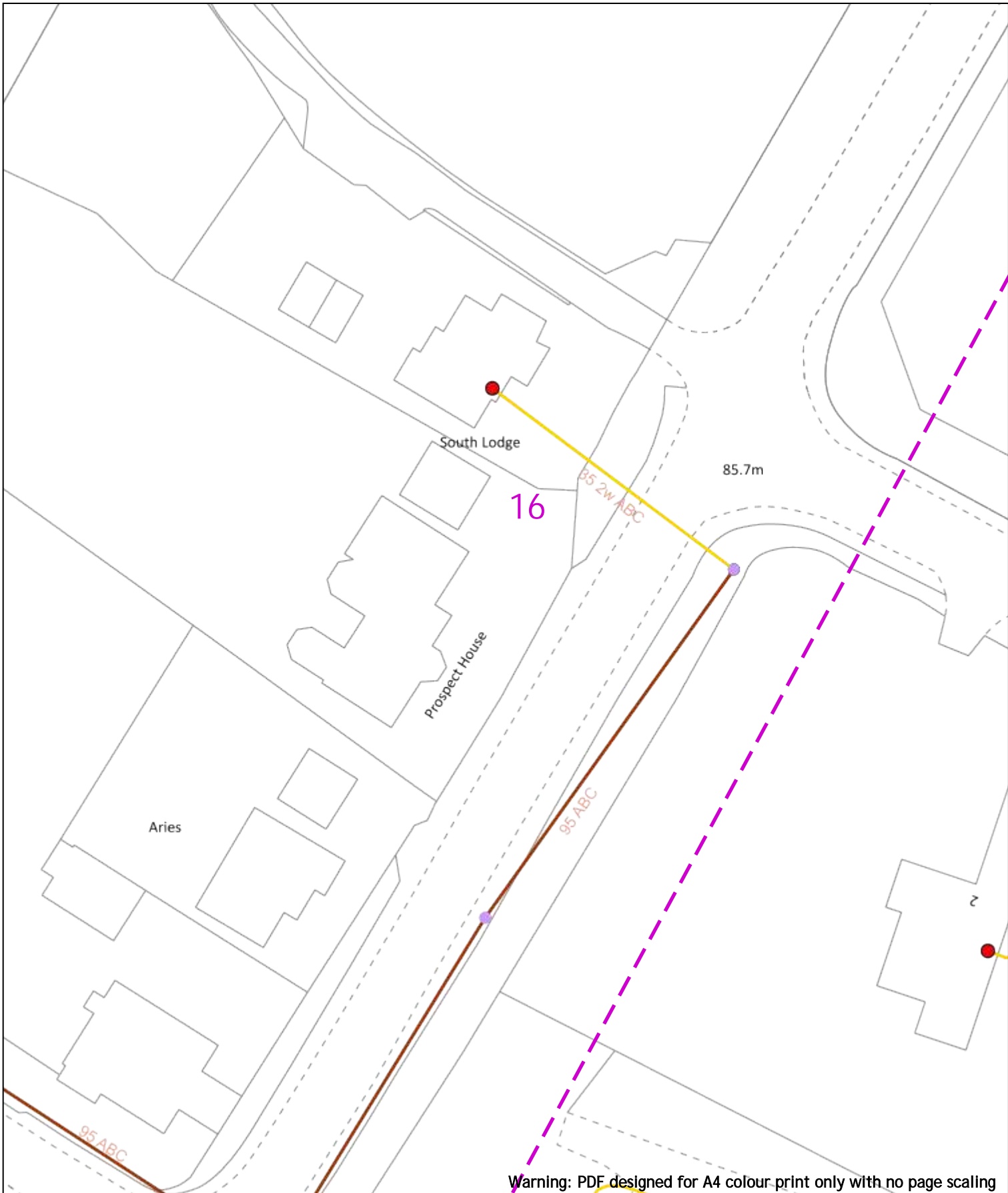
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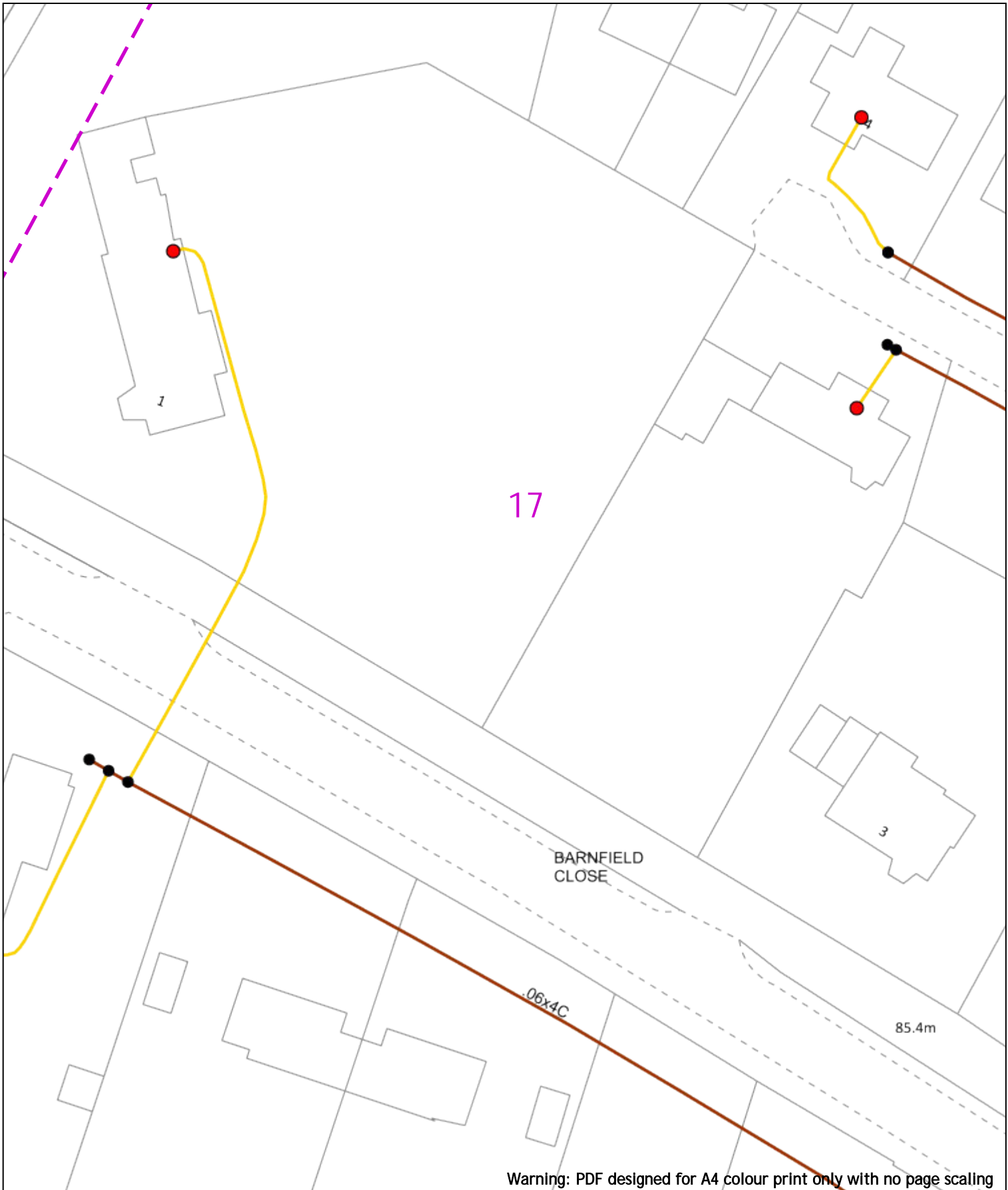
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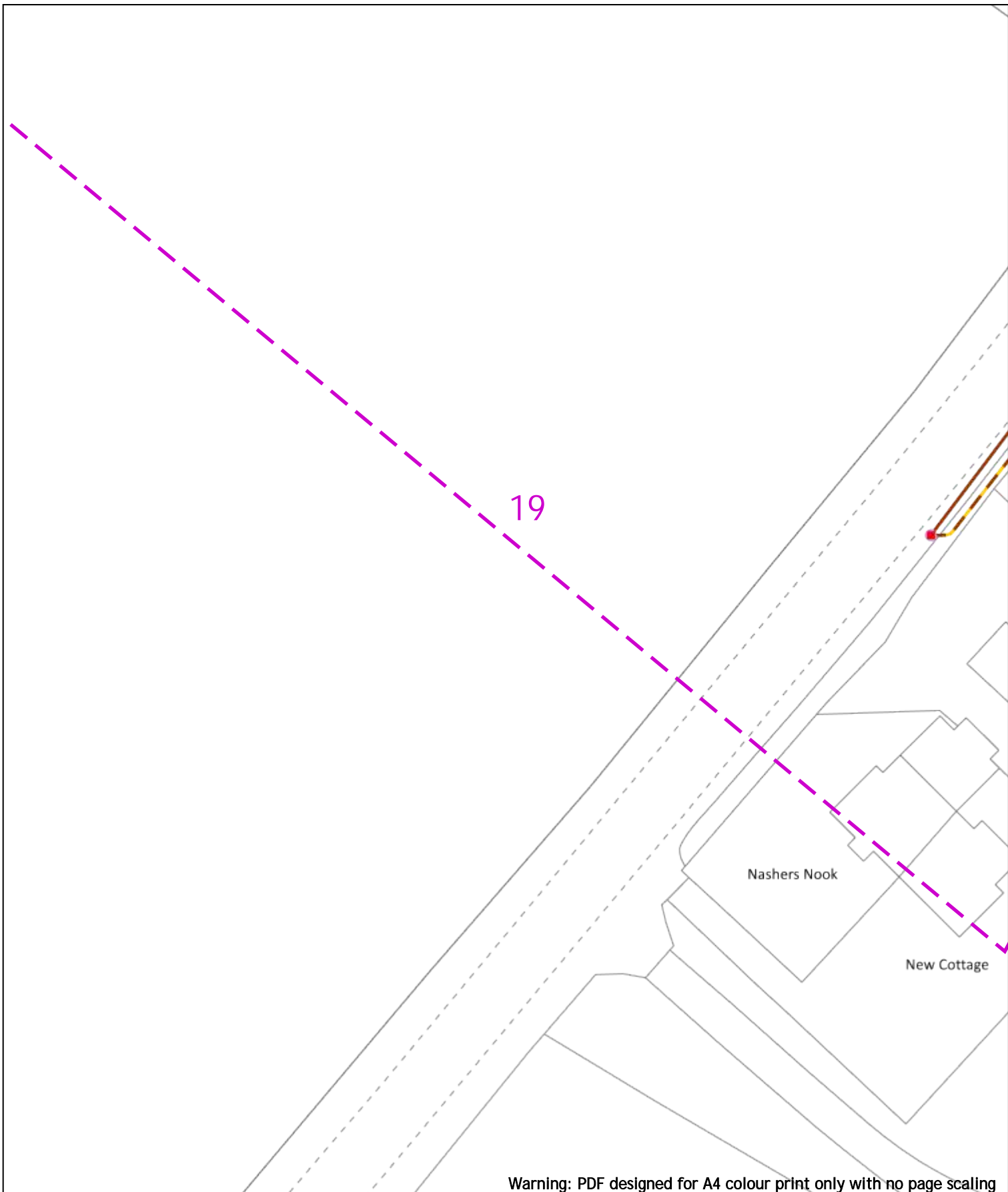
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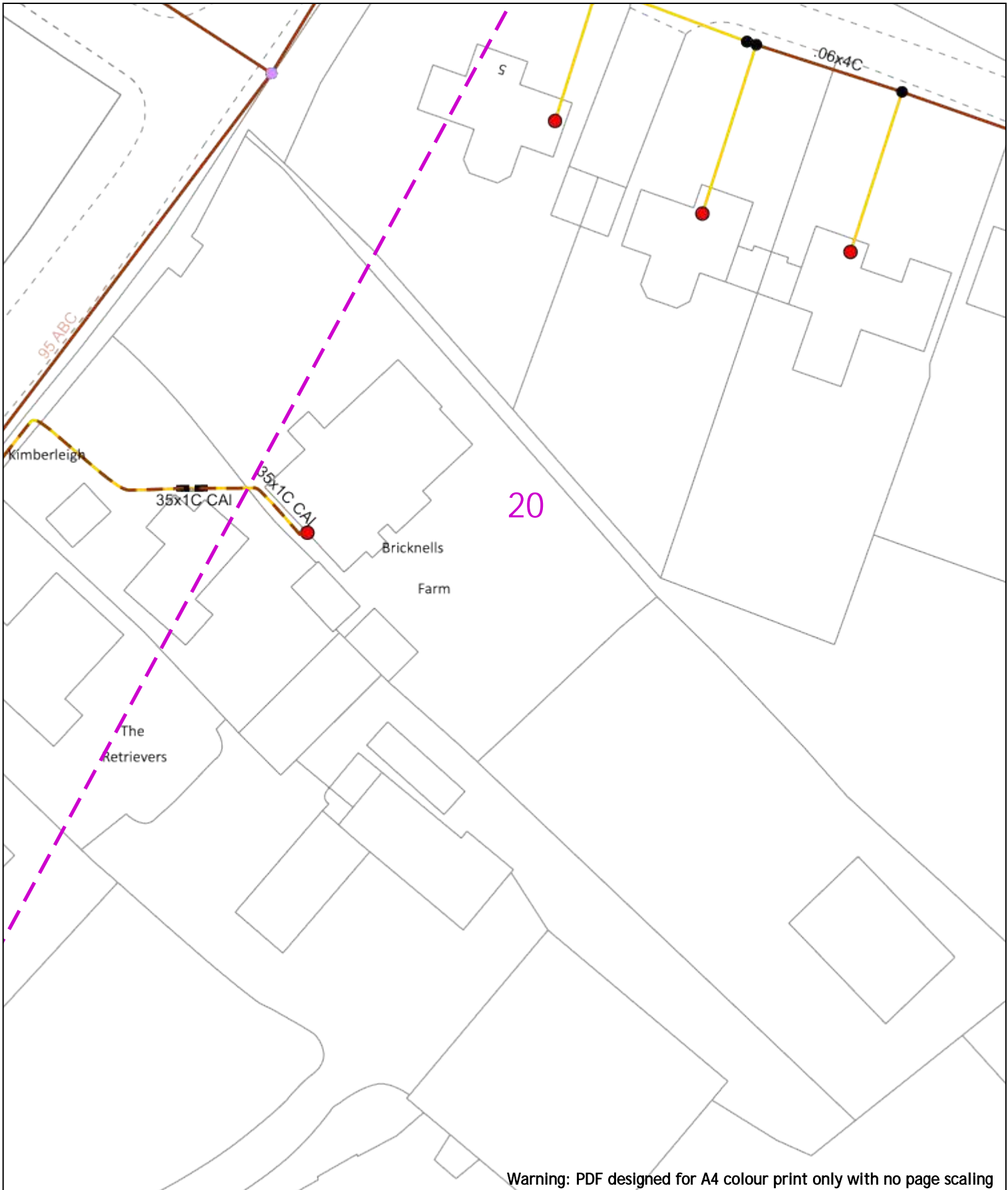
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Other Symbols

- Dig Site
- Cross Section Route

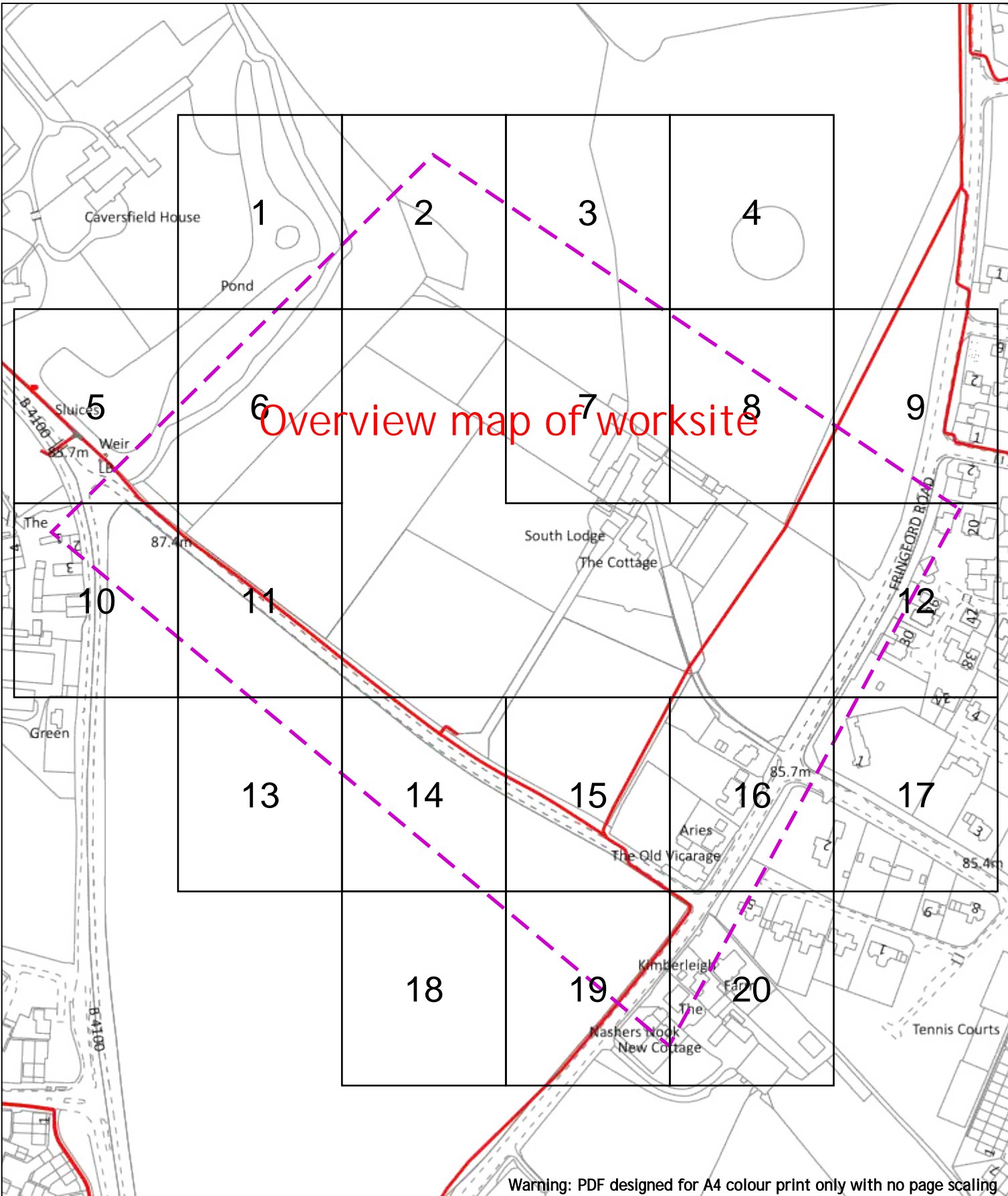
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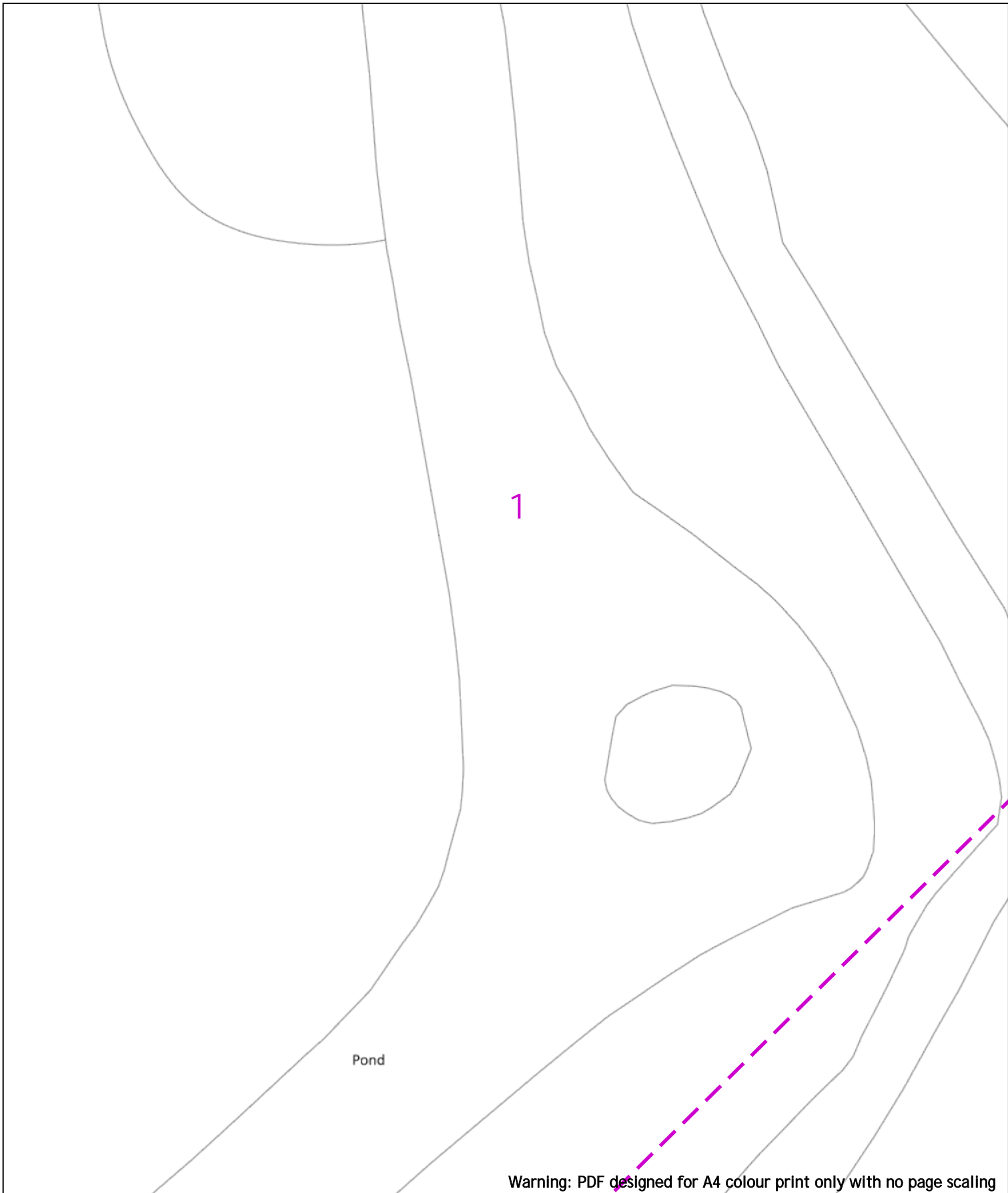
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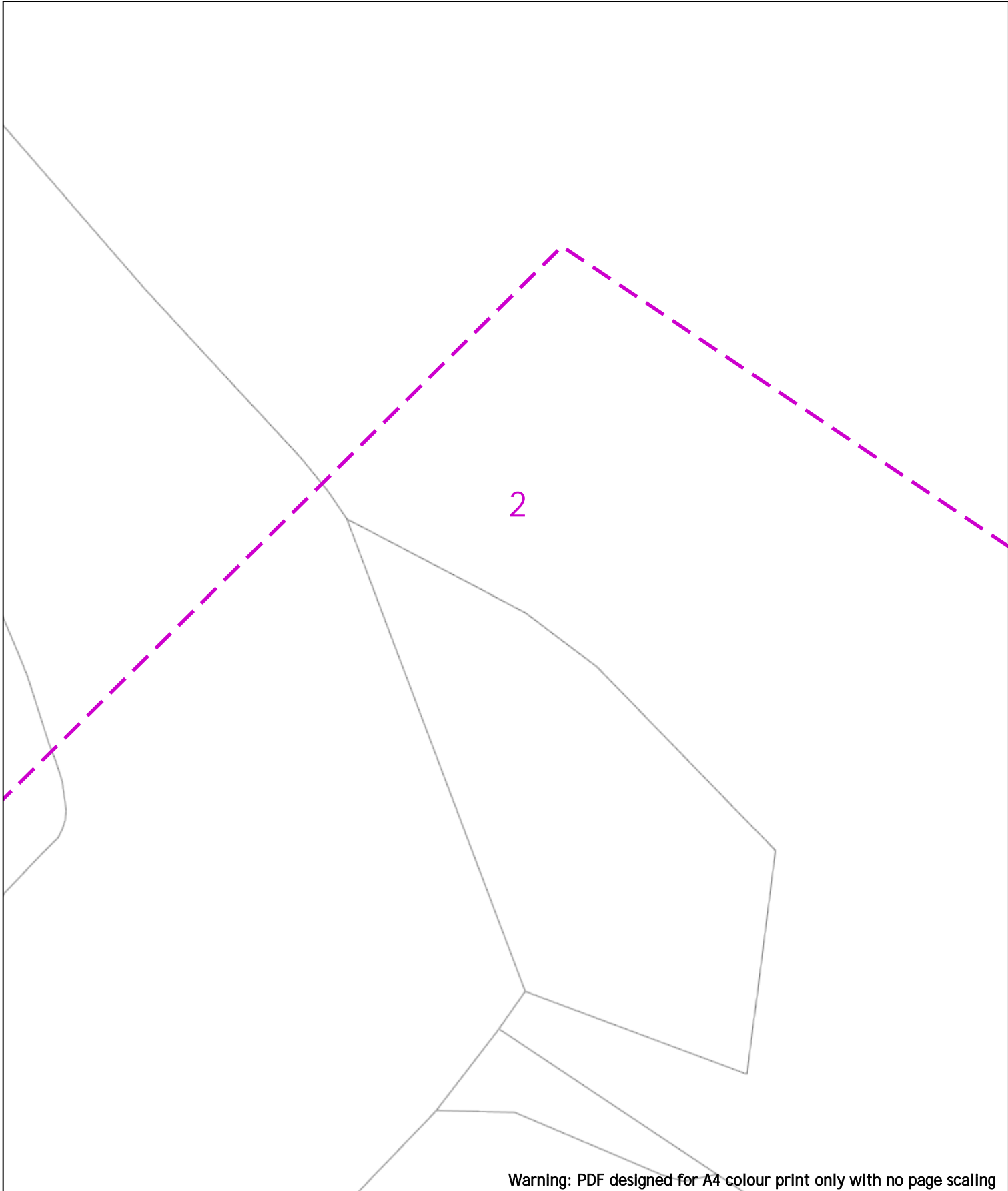
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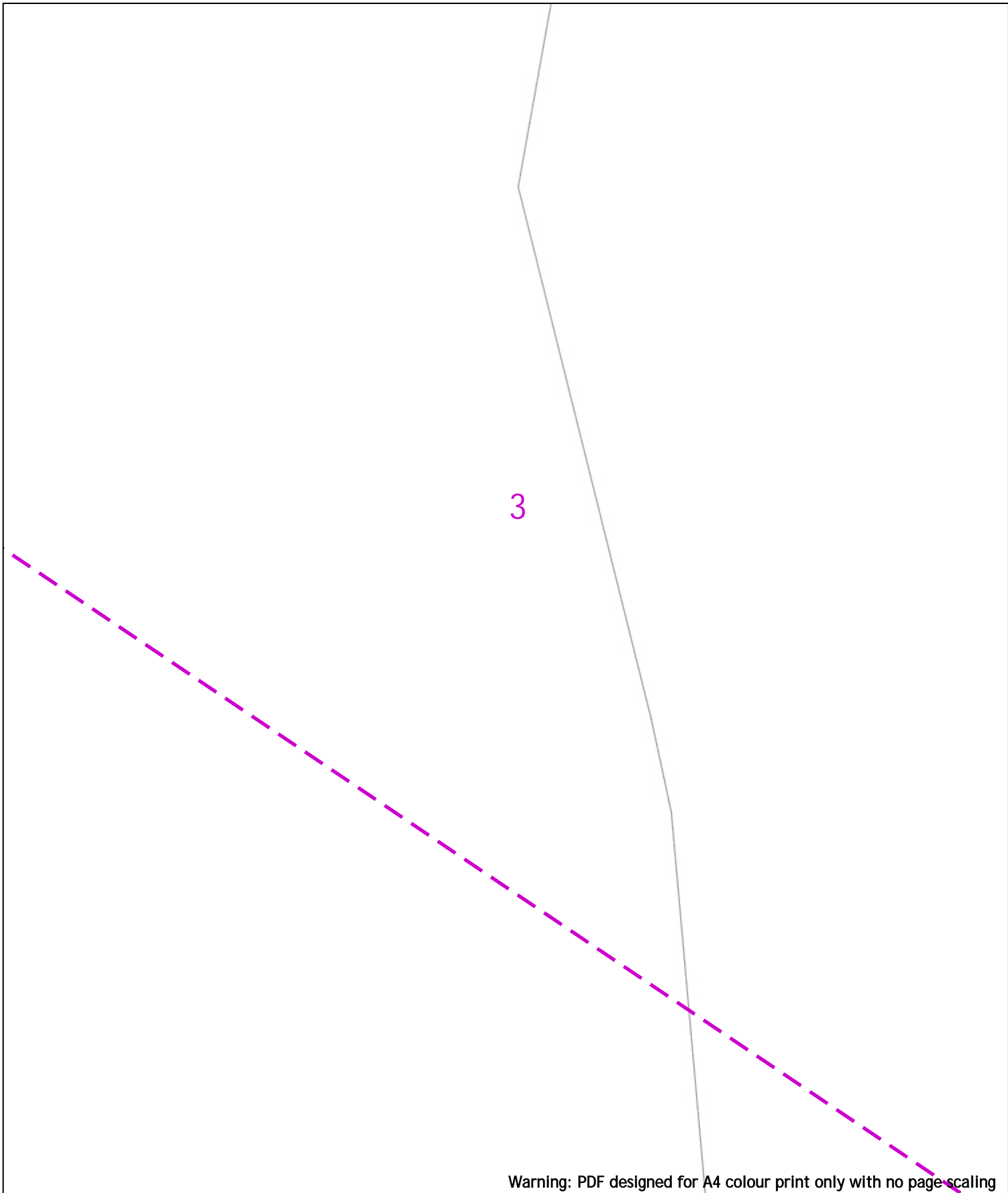
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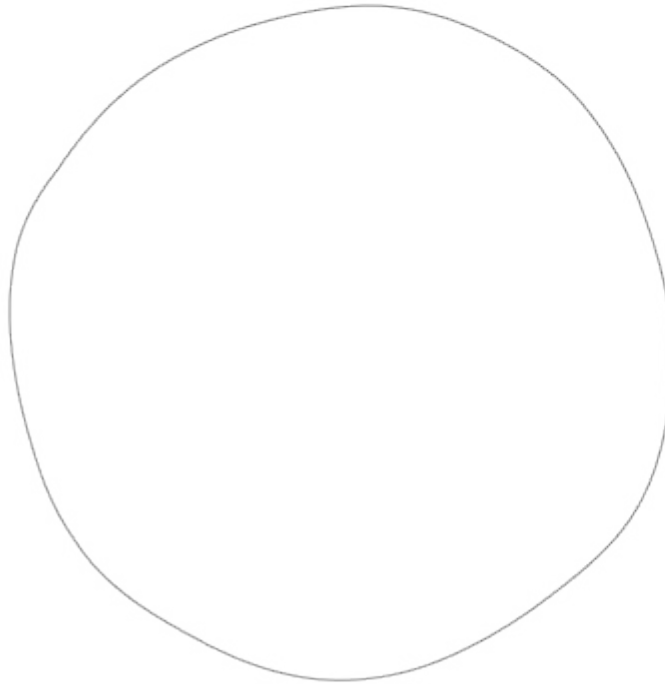
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0 20m Dig Sites Area: Line:



Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
 Your Scheme/Reference: 27877

Voltages (V)			
LV (Low Voltage) and Services	Up to 1,000V		
HV (High Voltage)	Over 1,000V to 11,000V		
EHV (Extra High Voltage)	22,000V to 132,000V		
Transmission	275,000V and 400,000V		
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m 0.8m
Road Crossing	0.6m	0.6m	0.75m 0.9m
Agricultural	1m	1m	1m 1.1m

<p>Legend</p> <ul style="list-style-type: none"> Service Cable LV Mains 2-13kV 6.6kV 11kV 22kV 33kV 66kV 132kV 275kV 400kV Fibre Optic Pilot Cable 	<p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> Pole, Existing Location Pole Structure, Existing Location - Single Pole Structure, Existing Location - H Duct Route Cross Section Route
---	---

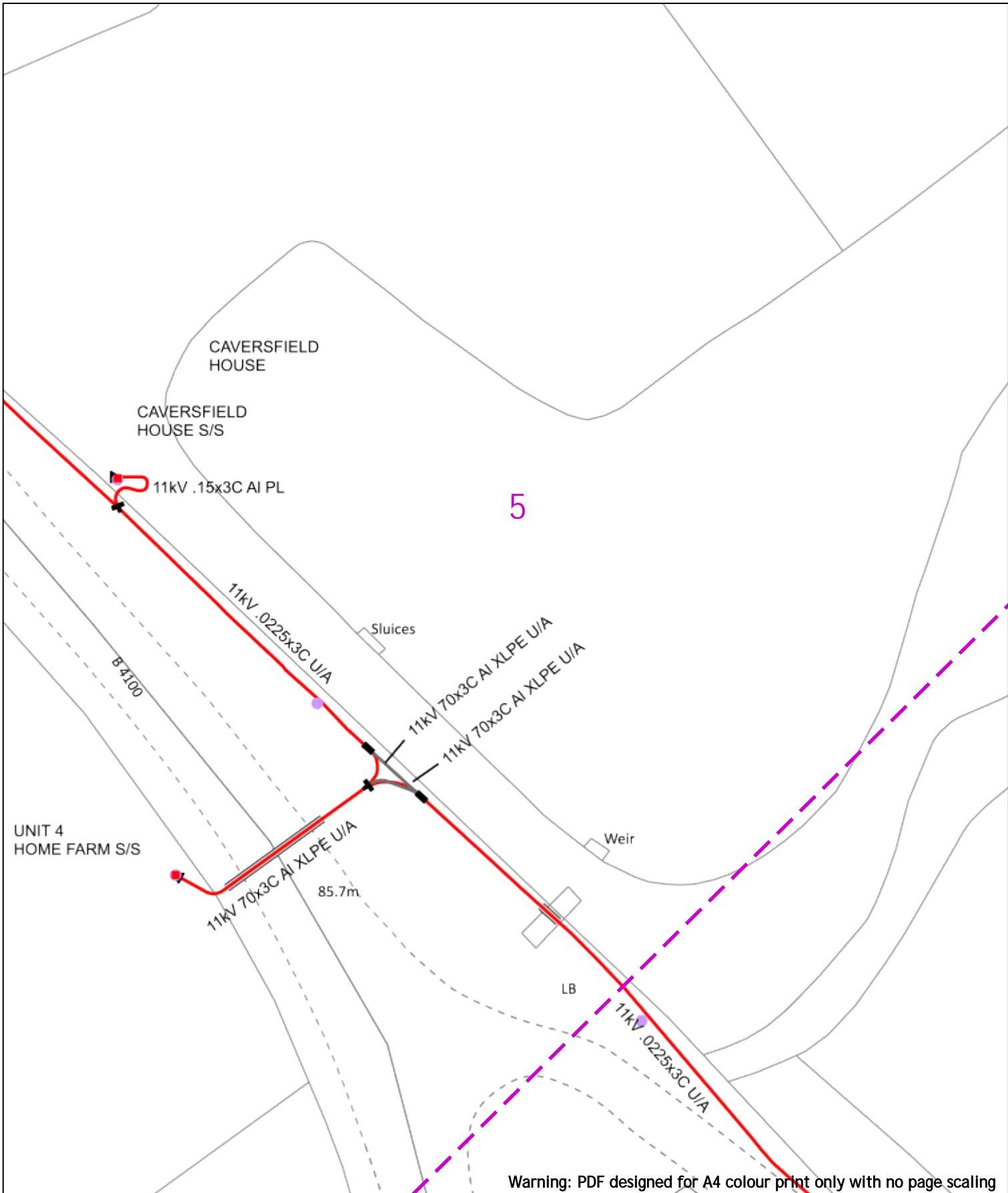
WARNING
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WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)

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Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
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Voltages (V)	
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HV (High Voltage)	Over 1,000V to 11,000V
EHV (Extra High Voltage)	22,000V to 132,000V
Transmission	275,000V and 400,000V

Services	NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H
- Dust Route
- Cross Section Route

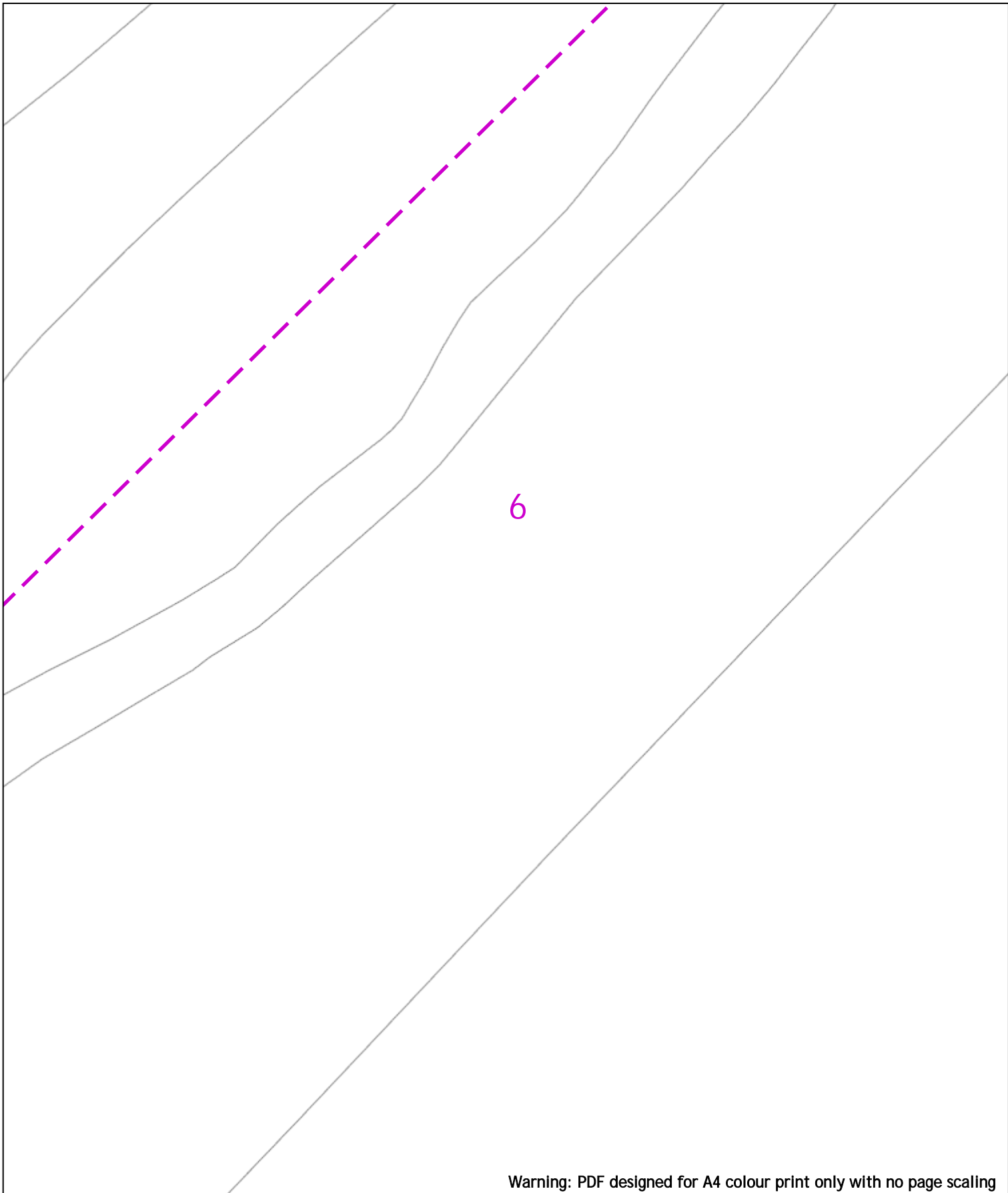
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 Site Location: 458321 225285
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Voltages (V)

LV (Low Voltage) and Services	Up to 1,000V		
HV (High Voltage)	Over 1,000V to 11,000V		
EHV (Extra High Voltage)	22,000V to 132,000V		
Transmission	275,000V and 400,000V		

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID

Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.8m
Road Crossing	0.6m	0.6m	0.9m
Agricultural	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

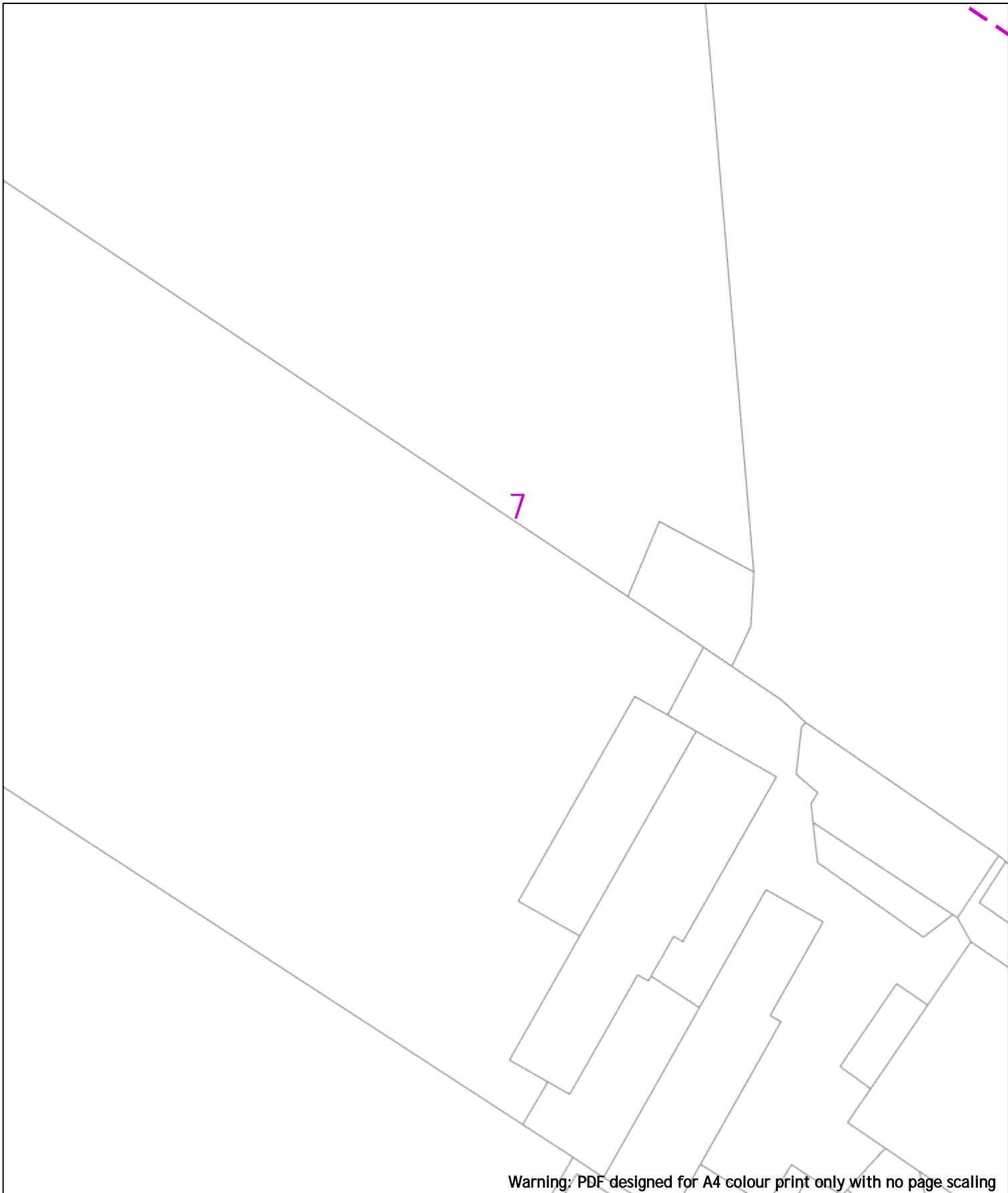
- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H
- Duct Route
- Cross Section Route

WARNING
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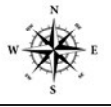
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Transmission	275,000V and 400,000V			
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend	Distribution Structures (Electric)
Service Cable	Pole, Existing Location
LV Mains	Pole Structure, Existing Location - Single
2-3.3kV	Pole Structure, Existing Location - H
6.6kV	Duct Route
11kV	Cross Section Route
22kV	
33kV	
66kV	
132kV	
275kV	
400kV	
Fibre Optic	
Pilot Cable	

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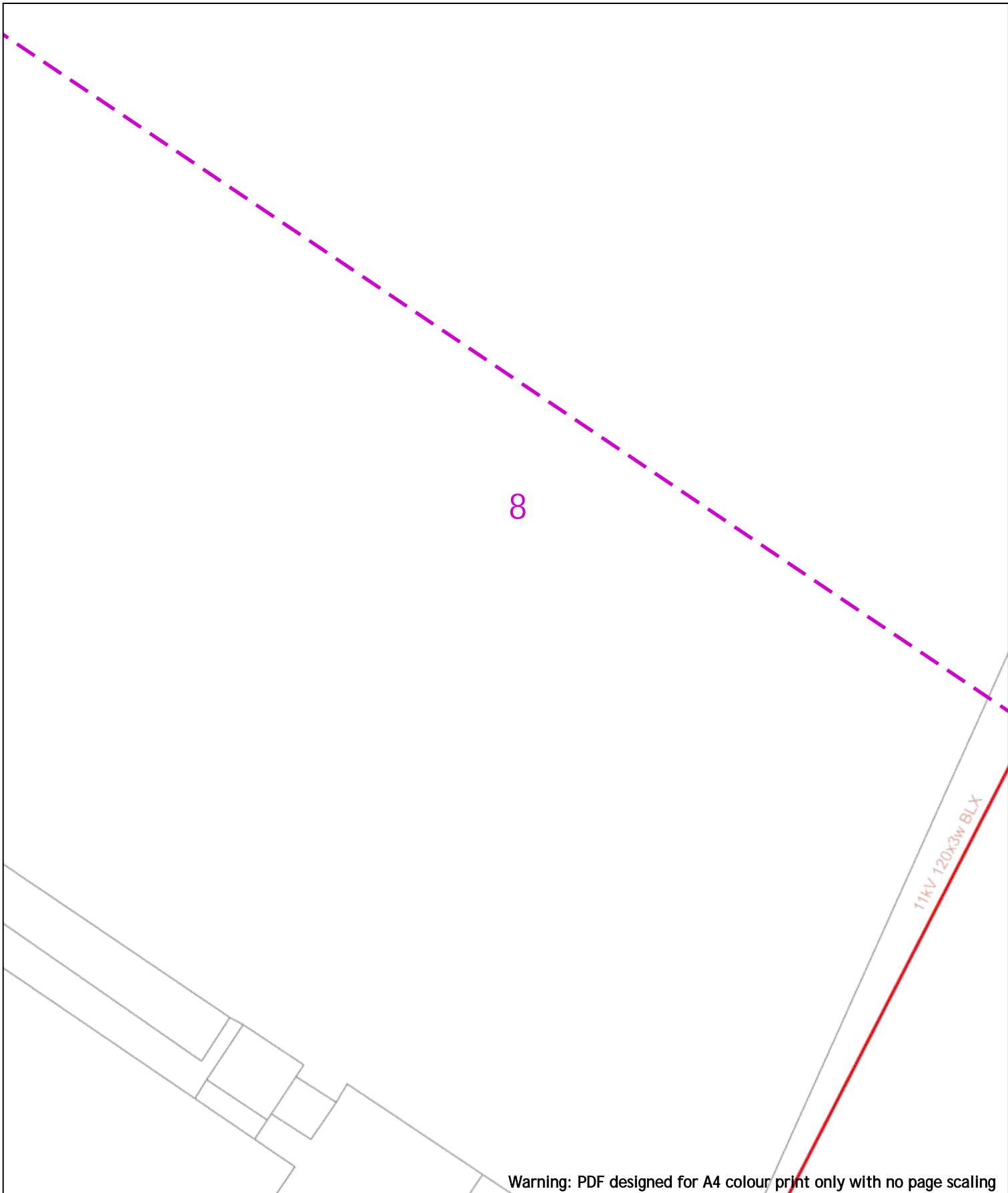


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Transmission	275,000V and 400,000V		
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.8m
Road Crossing	0.6m	0.6m	0.9m
Agricultural	1m	1m	1.1m

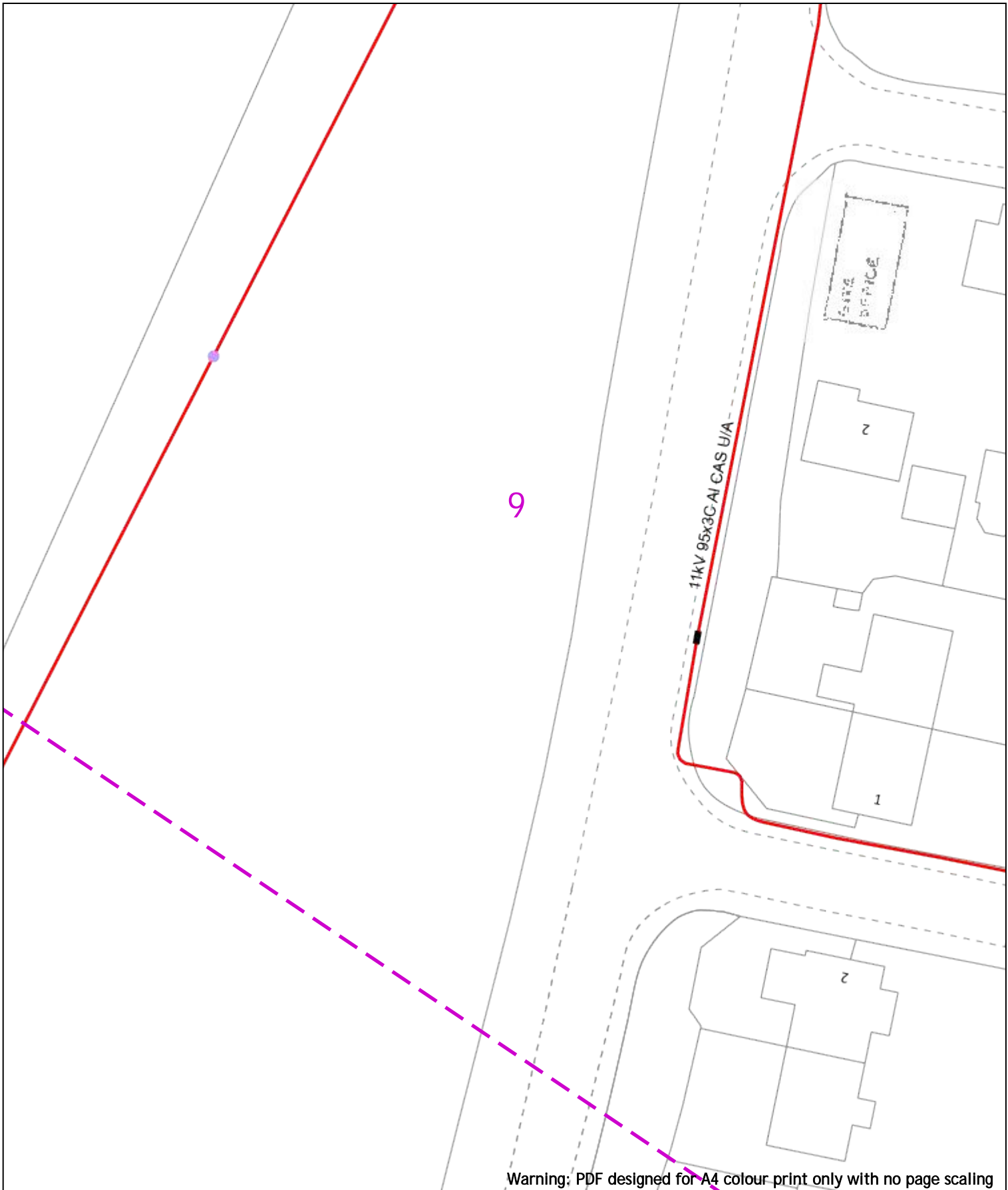
Legend	Distribution Structures (Electric)
Service Cable	Pole, Existing Location
LV Mains	Pole Structure, Existing Location - Single
2-13kV	Pole Structure, Existing Location - H
6.6kV	Duct Route
11kV	Cross Section Route
22kV	
33kV	
66kV	
132kV	
275kV	
400kV	
Fibre Optic	
Pilot Cable	

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Transmission	275,000V and 400,000V		
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m
Road Crossing	0.6m	0.6m	0.75m
Agricultural	1m	1m	1.1m

Legend	
	Service Cable
	LV Mains
	2-13kV
	6.6kV
	11kV
	22kV
	33kV
	66kV
	132kV
	275kV
	400kV
	Fibre Optic
	Pilot Cable

Distribution Structures (Electric)	
	Pole, Existing Location
	Pole Structure, Existing Location - Single
	Pole Structure, Existing Location - H
	Duct Route
	Cross Section Route



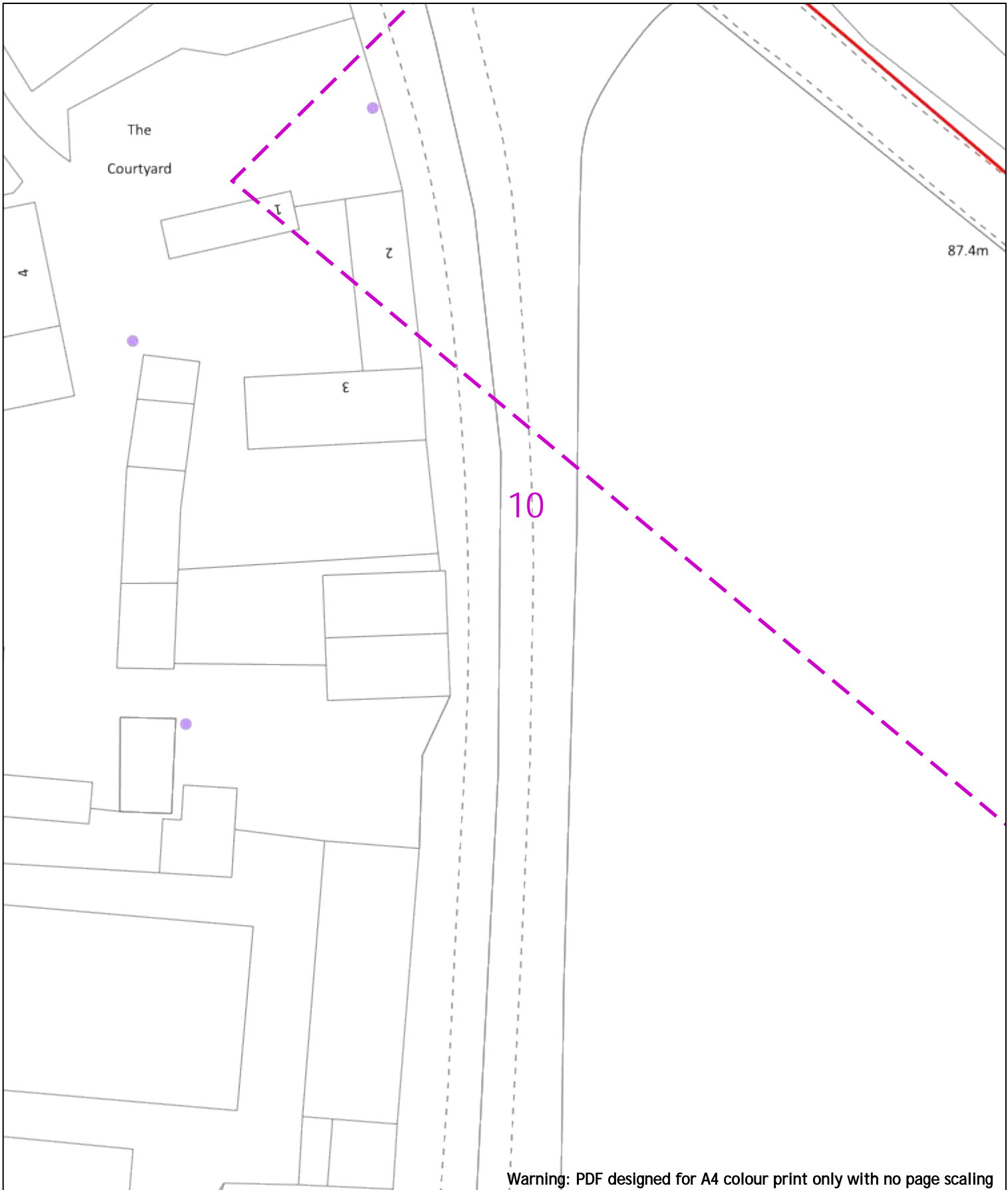
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NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID	Services			
	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Dist Route

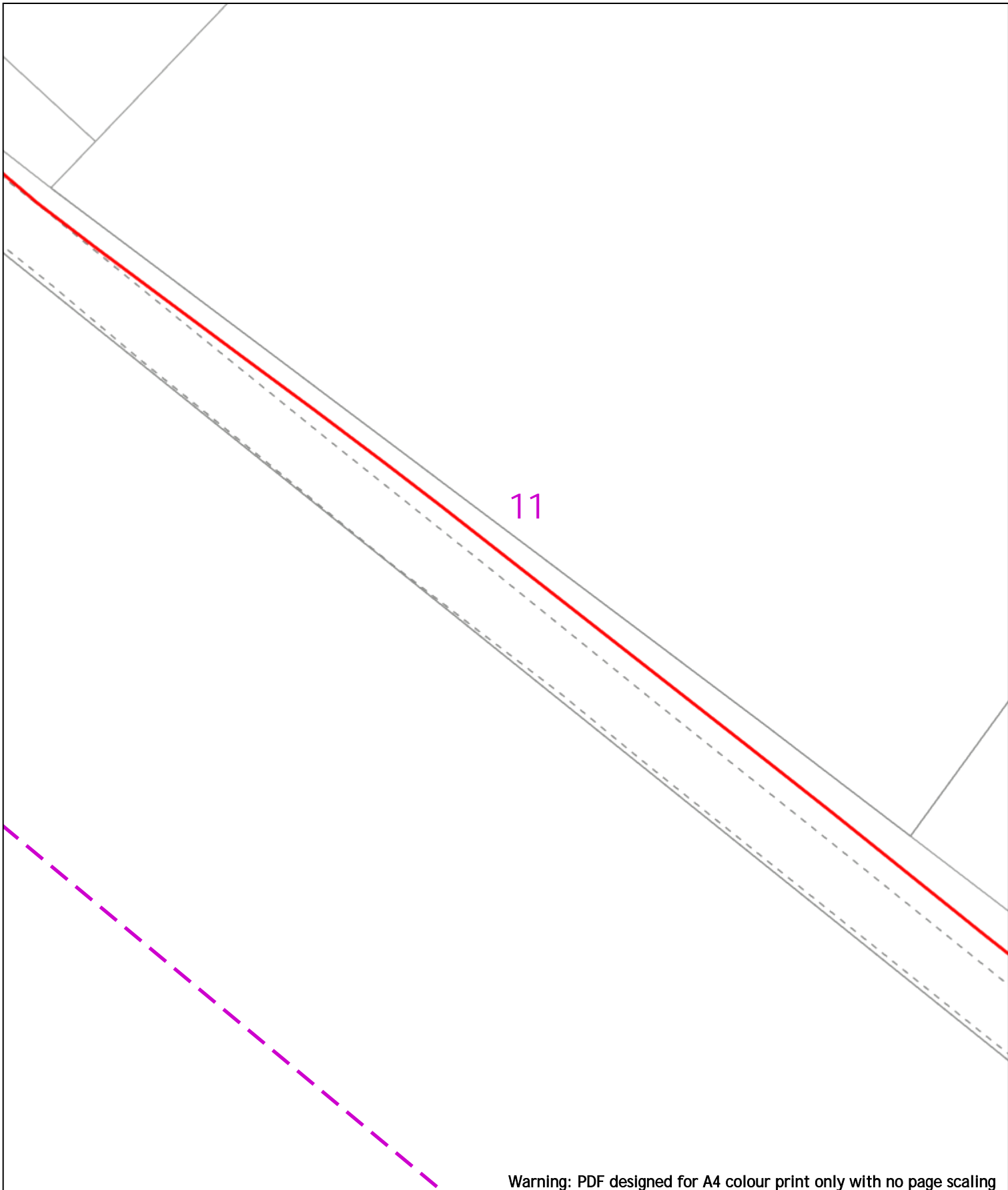
- Cross Section Route

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Transmission	275,000V and 400,000V		

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.8m
Road Crossing	0.6m	0.6m	0.9m
Agricultural	1m	1m	1.1m

Legend	
	Service Cable
	LV Mains
	2 - 13kV
	6.6kV
	11kV
	22kV
	33kV
	66kV
	132kV
	275kV
	400kV
	Fibre Optic
	Pilot Cable

Distribution Structures (Electric)	
	Pole, Existing Location
	Pole Structure, Existing Location - Single
	Pole Structure, Existing Location - H
	Dist Route
	Cross Section Route

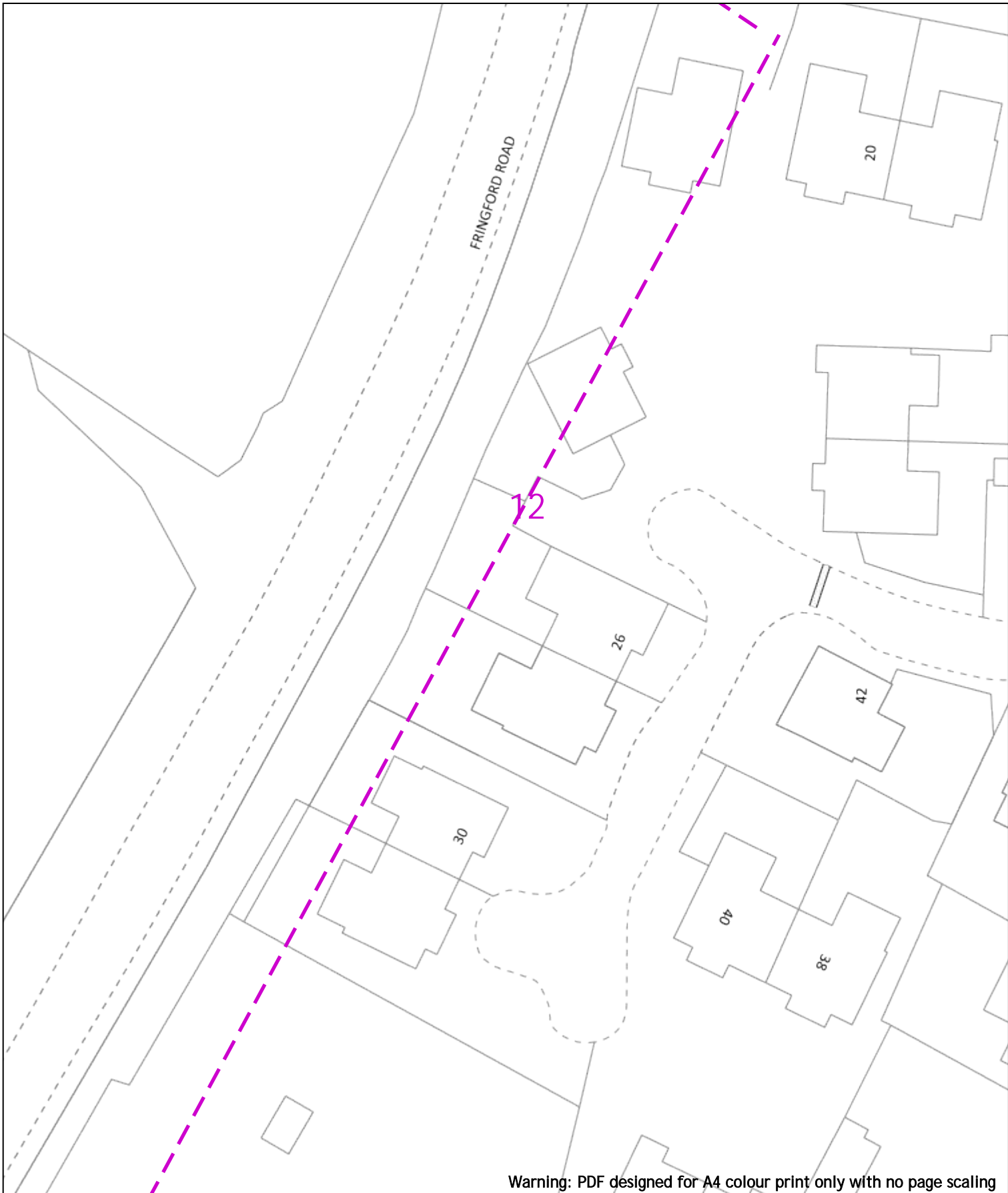
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0 20m Dig Sites Area: Line:

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LV (Low Voltage) and Services	Up to 1,000V			
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EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
- 11kV
- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Other Symbols

- Dig Site
- Cross Section Route

WARNING

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SOUTH LODGE

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0  20m Dig Sites Area:  Line: 



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 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
 Your Scheme/Reference: 27877

Voltages (V)			
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EHV (Extra High Voltage)	22,000V to 132,000V		
Transmission	275,000V and 400,000V		
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.6m
Road Crossing	0.6m	0.6m	0.75m
Agricultural	1m	1m	1.1m

<p>Legend</p> <ul style="list-style-type: none"> Service Cable LV Mains 2-13kV 6.6kV 11kV 22kV 33kV 66kV 132kV 275kV 400kV Fibre Optic Pilot Cable 	<p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> Pole, Existing Location Pole Structure, Existing Location - Single Pole Structure, Existing Location - H Duct Route Cross Section Route
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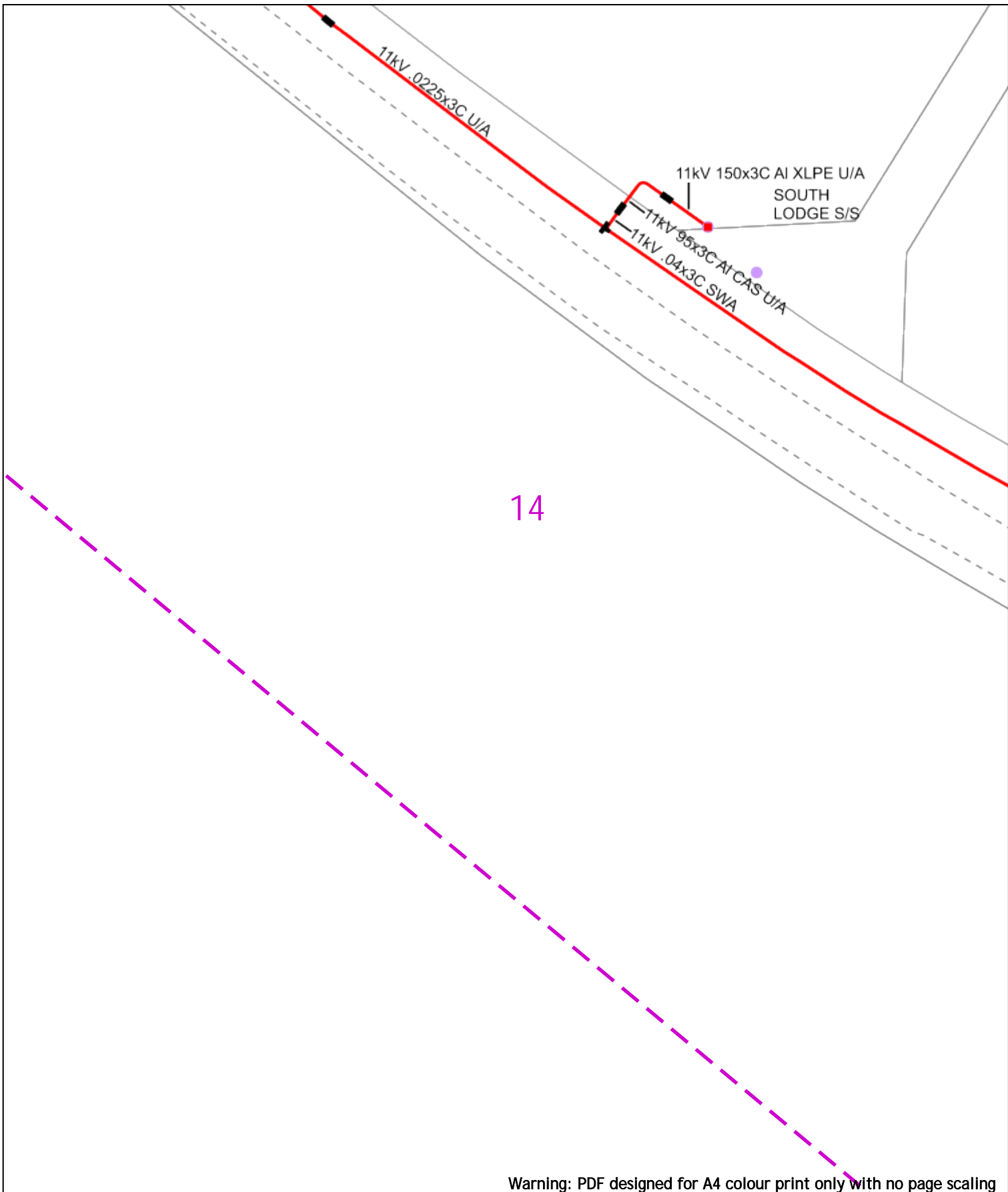
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LV (Low Voltage) and Services	Up to 1,000V			
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EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend		Distribution Structures (Electric)	
	Service Cable		Pole, Existing Location
	LV Mains		Pole Structure, Existing Location - Single
	0.6kV		Pole Structure, Existing Location - H
	11kV		Dist Route
	22kV		Cross Section Route
	33kV		
	66kV		
	132kV		
	275kV		
	400kV		
	Fibre Optic		
	Pilot Cable		

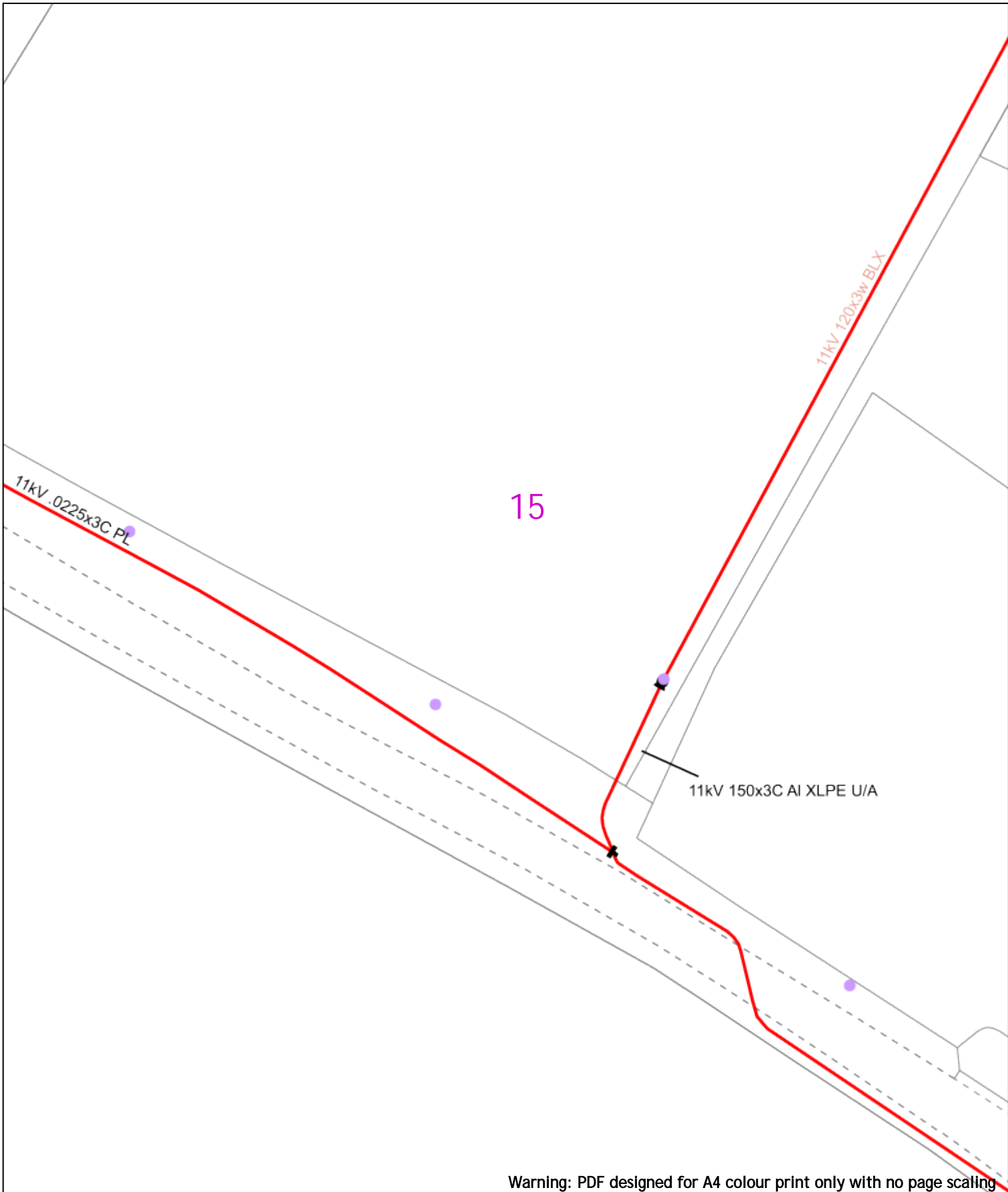
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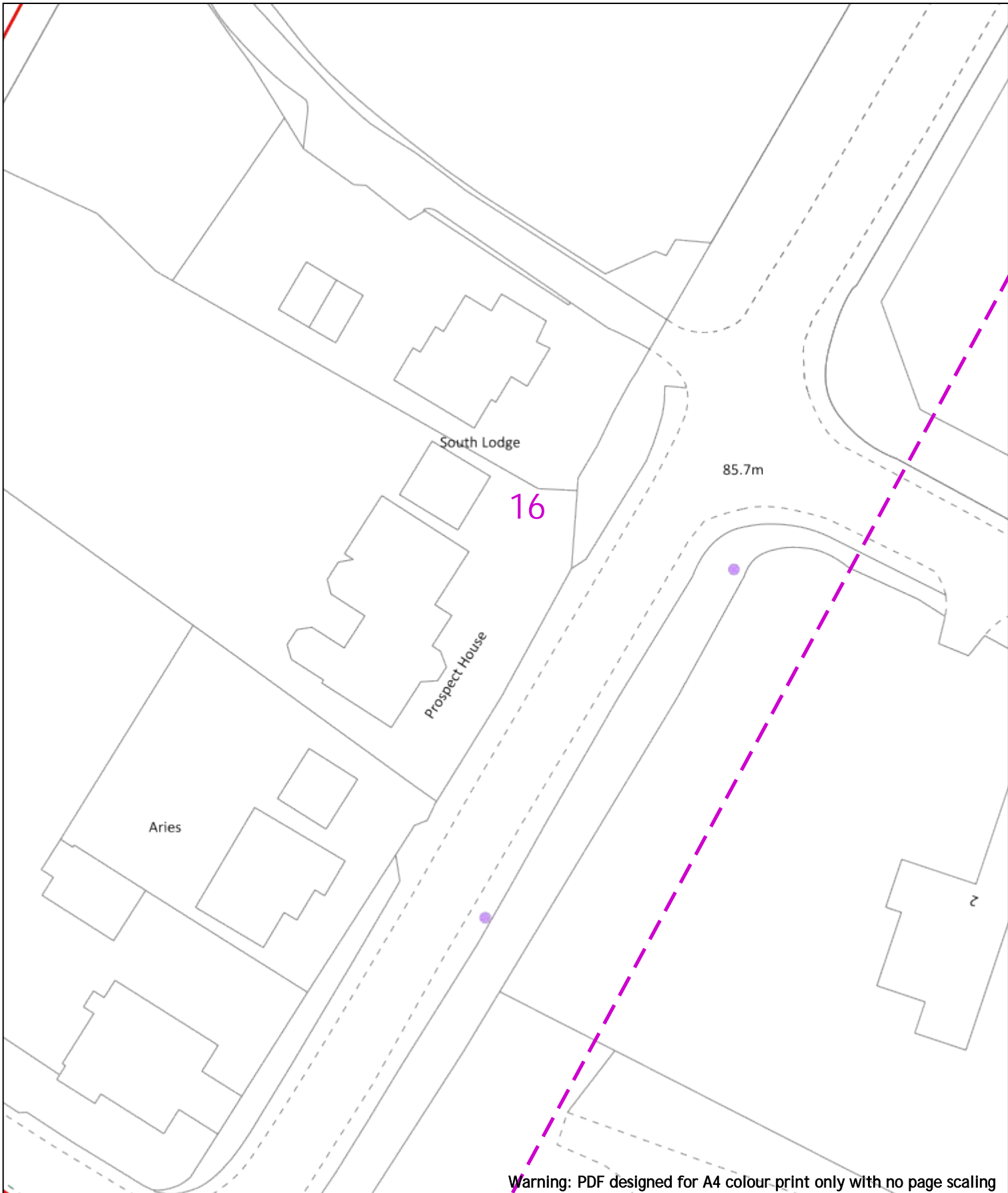
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Scale: 1:500 (When plotted at A4)



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<p>0 20m Dig Sites Area: Line: </p>	<p>Voltages (V)</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>LV (Low Voltage) and Services</td> <td>Up to 1,000V</td> </tr> <tr> <td>HV (High Voltage)</td> <td>Over 1,000V to 11,000V</td> </tr> <tr> <td>EHV (Extra High Voltage)</td> <td>22,000V to 132,000V</td> </tr> <tr> <td>Transmission</td> <td>275,000V and 400,000V</td> </tr> </table> <p>NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Services</th> <th>LV</th> <th>HV</th> <th>EHV</th> </tr> </thead> <tbody> <tr> <td>Footpath/Unmade</td> <td>0.45m</td> <td>0.45m</td> <td>0.6m</td> </tr> <tr> <td>Road Crossing</td> <td>0.6m</td> <td>0.6m</td> <td>0.75m</td> </tr> <tr> <td>Agricultural</td> <td>1m</td> <td>1m</td> <td>1.1m</td> </tr> </tbody> </table>	LV (Low Voltage) and Services	Up to 1,000V	HV (High Voltage)	Over 1,000V to 11,000V	EHV (Extra High Voltage)	22,000V to 132,000V	Transmission	275,000V and 400,000V	Services	LV	HV	EHV	Footpath/Unmade	0.45m	0.45m	0.6m	Road Crossing	0.6m	0.6m	0.75m	Agricultural	1m	1m	1.1m	<p>Legend</p> <ul style="list-style-type: none"> Service Cable LV Mains: 2-138kV 0.6kV 11kV 22kV 33kV 66kV 132kV 275kV 400kV Fibre Optic Pilot Cable <p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> Pole, Existing Location Pole Structure, Existing Location - Single Pole Structure, Existing Location - H <p> Dig Route</p> <p> Cross Section Route</p>	<p> N W E S</p> <p></p>
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<p>Date Requested: 11/09/2023 Job Reference: 30778830 Site Location: 458321 225285 Requested by: Mrs Emma Harris Your Scheme/Reference: 27877</p>	<p>Southern Electric Power Distribution plc Registered Office: No.1 Forbury Place 43 Forbury Road Reading RG1 3JH Registered In England & Wales No.04094290</p> <p>If you're unsure & need to seek advice before commencing excavations, please contact: General Enquiries: 0800 048 3516</p> <p>Subject to revision – Master held by SSEN Asset Data Team: Asset.Data@sse.com 01256 337 294</p>																										
<p>Scale: 1:500 (When plotted at A4)</p> <p>WARNING There may have been subsequent alteration to the surface levels. Trial holes must be undertaken to determine position and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive – Avoiding Danger from Buried Cables – should be consulted before commencing excavation work. WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)</p> <p style="text-align: center; font-size: x-small;">BASED UPON THE ORDNANCE SURVEY MAP WITH THE SANCTION OF THE CONTROLLER OF H.M. STATIONERY OFFICE CROWN COPYRIGHT RESERVED. This copy has been made by or with the authority of Scottish and Southern Energy Power Distribution Ltd. Pursuant to section 47 of the Copyright, Designs and Patents Act 1988 ("The Act"). Unless the Act provides a relevant exception to copyright the copy must not be copied without prior permission of the copyright owner. Plans generated by DigSAFE Pro™ software provided by Lineasearchbeforedig.</p>																											



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0 20m Dig Sites Area: Line:

Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			

NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend

- Service Cable
- LV Mains
- 2-138kV
- 6.6kV
- 11kV
- 21kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Duct Route

Cross Section Route

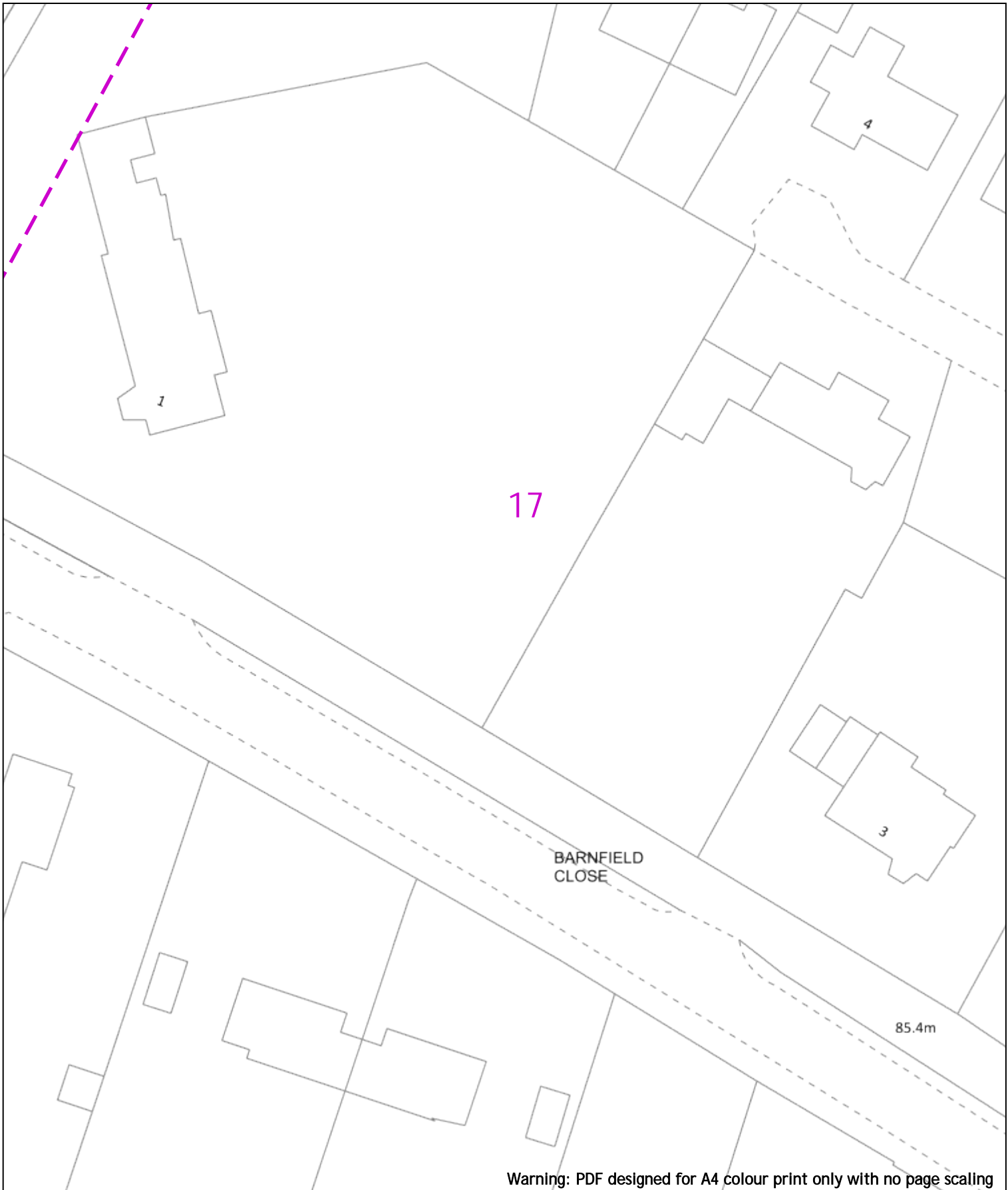
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WHEN WORKING IN THE VICINITY OF OVERHEAD LINES THE HEALTH AND SAFETY GUIDANCE NOTES G56 SHOULD BE CONSULTED (AVAILABLE FROM THE HSE WEBSITE)

Southern Electric Power Distribution plc
 Registered Office: No.1 Forbury Place
 43 Forbury Road Reading RG1 3JH
 Registered In England & Wales No.04094290

If you're unsure & need to seek advice before commencing excavations, please contact:
 General Enquiries: 0800 048 3516

Subject to revision - Master held by SSEN Asset Data Team:
Asset.Data@sse.com
 01256 337 294

Scale: 1:500 (When plotted at A4)



0 20m Dig Sites Area: Line:

Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
 Your Scheme/Reference: 27877

Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend	
	Service Cable
	LV Mains
	2 - 3.3kV
	6.6kV
	11kV
	22kV
	33kV
	66kV
	132kV
	275kV
	400kV
	Fibre Optic
	Pilot Cable

Distribution Structures (Electric)	
	Pole, Existing Location
	Pole Structure, Existing Location - Single
	Pole Structure, Existing Location - H
	Dist Route
	Cross Section Route

WARNING
 There may have been subsequent alteration to the surface levels. Trial holes must be undertaken to determine position and depths of cables. HS (G) 47 Booklet from the Health and Safety Executive - Avoiding Danger from Buried Cables - should be consulted before commencing excavation work.
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Date Requested: 11/09/2023
 Job Reference: 30778830
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NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID			
Services	LV	HV	EHV
Footpath/Unmade	0.45m	0.45m	0.8m
Road Crossing	0.6m	0.6m	0.9m
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<p>Legend</p> <ul style="list-style-type: none"> Service Cable LV Mains 2-13kV 6.6kV 11kV 22kV 33kV 66kV 132kV 275kV 400kV Fibre Optic Pilot Cable 	<p>Distribution Structures (Electric)</p> <ul style="list-style-type: none"> Pole, Existing Location Pole Structure, Existing Location - Single Pole Structure, Existing Location - H Duct Route Cross Section Route
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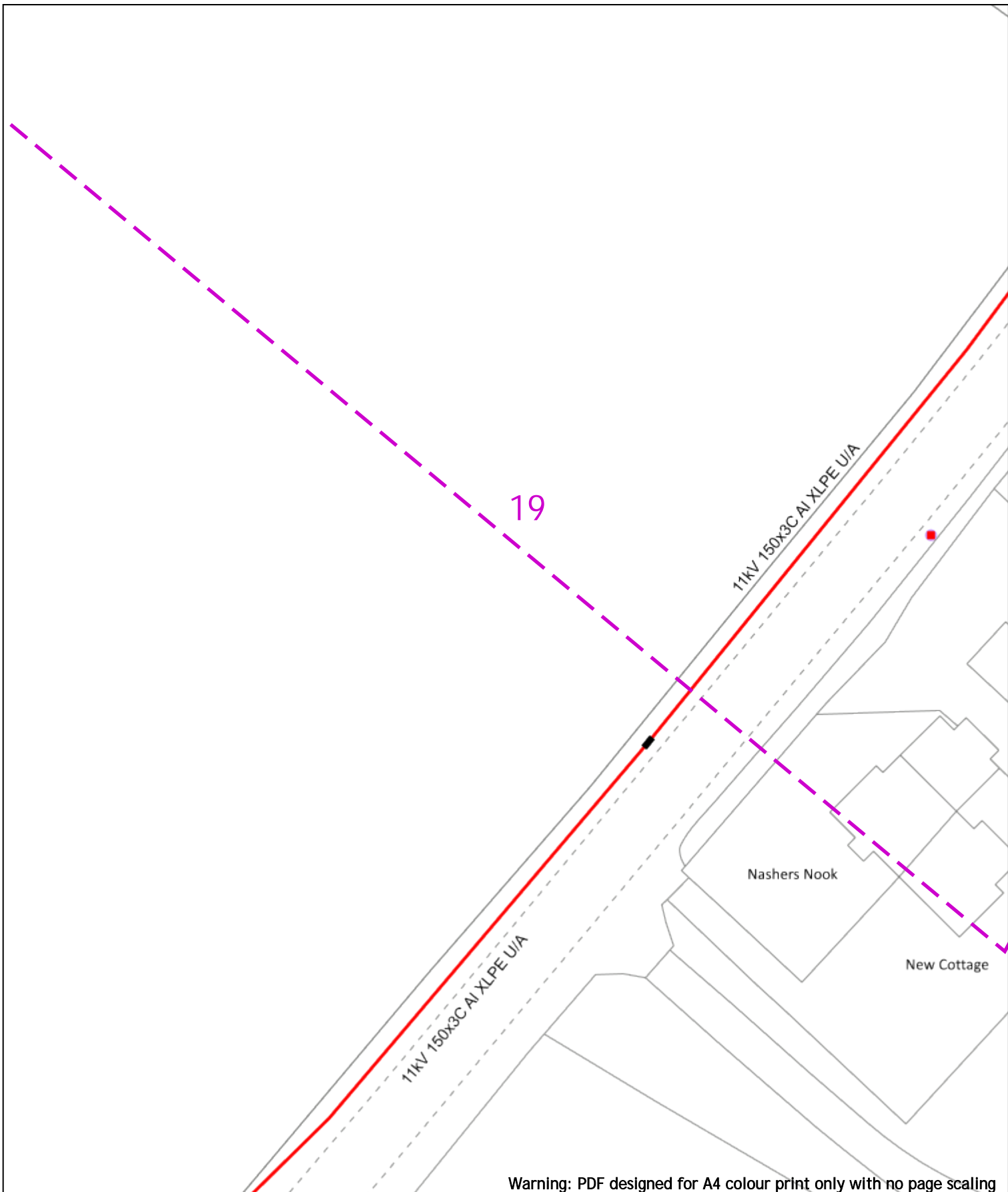
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20m Dig Sites Area: [Dashed Purple Box] Line: [Dashed Purple Line]

Date Requested: 11/09/2023
 Job Reference: 30778830
 Site Location: 458321 225285
 Requested by: Mrs Emma Harris
 Your Scheme/Reference: 27877

Voltages (V)				
LV (Low Voltage) and Services	Up to 1,000V			
HV (High Voltage)	Over 1,000V to 11,000V			
EHV (Extra High Voltage)	22,000V to 132,000V			
Transmission	275,000V and 400,000V			
NORMAL DEPTH TO THE TOP OF THE CABLE WHEN LAID				
Services	LV	HV	EHV	
Footpath/Unmade	0.45m	0.45m	0.6m	0.8m
Road Crossing	0.6m	0.6m	0.75m	0.9m
Agricultural	1m	1m	1m	1.1m

Legend	
[Red Line]	Service Cable
[Blue Line]	LV Mains
[Green Line]	2-3.3kV
[Orange Line]	6.6kV
[Yellow Line]	11kV
[Light Green Line]	22kV
[Light Blue Line]	33kV
[Light Purple Line]	66kV
[Light Cyan Line]	132kV
[Light Blue Line]	275kV
[Light Purple Line]	400kV
[Light Cyan Line]	Fibre Optic
[Light Blue Line]	Pilot Cable

Distribution Structures (Electric)	
[Black Dot]	Pole, Existing Location
[Purple Dot]	Pole Structure, Existing Location - Single
[Purple Dot]	Pole Structure, Existing Location - H
[Black Line]	Duct Route
[Blue Line]	Cross Section Route



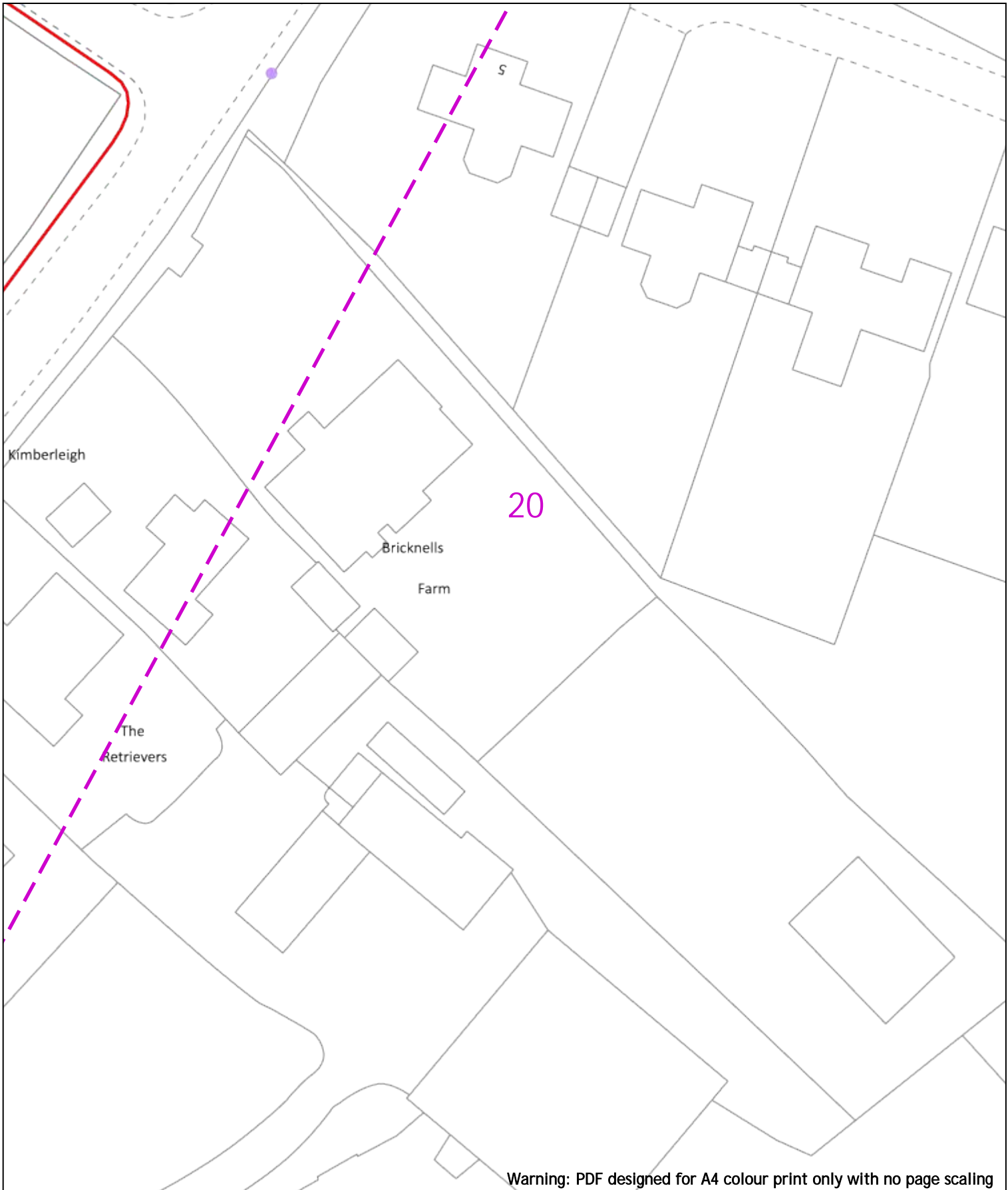
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Legend

- Service Cable
- LV Mains: 2-3.3kV
- 6.6kV
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- 22kV
- 33kV
- 66kV
- 132kV
- 275kV
- 400kV
- Fibre Optic
- Pilot Cable

Distribution Structures (Electric)

- Pole, Existing Location
- Pole Structure, Existing Location - Single
- Pole Structure, Existing Location - H

Dist Route

- Cross Section Route

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Our reference: FAX884

Southern Electric Power
Distribution
Connections and Engineering
Walton Park
Walton Road
Cosham
PO6 1UJ

Emma Harris
MEC
THE OLD CHAPEL,
STATION ROAD
HUGGLESCOTE
LE67 2GB

 07901 136038



 Clement.Hung@sse.com



www.ssen.co.uk

Date: 12 September 2023

Dear Emma

New supply at: AUNT EMS LANE, CAVERSFIELD OX27 8TG

Thank you for your recent enquiry. I am pleased to provide you with my budget estimate for the new electricity connections at the above development. My initial proposals will be subject to our obtaining all necessary legal consents to carry out the work as indicated, including any consent required from third parties.



In the region of



This budget estimate has been calculated exclusive of vat. and does not constitute an offer of terms

You should be aware that this estimate reflects the current situation and cannot be guaranteed into the future. Before making any financial commitments based on the indicative price above, please contact me to request a firm quotation



The budget estimate has been calculated based on a high level assessment, my local knowledge and experience, the information you have provided and the assumptions listed overleaf. It is my best estimate of the costs you would incur for this proposal and is intended for budgetary proposes only.

No site visits or network studies have been carried out to produce the above costings. Please Note, If this quotation goes formal, these checks may identify reinforcement works that have not been included within this quotation.

The cost is for indicative purposes only and does not constitute an offer of terms by us.

I trust the information I have provided is of assistance and if I can help further please do not hesitate to contact me. Alternatively, you may find answers to any questions you may have on our web site www.ssen.co.uk.

Yours sincerely,

Clement Hung

Connections Quoter

These budget costs are based on the following:

SSEN to:

- HV shut down
- SSEN to install, lay and blind approx 400m of HV cable with 3 Straight joints
- SSEN to install a 1MVA substation
- SSEN to provide foundation, earthing and GRP
- SSEN to install, lay and blind approx 1161m of LV cable with 6 Straight joints, 3 breech joints and 7 pot ends
- SSEN to install 101 x 1ph service
- SSEN to install 1 xHV Straight joint at POC1, HV pole term at POC2
- SSEN to install extra Stay and block onto existing HV pole to counter balance
- SSEN to disconnect and dismantle :
 - 2x spans of HV OHL
 - 2 poles
 - stays and blocks
 - disconnecter
 - a PMT

Customer to:

Carry out all onsite excavation, reinstatement and Traffic management

Safety

We ask you to take note of the following:-

In accordance with the Health & Safety Guidance Note GS6, you are required to take every precaution to ensure that cranes, tipper lorries, scaffolding, ladders and other plant employed on your works are kept at a safe distance from overhead electric lines and their supports and that such supports are not disturbed by excavations. Goal posts with height restriction will need to be placed at appropriate locations for vehicles passing underneath Scottish and Southern Energy Power Distribution's overhead lines.

In accordance with Health & Safety Executive Guidance Note HS (G) 47 care will also be necessary when digging in proximity to underground cables, particular if mechanical excavators are used.

Overhead lines, underground cables and other electrical plant must be regarded as being "live". Before commencing work in proximity to such plant written notification must be given to Scottish and Southern Energy Power Distribution.

If during the course of your works, any cable should be damaged by you/or your contractors, then this fact must be reported to our Emergency Service Centre on 08000 72 72 82 (Southern Electric Power Distribution plc) immediately. The cost of any repairs will be fully rechargeable.

Locating cables on site

To obtain the latest copies of our cable records please send a plan of the area in question together with your contact details to:

Mapping Services

Scottish and Southern Energy Power Distribution
P O Box 6206
BASINGSTOKE
RG24 8BW

Tel: 01256 337294

Fax: 01256 337295

Requesting details of any Scottish and Southern Energy Power Distribution plant and cables in the area. You must excavate hand-dug trial holes to establish the actual positions of all cables before any mechanical excavation works

commence.



MEC

Development Technical
Consultants

APPENDICES



APPENDIX F

Maps by email Plant Information Reply



IMPORTANT WARNING

Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus which may exist at various depths and may deviate from the marked route.



openreach

CLICK BEFORE YOU DIG

FOR PROFESSIONAL FREE ON SITE ASSISTANCE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE

email cbyd@openreach.co.uk

ADVANCE NOTICE REQUIRED
(Office hours: Monday - Friday 08.00 to 17.00)
www.openreach.co.uk/cbyd

Accidents happen

If you do damage any Openreach equipment please let us know by calling 0800 023 2023 (opt 1 + opt 1) and we can get it fixed ASAP

Reproduced from the Ordnance Survey map by BT by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationary Office
(C) Crown Copyright British Telecommunications plc 100026040

KEY TO BT SYMBOLS

	Planned	Live	Change Of State	+	Hatchings	
PCP			Split Coupling	×	Built	
Pole			Duct Tee	▲	Planned	
Box			Building		Inferred	
Manhole			Kiosk		Duct	
Cabinet			Other proposed plant is shown using dashed lines. BT Symbols not listed above may be disregarded. Existing BT Plant may not be recorded. Information valid at time of preparation. Maps are only valid for 90 days after the date of publication.			
	Pending Add	in Place	Pending Remove	Not In Use		
Power Cable						
Power Duct				N/A		

BT Ref : GNO11502U
Map Reference : (centre) SP5836325043
Easting/Northing : (centre) 458363, 225043
Issued : 08/09/2023 11:50:17

WARNING: IF PLANNED WORKS FALL INSIDE HATCHED AREA IT IS ESSENTIAL BEFORE PROCEEDING THAT YOU CONTACT THE NATIONAL NOTICE HANDLING CENTRE. PLEASE SEND E-MAIL TO: nnhc@openreach.co.uk

MEC Development Technical Consultants
The Old Chapel
Station Road, Hugglescote
Coalville
LE67 2GB

Our Ref: BNER13/GEE/904481

FAO: Emma Harris

16th October 2023

Dear Emma,

904481 – Site Near Caversfield, Street Near Aunt Ems Lane, Caversfield, Bicester

Thank you for your enquiry.

An initial investigation of the above site proposals has been completed, and a detailed survey is now required to confirm that anticipated alterations to Openreach apparatus are the most cost-effective means of protecting our network. Your proposals have been registered as works applicable to The Electronic Communications Code (“the 2017 Code”), Schedule 3A of the Communications Act 2003 and in line with Paragraph 16, Schedule 2, Transitional Provisions of the Digital Economy Act 2017

The estimated cost to provide a detailed estimate and specification for this work is **£2,167.13 (inclusive of VAT)**, which we will require in advance although the actual costs will be charged, whether more or less than this.

Because we consider a detailed investigation is essential to ensure our network is protected, we will contact you within 30 working days if payment has not been received unless you inform us that your proposals or circumstances have changed.

After receipt of payment, we will contact you where necessary and if there is no alternative to the alterations work, we will provide a single detailed estimate of the costs and a specification. However, if your proposals are not suitably detailed, then we may agree to provide a budget costing in advance of this. We would normally expect to complete this within 25 working days when we will also inform you of the next steps. If our expense is likely to exceed the advance payment you have made, particularly if additional or alternative costings are required, then further payments will be requested from you.

After provision of the final detailed estimate and your agreement to the associated specification, we will review our expenditure and provide a final invoice to settle the costs for this work before moving on to the next stage of the project.

If you have not already done so, please ensure you include preferred contact details, detailed plans and any supporting information for your proposals along with the advance payment.

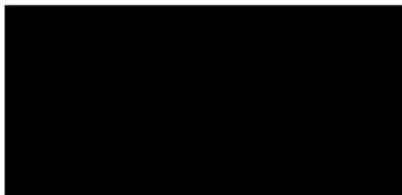
See over for payment details.

Please note that we offer a site visit service to locate and mark the position of Openreach apparatus within your work area. To arrange a site visit from a Plant Protection Officer email cbyd@openreach.co.uk

Openreach also provides a "Maps-by-Email" service to enable you to receive a copy of our plant records. If you haven't used this service before and would like to, please go to the following URL: <http://www.ournetwork.openreach.co.uk/locating-our-network/maps-by-email.aspx>

Please be aware that any duct and poles owned and controlled by Openreach can be used by third party communications providers (CP) for the installation of their cables and apparatus if they have a contract with us for our Physical Infrastructure Access (PIA) product. The CP must, however, place an Order with us for PIA before they install their cables or apparatus. If such CP cables or apparatus are identified in our network within your area of interest, I will identify a contact for the affected CP and advise them of your proposals. I will pass these contact details on to you and liaise with the CP so that they are aware of any diversionary requirements relating to your proposals. You will be contacted directly by the affected third-party CP – they will advise you of any associated chargeable costs relating to their cable and apparatus diversions. If you have any queries or concerns relating to this aspect of the Openreach operated network, please don't hesitate in contacting me. Please note Openreach Ltd. will not be held liable for any delays, costs, losses, or damage caused by the third-party CP.

Yours faithfully



Gareth Ellis-Eadle
Repayments Project Engineer

Repayments (Alterations)

Openreach
Oxford TRS
Woodstock Road
Oxford
OX2 8JP

mob: 07483903170
email: gareth.ellis-eadle@openreach.co.uk

Openreach Limited
Registered Office: Kelvin House
123 Judd Street, London WC1H 9NP
Registered in England and Wales no. 10690039

Payment Details

There are three ways to pay the standard charge [REDACTED]

1. By Cheque

- This is our preferred method of payment
- Please make cheques payable to **British Telecommunications Plc**
- Send your cheque with your order / letter of authorisation to proceed with the works to the Project Engineer shown below (order not to contain contractual conditions)
- If an invoice is required to make payment, then contact the project engineer shown below, otherwise a retrospective invoice will be dispatched to you.
- Write your cheque number here: _____
- Write the cheque amount here: £ _____

2. Using Bank Automated Clearing Services (BACS)

When your order / letter of authorisation to proceed with the works has been received an invoice for payment will be returned with the necessary BACS payment details.

3. Telephone Credit Card Payments, to pay by credit card simply call our dedicated card payment team on Freephone 0808 100 0834, the opening hours are 9am to 4.30pm Monday to Friday.

Please quote the Openreach reference number / invoice number otherwise payment may not be allocated to your job.

N.B. For either method of payment please complete this form and return with your order / letter of authorisation to the Project Engineer, address below. Please remember, however you pay, the works will not commence until this form and your payment have been received.

Title/Location of Work	904481 – Site Near Caversfield, Street Near Aunt Ems Lane, Caversfield, Bicester
Project Engineer Name	Gareth Ellis-Eadle
Postal Address	Oxford TRS, Woodstock Road, Oxford, OX2 8JP
Openreach Reference	BNER13/GEE/904481
Client's Company Name	
Client Billing Address	
Client Contact	
Client Tel	

For advice or assistance in completing this form please call Jane Goodison 0131 345 0016 for all other queries contact the Project Engineer named above.

Domestic Reverse Charge (DRC)

DRC does not apply to the following services:

The professional work of architects or surveyors, or of building, engineering, interior or exterior decoration and landscape consultants

Reverse charge treatment for utilities

Supplies of construction services to utility businesses are likely to be outside the scope of the reverse charge because they're the construction, repair, or alteration of the utility company's physical assets. Therefore, although they're CIS registered the end user exclusion will apply.

Further information can be found at

<https://www.gov.uk/guidance/vat-reverse-charge-technical-guide>

Our VAT number is **245719348**

Legend

CAUTION AREA

 BT.CAUTION_AREA


EQUIPMENT

 FIBRE, TCODE


 COPPER, CABINET

 COPPER, DP

DUCT

 AERIAL

 TUNNEL


 DUCT

PROPOSED


 AERIAL

 DUCT

STRUCTURE

 YCODE

 CABINET SHELL

 SPLIT COUPLING


 POLE

 KIOSKS

 MANHOLE

 JOINTBOX

 CHANGE OF STATE

 DUCT TEE

PROPOSED

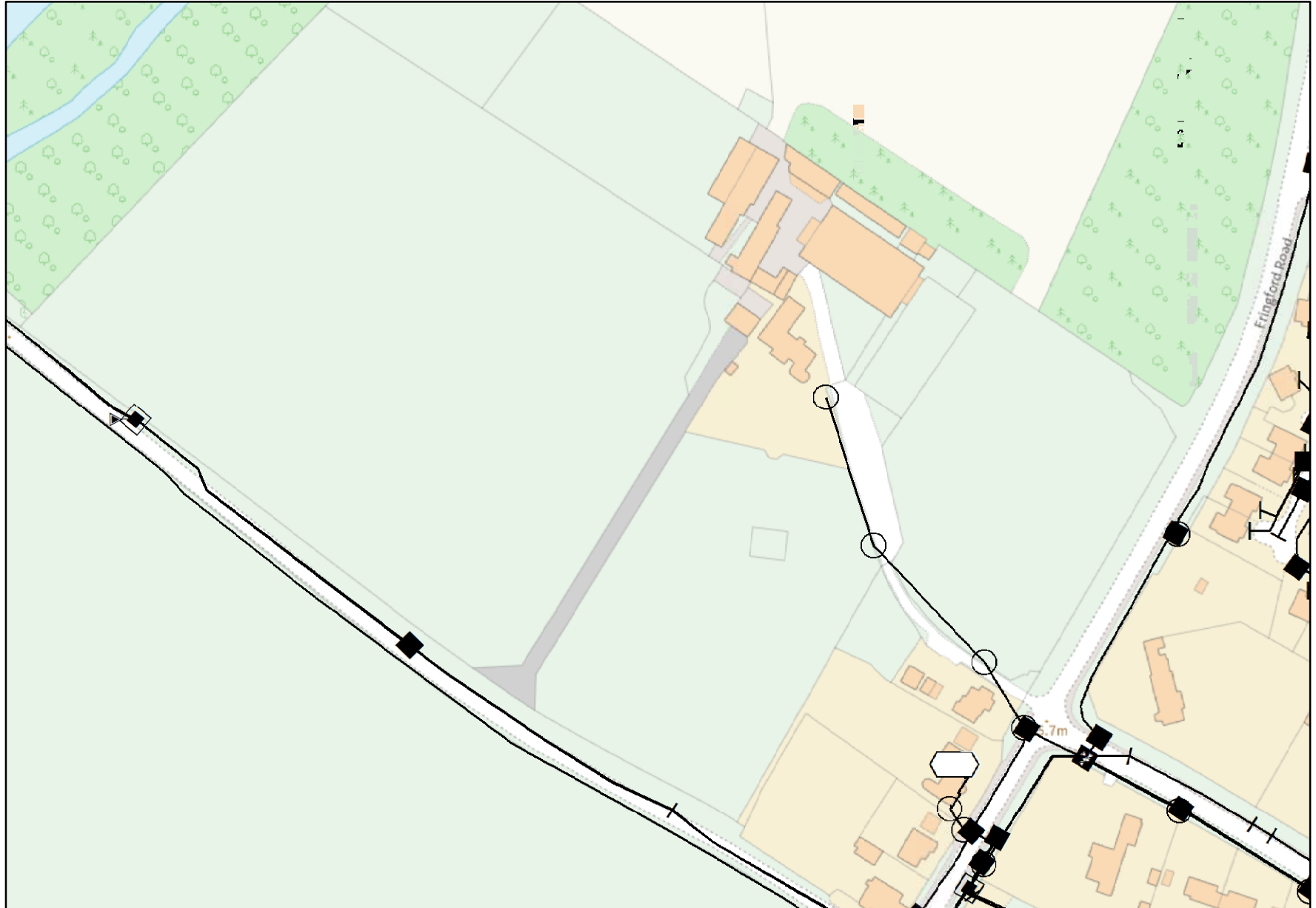
 MANHOLE

 JOINTBOX

 DUCT TEE

Other proposed plant is shown using dashed lines.

BT symbols not listed above may be disregarded.



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IMPORTANT WARNING:
Information regarding the location of BT apparatus is given for your assistance and is intended for general guidance only. No guarantee is given of its accuracy. It should not be relied upon in the event of excavations or other works being made near to BT apparatus, which may exist at various depths and may deviate from the marked route.

Existing BT plant may not be recorded.
Information valid at time of preparation.

CLICK BEFORE YOU DIG
FOR PROFESSIONAL FREE ON SITE ASSISTANCE, PRIOR TO COMMENCEMENT OF EXCAVATION WORKS INCLUDING LOCATE AND MARKING SERVICE
email cbvd@openreach.co.uk

ADVANCE NOTICE REQUIRED
(Office hours: Monday - Friday 08.00 to 17.00)



PLANT INFORMATION REPLY

openreach



MEC

Development Technical
Consultants

APPENDICES



APPENDIX G



GTC Ref: East Midlands/34151503/472510

GTC Contact: Christopher Base

07483 082188 / christopher.base@gtc-uk.co.uk

01359 240154 / sales@gtc-uk.co.uk

04 October 2023



Electric, Fibre, Water and Wastewater Budget Quotation

Aunt Ems Lane, Caversfield, BICESTER, Oxfordshire, OX27 8TJ

Prepared for Richborough Estates (c/o M-EC)



1.0 INTRODUCTION

Summary of Offer

Following your request for a utility networks quotation for the development at Aunt Ems Lane, Caversfield, BICESTER, Oxfordshire, OX27 8TJ GTC has used the information provided to produce a budget costing to meet your requirements. GTC’s offer is inclusive of Electric, Fibre and Water infrastructure and adoption of the wastewater network constructed by you (based on the terms of offer set out in this quotation).

Breakdown of Offer

On-site works		
You pay GTC		
Off-Site Works		
You pay GTC		
Upstream Network Operator Costs		
Electricity:		
Water:		
Wastewater:		
Total		
You pay GTC		



2.0 GTC ADDED VALUE



Fibre

Fibre Rebate Information

GTC's offer above is inclusive of a fibre rebate of [REDACTED] ([REDACTED]) of which is conditional upon you pre-wiring the plot to enable the resident to receive Sky Q television services, via satellite dish or communal Fibre Integrated Reception System (FIRS), in accordance with the enclosed Sky Approved Developer Terms). This rebate has been deducted upfront from the on-site total giving the advantage of no administration burden for you to claim the individual plot rebates as they are connected.

Additional Fibre Network Value to Help with Comparison to Other Provider's Quotes

In addition to the rebate, this offer is based on GTC's innovative fibre installation method which means you will no longer have the cost or hassle of building the full duct and chamber network. Instead, GTC will install the duct network with the other utilities and free issue preformed chambers to be installed by you. GTC estimates that this gives a further construction cost saving to M-EC of £[REDACTED] per plot which you may need to take in to account when comparing to other quotes.

Estimated Value to Richborough Estates of Construction Costs Saved	
101 plots with [REDACTED] per plot saving	[REDACTED]



Water and Wastewater

Infrastructure Charge and Income Offset Credits

Infrastructure Charges and Income Offset Credits are a pass through from the incumbent water and wastewater company which are subject to annual review by the incumbent and approval by Ofwat. Following an Ofwat consultation, Income Offset Credits will cease from April 2025. As these charges and payments change over the duration of your development, it can provide uncertainty on the costs included within the original quotation. GTC has therefore excluded these charges and will apply the approved and published Infrastructure Charge and Income Offset published by the incumbent water company as the plots on your development are connected. The values shown below are the default values given by the incumbent for the current charging period.

Charges and Credits	Per Plot	Site Total
Water Infrastructure Charge:	[REDACTED]	[REDACTED]
Water Income Offset Credit:	[REDACTED]	[REDACTED]
Wastewater Infrastructure Charge:	[REDACTED]	[REDACTED]
Wastewater Income Offset Credit:	[REDACTED]	[REDACTED]
Net Infrastructure Charge:	[REDACTED]	[REDACTED]

GTC will apply for any discounts to infrastructure charges offered by incumbent water or wastewater companies subject to you or subsequent housebuilder providing evidence that the specific conditions for any discount has been achieved.

Based on the current values, the total cost for your development is shown below.

Provisional Total Project Cost	
GTC Quotation and Net Infrastructure Charge (at current rates):	[REDACTED]



Charges Often Levied by the Water Company Included in GTC's Standard Offer

GTC's water offer is an all-inclusive offer based on the terms set out in this quotation. This offer also includes the items below that can often be excluded by others resulting in unforeseen additional costs. For comparison purposes, please check that these are also included in the offers from other providers.

Description	Included in GTC's Offer
Supply and Fit of Meter	Yes
Service connection to boundary box / manifold	Yes
Chlorination and testing	Yes
Design Fees / Deposits / Vetting	Yes
Inspections	Yes
Additional Visits	Yes



3.0 SITE DETAILS

Schedule of Domestic Plots

Property Type	1BF	2BF	2BS	2BT	3BD	3BS	3BT	4BD	4BS	4BT	5BD	Total
Electricity	2	10	11	7	7	26	8	17	7	2	4	101
Fibre	2	10	11	7	7	26	8	17	7	2	4	101
Water	2	10	11	7	7	26	8	17	7	2	4	101
Wastewater	2	10	11	7	7	26	8	17	7	2	4	101

4.0 TERMS OF OFFER



Electric Terms

This quotation includes indicative electric point of connection (PoC) and off-site costs. Costs associated with the PoC are therefore subject to change.

Please note: PoC and off-site costs will be provided when the upstream DNO has provided these details in full. However, PoC and non contestable charges will be the same regardless of who is to own the network.

GTC has assumed a High Voltage (HV) connection.

This quotation includes the excavation and reinstatement costs in public highway (2m road), which will be carried out by GTC.

The Developer shall be responsible for clearing all existing vegetation and foliage along the proposed route, and provide an onsite route free of fences, walls, shrubs, trees or any other feature that may be detrimental to the underground apparatus through it's installation method or future growth.

Due to the size of the site 1 substation will be required and the costs are included in this quote. GTC has assumed that the Developer will carry out all civil works associated with the substation at their own cost.

GTC has assumed that the Developer will construct a brick-built housing for the substation to GTC specifications.

If the development is in an area that the environment agency consider to be susceptible to a risk of flooding, then any electrical plant and equipment will need to be established at a level 600mm above the 1 in 100 year predicted flood level, or the Developer will need to guarantee that they have mitigated the risk of flooding by incorporating suitable flood defences.

Diversions or abandonment works may be required and are excluded from GTC's quote. The details can be obtained by contacting the upstream DNO.

The Developer shall be responsible for all on-site excavation and reinstatement.

GTC has assumed all mains and services feeding 101 Plots will be in trenches pre-excavated by the Developer.

GTC's mains will typically be laid down one side of the estate roads to minimise on road crossings, service lengths and mains lengths. This quote does not include ducting as this is the responsibility of the Developer to install suitable ducts and jointing pits at the Developers cost to GTC specifications.

GTC's quote is based on 101 Plots having electric heating (ASHP).

GTC has calculated the total load for the site to be 333kVA.



GTC's quote is based on meter positions for the houses to be external on the front elevation of each property. Where internal meters are to be fitted, the Developer will be responsible for establishing a metering location in accordance with GTC standards GE-TGI-IG-0015, details of which will need to be confirmed by the Developer.

GTC's quotation excludes meter boxes and hockey sticks. GTC can supply these at an additional charge of £24.90 each for standard meter boxes.

This quotation includes sufficient capacity on each domestic 100A service for an Electric Vehicle Charging Point (EVCP) of up to 7.2kW (32A) installed downstream of the meter on each domestic plot (excluding multi-occupancy dwellings). Larger EVCPs or multiple EVCPs may require a 3-phase arrangement, as well as a requirement for additional capacity, and costs for this arrangement have not been included in this quotation.

Based on the information you have provided GTC has not included for any lift motors, pumping stations or other disturbing electric loads (such as welders, motors or air conditioning equipment) in this quotation.

GTC's quotation excludes the cost of Temporary Builders Supply (TBS). The indicative cost to connect this is £1,805.00, this cost assumes the Developer shall be responsible for all excavation and reinstatement; the Developer will provide a weatherproof lockable box/kiosk with suitable internal space to accommodate the meter board; the meter location is less than 25m from GTC's installed and energised mains; demand does not exceed 24kVA for single phase TBS or 69kVA for three phase TBS. This price includes for the disconnection of the temporary supply upon request.

GTC's quotation excludes the cost to connect adoptable street lighting columns. GTC can connect these for an additional charge, the current price for this work is £340.25 per column. This cost includes the supply and lay of 9m of service cable between GTC's existing Low Voltage (LV) mains and the street lights, in this cost GTC has assumed you will provide ducting and excavation to GTC specifications. Prior to the energisation of the street lights you will need to have appointed an electricity supplier for the supply of the street lights. Following the first energisation the terms of connection will be as set out in the National Terms of Connection or in a separate agreement between GTC and yourself.

GTC's Technical Guidelines for Electricity can be found here: <http://www.gtc-uk.co.uk/technical-guidelines>



Fibre Terms

This quotation includes any off-site excavation and reinstatement works required to be completed for a connection from the on-site fibre duct network on the development at the site entrance to the appointed Backhaul Provider. These works will be carried out by GTC.

This quotation is based on GTC installing the duct and chamber infrastructure and fibre network as detailed in GTC document GF-TGI-IG-0393. All the Developer will need to install is the 54mm fibre service duct and complete installation of the chambers.

The Developer shall be responsible for all on-site excavation and reinstatement associated with the installation of the fibre network, including the mains, services and On-Site Convergence Point (OSCP).

The Developer shall be responsible for preparation within the Plots to ensure a Plot is ready to receive a fibre service. GTC will liaise with you on the specific requirements during the design stages and brief out final requirements at a fibre construction pre-start meeting.

To ensure that the homeowners moving into their new property can enjoy the maximum benefit from GTC's Ultra-Fast Fibre Optic Distribution Network, GTC strongly recommend the Developer follows the minimum in-home technical requirements as specified within the appropriate Fibre Technical Guidelines.

The Developer shall be responsible for ensuring that each Plot is pre-wired to enable the resident to receive Sky Q television services (via satellite dish or communal FIRS) in accordance with the enclosed Sky Approved Developer Terms and will highlight to purchasers of its Plots Sky Triple Play (being a phone, broadband and TV service offering provided by or on behalf of Sky) as well as the fact that Sky are the Developer's preferred solution for TV, broadband and phone services. The Developer will be required, in addition to (and separately



from) GTC's Standard Terms and Conditions, to enter into (and to comply with) the Sky Approved Developer Terms. Sky pre-wiring specification documents can be found on GTC's website and via the link below.

If Virgin Media O2 confirm there is connectivity available for this site, they will require a minimum of two points in the home for TV services to be installed by the Developer. Virgin Media O2 supplied cable must be used. These must be installed between the GTC fibre entry point and likely TV locations. At the fibre entry point the two cables will need to be coiled (min. 150mm) in a Virgin Media O2 supplied housing unit. At the two selected TV locations, the cable will need to be coiled (min. 150mm) in a standard, Developer supplied single 25mm back box fitted with a Virgin Media O2 supplied branded faceplate. All terminations will be at the point of customer connection. All Virgin Media O2 supplied materials will be free of charge.

Where available, Virgin Media O2 will deliver an independent offsite network and the capacity required to serve every home on the development. A New Build Account Manager (NBAM) will work with the Developer and assign a New Site Representative (NSR) to the development. The NSR will conduct regular site visits to coordinate all Virgin Media O2 works, onsite material deliveries along with any sales and marketing requirements.

This offer includes the option of FIRS. If selected, a FIRS signal survey will be performed following acceptance of the proposal to finalise the positioning of the aerials and dish. The FIRS aerials and dish will require a solid mounting within visibility of the terrestrial transmitters and satellite. This mounting would typically be on the wall of a substation, roof top of an apartment block or similar solid object. The mounting must be within approximately 20 metres of the OSCP or cabinet housing the FIRS equipment. If no such object is available an additional charge may be necessary to provide a mast or similar. Should a mast be required you will need to seek the appropriate planning permission for its deployment. Where FIRS equipment is deployed within an apartment block riser it must be fed using a landlord supply and accessible to Open Fibre Networks Ltd (OFNL) to inspect, maintain, adjust and repair.

The Developer will need to ensure each Plot is correctly wired to ensure a Plot is ready to receive a FIRS service. Details on all in home requirements and all associated on-site build requirements can be found in the GTC FIRS Technical Standards GF-CIC-ES-0059.

Additional Developer contribution for FIRS		
Richborough Estates pays GTC		

GTC's Technical Guidelines for Fibre and FIRS and Sky Q Pre-wiring Technical Specifications can be found here: <http://www.gtc-uk.co.uk/technical-guidelines>



Water Terms

This quotation is based on an assumed point of connection (PoC) to the Incumbent Water Company's network. GTC has assumed that a suitable PoC for the whole development is available at the site entrance and has included provisional costs for a connection at this location. Once the Incumbent Water Company has provided a formal offer for these works GTC will pass this through for payment by the Developer.

The costs of carrying out any necessary diversions to the existing water network are excluded from this quotation. Please contact the Incumbent Water Company if required.

The Developer shall be responsible for all on-site excavation and reinstatement. GTC shall supply and install water infrastructure inclusive of the main, communication pipe, meter box and meter. The Developer shall complete installation of the meter boxes to the final finished level. Please refer to GTC technical guidelines GW-TGI-IG-0017 for further details and definitions.

This quotation is based on all water meters located in the footpath or publicly accessible metalled surface in an individual or multiple meter boundary box. Water meters may also be located internally within each property (at the water service entry location) subject to approval by INWL.

This quotation excludes the costs for any fire hydrants. The cost for these will be chargeable upon confirmation from the local Fire Authority on the quantity and location of hydrants required.



This quotation does not include any landlords supplies or bin store services. A quotation for these can be provided after acceptance. The standard price for these supplies is £392.00 (excluding VAT) for each connection. This assumes a 25mm service and 15mm inline meter located in a boundary box within 10m of a laid or proposed IWNL main. All excavation and reinstatement to be completed by the Developer.

GTC's quotation excludes the cost for a Temporary Builders Supply (TBS). The current cost to provide this is £621.00 (excluding VAT) per TBS. This cost assumes the Developer shall be responsible for all excavation and reinstatement. The TBS will be a standard metered arrangement consisting of 32mm service pipe, a 20mm meter and a boundary box capable of providing 4m³/hr (1.1 l/s) and located within 10m of an installed or proposed IWNL main. IWNL's main and associated upstream pipe work will need to be in place and commissioned before the TBS can be installed. This price includes for the disconnection of the temporary supply upon request.

This quotation does not include for the construction or adoption of any booster pumps by IWNL. Should these be required, this quotation is based on the assumption that these will be adopted by the Incumbent Water Company.

This quotation assumes there is no contamination onsite and therefore all pipe has been costed as standard polyethylene (PE) pipe. No allowance has been made for any barrier pipe in this quotation.

The Developer is to supply, free of charge, suitable concrete for thrust blocks as necessary for the water mains.

Any works in respect of the water distribution network will be conditional upon IWNL having been granted a NAV by Ofwat and acceptance by IWNL of a formal offer from the Incumbent Water Company to: (i) connect the Network to the Host Water Company's network; (ii) convey water from the Host Water Company's network; and (iii) perform any tasks ancillary to those contemplated in (i) or (ii) above.

Infrastructure charges for water are payable on a per plot basis and will be chargeable in-line with the charges applicable at the time the water service connection is made to the building. Water infrastructure charges are revised on an annual basis and are regulated by OFWAT, for clarity this offer excludes these charges. GTC will apply for any discounts to infrastructure charges offered by the Incumbent Water Company subject to the Developer or subsequent housebuilder providing evidence that the specific conditions for any discount have been achieved.

GTC's Technical Guidelines for Water can be found here: <http://www.gtc-uk.co.uk/technical-guidelines>



Wastewater Terms

This quotation is based on an assumed connection to the Incumbent Wastewater Company's network. GTC has assumed that a suitable wastewater point of discharge (PoD) for the whole development is available at the site entrance. Once the Incumbent Wastewater Company has provided a formal offer for these works GTC will pass this through for payment by the Developer. This quotation assumes the Developer will undertake all civils work for the wastewater connection.

The costs of carrying out any necessary diversions to the existing Incumbent's wastewater network are excluded from this quotation and will be arranged and undertaken through the Incumbent Wastewater Company by the Developer.

The Developer shall design, supply and install all wastewater infrastructure. The Developer shall be responsible for all on-site excavation and reinstatement. Please refer to GTC technical guidelines GW-TGI-IG-0575 for further details and definitions.

This quotation assumes a pumping station is not required for the development and therefore does not include for the construction or adoption of any pumping stations by IWNL. Should any pumping stations be required, this quotation is based on the assumption that these will be adopted by the Incumbent Wastewater Company. GTC reserves the right to amend this quotation should the adoption of pumping stations not be agreed with the



Incumbent Wastewater Company. Any temporary pumping station will be the responsibility of the Developer to design, construct and maintain and will not be adopted by IWNL.

This quotation does not include for the adoption of any of the attenuation components included as a part of the surface water sustainable drainage system (SuDS). This offer includes for the adoption of the surface water pipework only.

Where the surface water discharge terminates into a third party water course, canal, drainage ditch, water body or similar, the wastewater element of this quotation is conditional upon IWNL entering into any necessary agreements (on terms acceptable to IWNL) in respect of surface water discharge with any relevant third party (including, without limitation, the Canal & River Trust). GTC reserves the right to: (i) amend this quotation to reflect, or otherwise recover from the Developer, any amounts which IWNL is required to pay to any third party in respect of surface water discharge; (ii) withdraw this quotation (in so far as it relates to wastewater) if IWNL does not reach agreement in respect of surface water discharge with any relevant third party; and/or (iii) pass through to the Developer any costs incurred by IWNL in seeking to reach agreement in respect of surface water discharge with any relevant third party.

The site wastewater drainage design is assumed to include for separate systems for sewage and surface water drainage. The separate foul sewer system will extend to the Incumbent owned public sewer and the surface water network may terminate with a connection to the Incumbent's network. A discharge application will be made by the Developer to the Incumbent Water Company for the discharge of sewage and possibly the surface water. The sewage discharge application will be for domestic wastewater only, IWNL must be consulted in respect of any proposed trade effluent discharge to the public sewer. Land and highway drainage have no right of connection to the public sewer network. Land drainage will not be allowed into a public sewer. Highway drainage, however, may be accepted under certain circumstances; for instance, if SuDS are not a viable option and there is no highway drain available and if capacity is available within the public sewer network. In this event, you will be required to enter into a formal agreement with IWNL under Section 115 Water Industry Act 1991 to discharge non-domestic flows into the public sewer network. GTC reserves the right to request the Developer provides a surety (e.g., an independent bank or financial institution such as NHBC) not exceeding 10% of the estimated construction value of the works (minimum value of the indemnity being £5,000 or the value of the works if less than £5,000).

All wastewater design approvals and network inspections as deemed necessary by GTC (both those undertaken during construction works and for final adoption of the network) are included within this offer, this is for design submissions and construction of the works that are of a conventional nature and are in accordance with the recommendations set out in the latest version of the Sewerage Sector Guidance, Design and Construction Guidance. In the event that submissions or construction of the works falls below these standards GTC reserves the right to recover any additional costs incurred as a result of such occurrence. The Developer shall provide detailed CCTV coverage and as built drawings for the wastewater networks before adoption can be made by IWNL, as well as proving the satisfactory operation of all network components through the Developer's maintenance period.

Any works in respect of the wastewater network will be conditional upon IWNL having been granted a NAV by Ofwat and acceptance by IWNL of a formal offer from the Incumbent Wastewater Company to: (i) connect the Network to the Host Water Company's network; (ii) convey wastewater to the PoD on the Host Water Company's network; and (iii) perform any tasks ancillary to those contemplated in (i) or (ii) above.

Infrastructure charges for wastewater are payable on a per plot basis and will be chargeable in-line with the charges applicable at the time the water service connection is made to the building. Wastewater infrastructure charges are revised on an annual basis and are regulated by OFWAT, for clarity this offer excludes these charges. GTC will apply for any discounts to infrastructure charges offered by the Incumbent Wastewater Company subject to the Developer or subsequent housebuilder providing evidence that the specific conditions for any discount have been achieved.

GTC's Technical Guidelines for Wastewater can be found here: <http://www.gtc-uk.co.uk/technical-guidelines>



5.0 CONFIDENTIALITY

This quotation and associated documentation is confidential between GTC, Richborough Estates and their associated parties for this project. It contains commercially sensitive information and should not be divulged to any other party without written permission from GTC.

6.0 PROGRESSING THIS QUOTATION

Should you be successful in obtaining and developing this site, GTC will be pleased to supply a firm quotation. Please return a detailed site plan and a completed quotation request form. GTC trust that this budget costing will be acceptable and look forward to receiving your instructions.

This quotation is given on the basis that it does not create any legal relationship between you and GTC and no agreement will come into force between us until GTC dispatches an acknowledgement of the Acceptance and Appointment of Transporters. To the fullest extent permitted by law, GTC will have no liability in contract, tort (including negligence and negligent misstatement) or otherwise for any matter set out or referred to in this quotation unless and until such an agreement comes into force (in which case any such liability will be governed by GTC's Standard Terms and Conditions).

7.0 CONTACT DETAILS

Should you require further details please do not hesitate to contact your GTC Sales Contact, Christopher Base (07483 082188 / christopher.base@gtc-uk.co.uk) or the Sales Support Team (01359 240154 / sales@gtc-uk.co.uk) to discuss further.



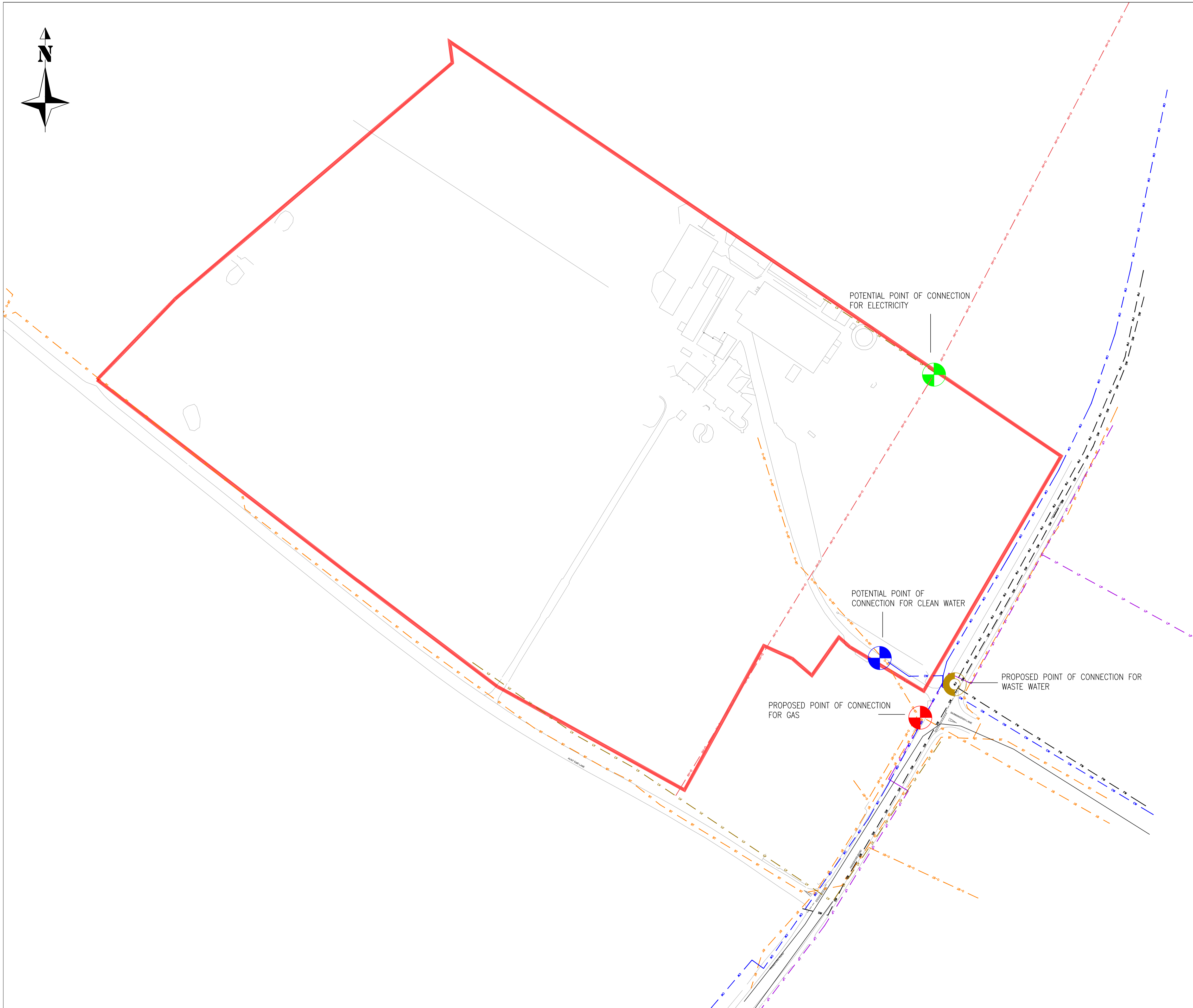
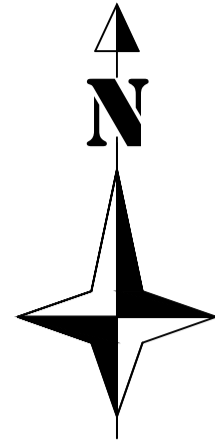
MEC

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Consultants

APPENDICES



APPENDIX H



NOTES:

1. DO NOT SCALE THIS DRAWING.
2. ALL LEVELS ARE IN METRES UNLESS SPECIFIED OTHERWISE.
3. ALL DIMENSIONS ARE IN METRES UNLESS SPECIFIED OTHERWISE.
4. SERVICE LOCATIONS SHOWN ON THIS PLAN ARE DERIVED FROM RECORDS OBTAINED FROM STATUTORY UNDERTAKERS. THIS DRAWING CAN NOT BE RELIED UPON FOR ACCURACY. THE SIZE, MATERIAL & DEPTH OF BURIED SERVICES ARE NOT SHOWN ON THIS DRAWING. SUCH INFORMATION MUST BE OBTAINED FROM STATUTORY UNDERTAKERS OR INTRUSIVE INVESTIGATION.
5. IT IS ESSENTIAL THAT NEW STATUTORY UNDERTAKER ENQUIRES ARE UNDERTAKEN BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION WORKS. CABLE/PIPE DETECTION TECHNIQUES, TRIAL HOLES OR OTHER SIMILAR METHODS MUST BE ADOPTED BY THE CONTRACTOR TO VERIFY THIS DRAWING AND ANY SUBSEQUENT PLANS OBTAINED FROM STATUTORY UNDERTAKERS.
6. PRIOR TO CONSTRUCTION & ALSO DURING DESIGN IT SHALL BE NECESSARY TO UNDERTAKE HAZARD IDENTIFICATION & RISK ASSESSMENT OF POTENTIAL DAMAGE TO EXISTING SERVICES. ALSO SAFEGUARDS SHOULD BE PUT IN PLACE TO PREVENT EXPLOSION, FLOOD, ELECTRIC SHOCK ETC FOR OPERATIVES & GENERAL PUBLIC.

KEY:

- SITE BOUNDARY
- CLEAN WATER MAIN (-)
- SURFACE WATER SEWER (-)
- FOUL WATER SEWER (-)
- UNDERGROUND LV CABLE (-)
- OVERHEAD HV CABLE 11KV (-)
- LP GAS MAIN (-)
- UNDERGROUND BT CABLE
- OVERHEAD BT CABLE
- PROPOSED POINT OF CONNECTION FOR WASTE WATER
- POTENTIAL POINT OF CONNECTION FOR CLEAN WATER
- PROPOSED POINT OF CONNECTION FOR GAS
- POTENTIAL POINT OF CONNECTION FOR ELECTRICITY

REV	INITIAL	EH	NA	AB	17.12.23
AMENDMENTS:	DRN	CHK	APP	DATE:	

PROJECT: **LAND WEST OF FRINGFORD ROAD
CAVERSFIELD**

DRAWING TITLE: **UTILITIES CONSTRAINTS
PLAN**

CLIENT: **RICHBOROUGH**

DRAWING NUMBER: **27877_07_010_01**

REVISION: - SHEET SIZE: **A1** SCALE: **1:1250**

STATUS: **PRELIMINARY**

M·EC Consulting Development Engineers	Telephone: 01530 264 753 Email: group@mec.co.uk Website: www.mec.co.uk
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File Location: T:\M·EC Job Books\27877\Drawings\27877_07_010_01.dwg
Printed: 20.12.2023



CIVIL ENGINEERING



ACOUSTIC AIR



TRANSPORT



UTILITIES



FLOOD RISK & DRAINAGE



GEOMATICS



STRUCTURES



LIGHTING



GEO-ENVIRONMENTAL



EXPERT WITNESS



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