



Parcel R, Kingsmere, Bicester Design and Access Statement - Addendum

Corstorphine & Wright

1.0 Summary of Proposed Changes

Planning application 23/03073/HYBRID was submitted to the Council in November 2023. The Case Officer provided initial thoughts on the submission in a letter dated 13 December 2023. A meeting was subsequently held on 18 December 2023 focussing on a number of key design concerns as they pertain to the Extra Care building. These can be summarised as –

- The pitched roof design on the return wing of the building, whilst reflecting the housing character to the north of the Greenway, does not work in relation to the remainder of the Extra Care building;
- The overall proposal represents overdevelopment of the site and consequently, the Extra Care building is more exposed and prominent to the public domain along the street frontage; the frontage to the Square needs to be broken up more, whether by physical relief and/or through the use of materials, emphasising the vertical rather than the horizontal; greater use of limestone, as per the Code, is required, particularly on the prominent corner of the building
- The four storey flat roof design remains imposing and does not relate well to the remaining Kingsmere development and surrounding land uses.

The design response to these concerns was broadly discussed at the meeting and are summarised as –

- A return to the flat roof design on the rear wing to create a more cohesive building appearance;
- The use of inseting and physical relief along the Square frontage and all gable ends to break up the appearance of the building and reduce the sense of mass. This is coupled with a revised material palette to aesthetically break up the length of this primary façade and the overall mass by introducing verticality;
- The limestone plinth has been replaced with a more significant architectural solution through the introduction of a limestone colonnade and limestone feature corner, which acts as a visual marker and a 'wayfinder, guiding visitors towards the main street front entrance/reception area of the building. It is also a feature that is picked up elsewhere in the Kingsmere development at its Oxford Road district centre.



2.0 Research

2.1 Bicester Precedents



Bicester Precedents

An additional precedent study was carried out to get an even deeper understanding of the features and materials that are typical Bicester and that are found in the immediate vicinity.

This research went on to directly inform the subsequent revised elevational proposals

2.0 Research

2.2 Key Materiality

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1. Facing brick Brown/grey
 - a. Texture: Stock thrown
 - b. Colour: "Greyfriars Gault Blend"
- Mortar
 - c. Colour: Dove Holes White
2. Open jointed Limestone cladding
 - a. Finish: Honed
 - b. Colour: natural
3. Through colour render.
 - a. Colour: 'terracotta'
 - b. Finish: Fine Texture
4. Cast stone cills, heads and feature banding.
 - a. Colour: Portland white/grey limestone
5. Profile extruded terracotta twin skin cladding panels,
 - a. Finish: unglazed
 - b. Colour: Natural 'terracotta'
6. PPC metal doors, windows, balustrades and flashings
 - a. Finish: Metallic effect
 - b. Colour 'champagne'.

The scheme boasts a mixture of both traditional and contemporary materials providing a complimentary palette. We have incorporated a brown/grey stock thrown, facing brick which is similar to the buildings throughout Bicester - this is the primary base material of the scheme. The brick is then complimented by the contrasting colour and sleek finish of the profile extruded, terracotta twin skin cladding panels.

By introducing a complimentary material to the brickwork and recessing this into the facade, a vertical aesthetic/force is introduced thereby breaking up the horizontal.

To link the main two materials together - we have proposed a natural honed, open jointed limestone cladding system. The natural colour of the limestone provides the perfect transition material between traditional and contemporary.

The limestone also enables the colonnade to stand as its own design feature and help draw people from the public space to the main entrance of the building. The limestone also enables us to emphasise the verticality of the windows and eradicate the horizontal-ness of the repeated elevation pattern

3.0 Revised Drawings

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3.1 Proposed Elevations



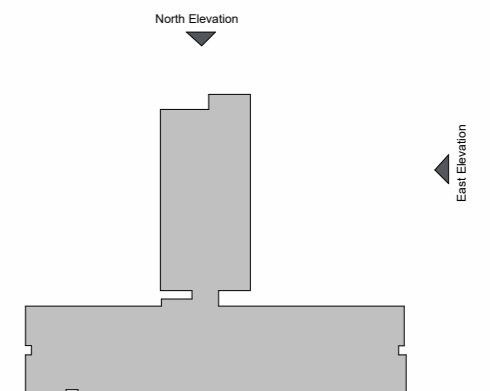
North Elevation



East Elevation



- Material code
- 01 Brickwork-Light tone
 - 02 Natural earthen clay vertical cladding system
 - 03 Limestone
 - 04 Render wall
 - 05 Rainwater goods - Dark grey
 - 06 Metal railing - Champagne colour
 - 07 Windows and doors - Champagne colour
 - 08 PPC aluminium metal door to service areas
 - 09 Recessed panel
 - 10 Stone stringer course
 - 11 Stone lintel to doors and windows

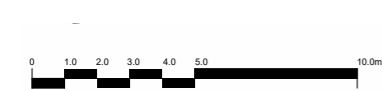
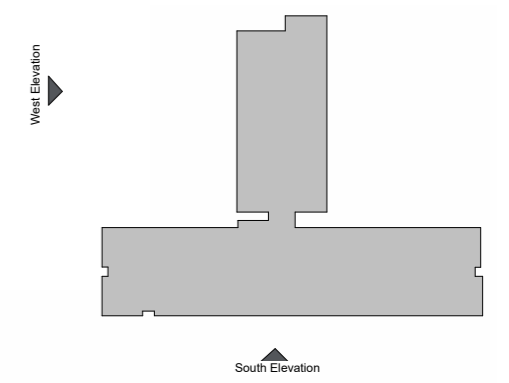




South Elevation

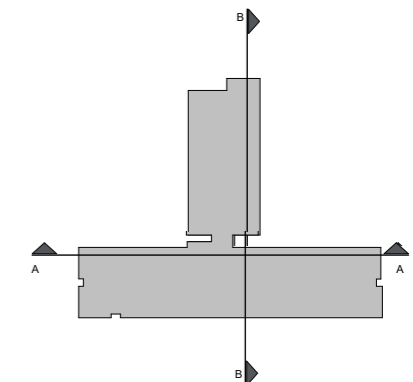


West Elevation



- Material code
- 01 Brickwork-Light tone
 - 02 Natural earthen clay vertical cladding system
 - 03 Limestone
 - 04 Render wall
 - 05 Rainwater goods - Dark grey
 - 06 Metal railing - Champagne colour
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3.2 Proposed Sections



The primary building frontage to the south east is four storey with a flat roof (section B-B). The smaller arm to the rear (section A:A) also now has a flat roof but this is a 3 storey block thereby stepping the overall mass down towards the existing adjacent residential properties and also the proposed residential properties subject of the outline part of the hybrid application.

3.3 Proposed Site Plan



Proposed changes from previous submission:

- Additional recesses have been introduced where layout permits to break up the facade
- Colonnade added
- Window types/positions amended in line with revised elevations.
- Rear (3 storey block) now receiving a flat roof
- Private Garden omitted from outside guest room - now public landscaping.





KEY

- 1 Bed apartment
- 2 Bed apartment
- Community Area
- Staff Area
- Admin
- Circulation
- Services

FIRST FLOOR PLAN



Proposed changes from previous submission:

- Additional recesses have been introduced where layout permits to break up the facade
- Window types/positions amended in line with revised elevations.



- KEY**
- 1 Bed apartment
 - 2 Bed apartment
 - Community Area
 - Staff Area
 - Admin
 - Circulation
 - Services

SECOND FLOOR PLAN



Proposed changes from previous submission:

- Additional recesses have been introduced where layout permits to break up the facade
- Window types/positions amended in line with revised elevations.



KEY

- 1 Bed apartment
- 2 Bed apartment
- Community Area
- Staff Area
- Admin
- Circulation
- Services

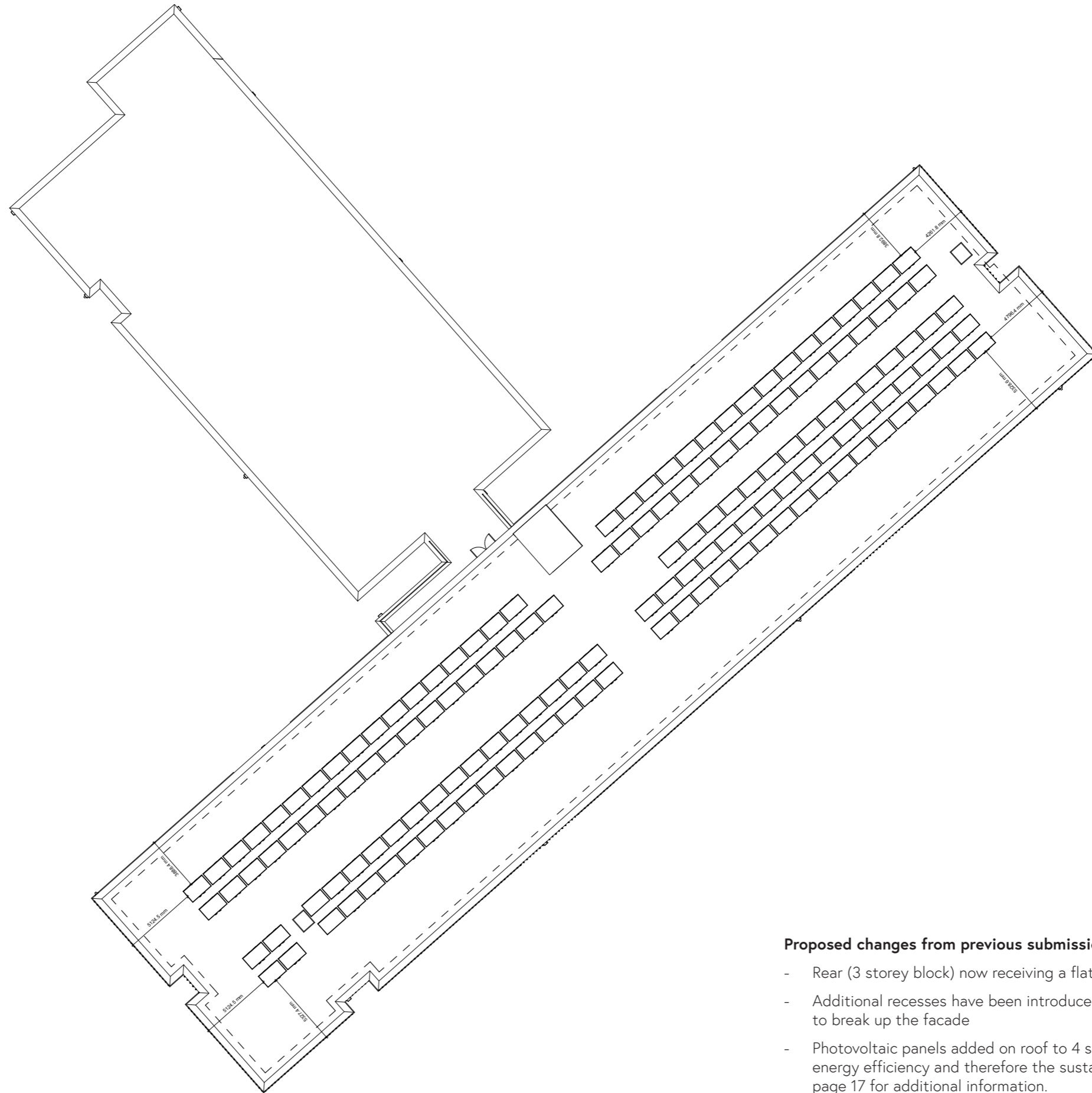
THIRD FLOOR PLAN



Proposed changes from previous submission:

- Rear (3 storey block) now receiving a flat roof
- Additional recesses have been introduced where layout permits to break up the facade
- Window types/positions amended in line with revised elevations.

3.5 Proposed Roof Plan



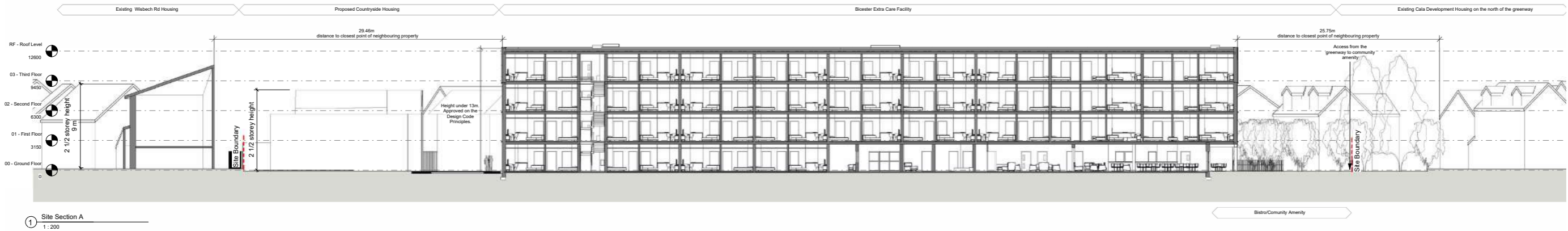
ROOF PLAN



Proposed changes from previous submission:

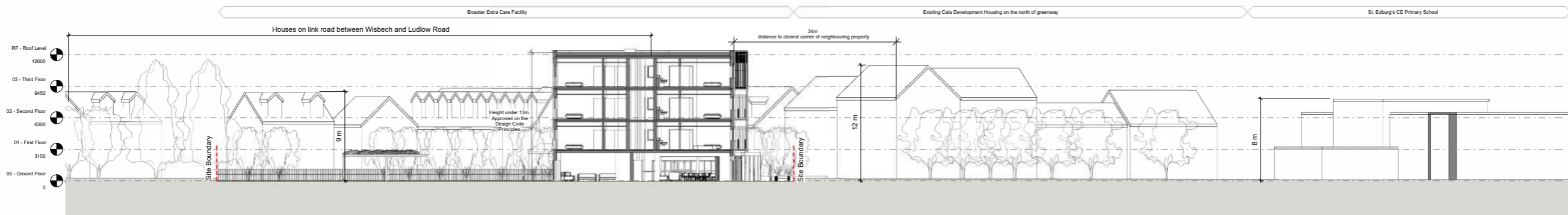
- Rear (3 storey block) now receiving a flat roof
- Additional recesses have been introduced where layout permits to break up the facade
- Photovoltaic panels added on roof to 4 storey block to increase the energy efficiency and therefore the sustainability of the building (refer to page 17 for additional information).

3.6 Proposed Site Sections



1 Site Section A
1 : 200

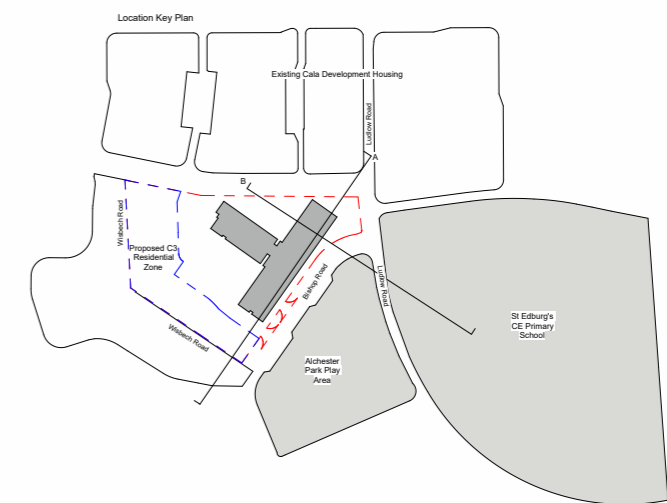
SECTION A



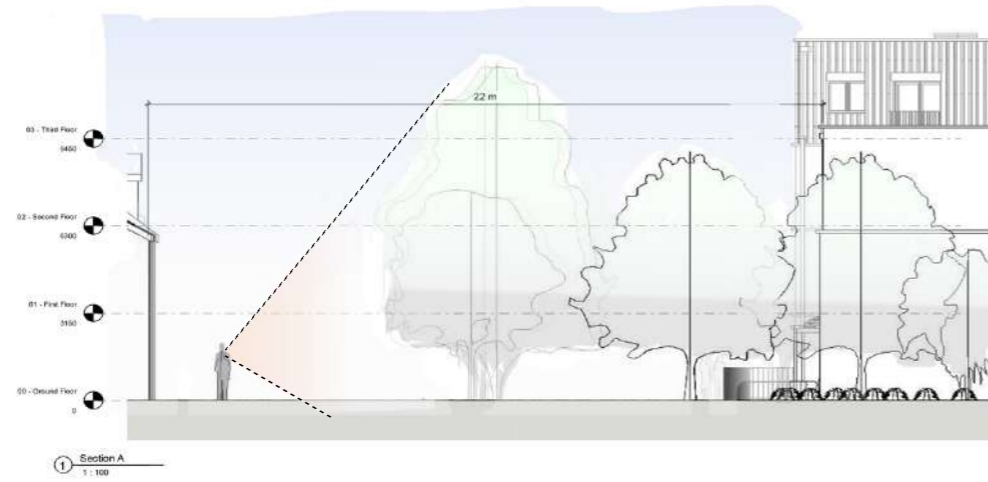
2 Site Section B
1 : 200

SECTION B

Section A shows the Extra Care building which fronts the Square, the existing residential properties are of a similar height and so the extra care building is not out of character with existing dwellings – the corner plot is circa 10m tall, and similarly in Section B, the nearest house is also a similar height.



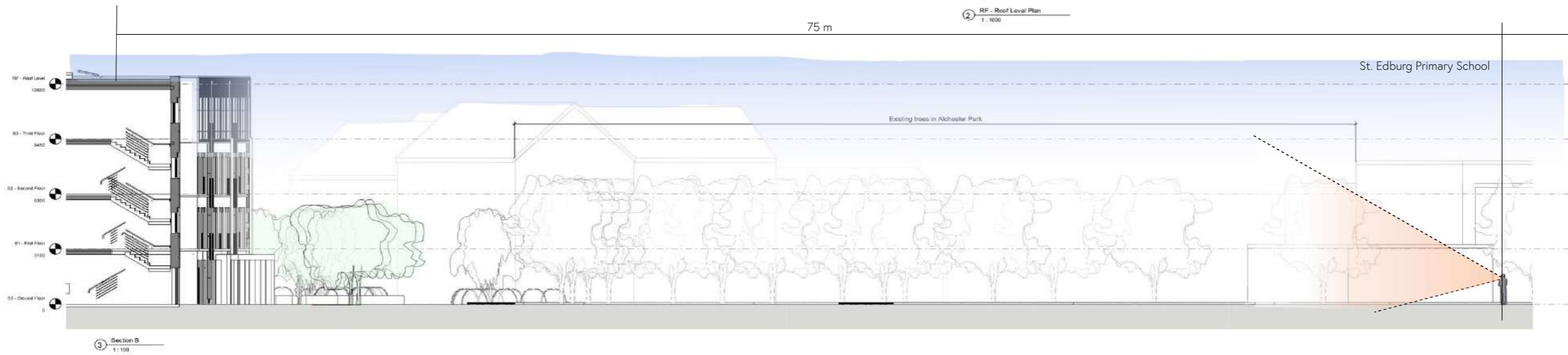
3.7 Proposed Site Sections - Photovoltaics



SECTION A



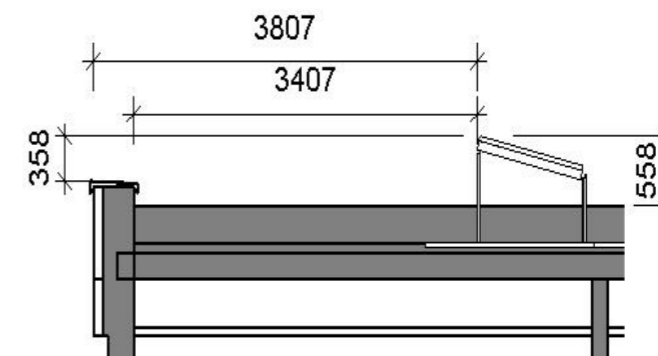
RF - Roof Level Plan
1:500



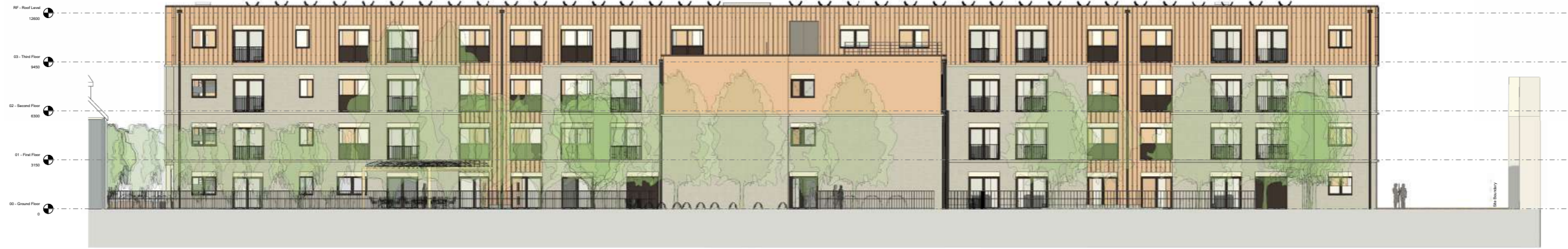
SECTION B

Having carried out an assessment to understand the potential aesthetic affects of the proposed photovoltaic array which is proposed on the top of the 4 storey flat roof it has been established that the panels won't be visible unless viewed from 75m+ away from the building.

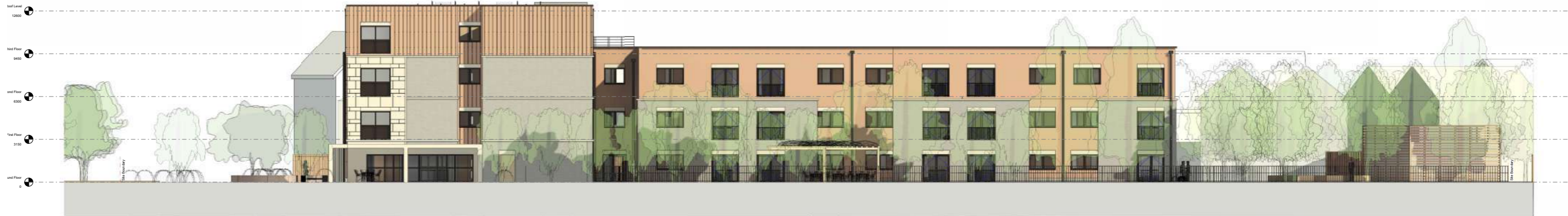
The plan above shows where this 75m radius is positioned. Due to surrounding properties, trees etc. and the fact the panels are positioned central to the roof (inset 3.8m from outer edge of the parapet) and the site lines the solar panels will not be visible.



SECTION THROUGH PV PANEL/PARAPET



North Elevation

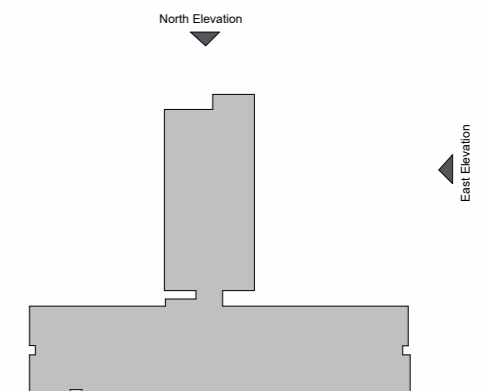


East Elevation



- Material code
- 01 Brickwork-Light tone
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 - 03 Limestone
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 - 07 Windows and doors - Champagne colour
 - 08 PPC aluminium metal door to service areas
 - 09 Recessed panel
 - 10 Stone stringer course
 - 11 Stone lintel to doors and windows

Having carried out an assessment to understand the potential aesthetic affects of the proposed photovoltaic array which is proposed on the top of the 4 storey flat roof it has been established that the panels won't be visible unless viewed from 75m+ away from the building. As the elevation illustrates there will be significant tree cover from both existing and proposed trees





South Elevation

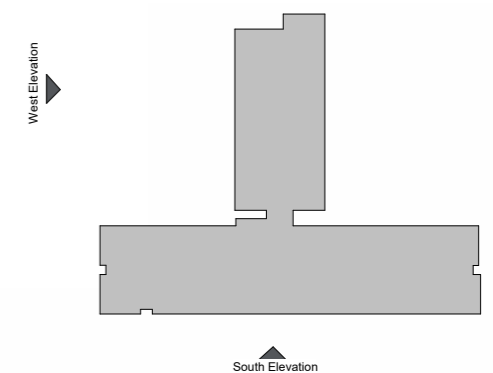


West Elevation



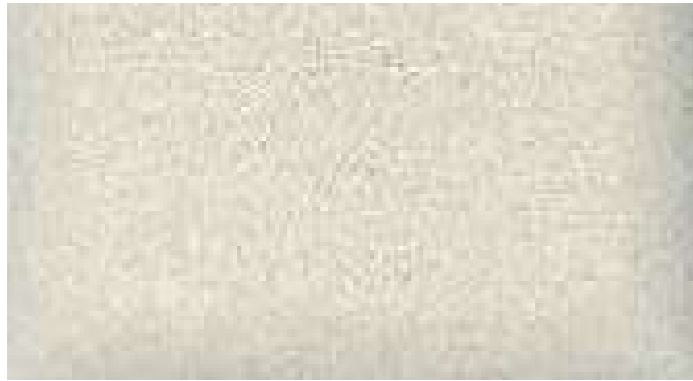
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Having carried out an assessment to understand the potential aesthetic affects of the proposed photovoltaic array which is proposed on the top of the 4 storey flat roof it has been established that the panels won't be visible unless viewed from 75m+ away from the building.



3.9 The Bistro - Limestone Architectural Colonnade & Corner Detail

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4.0 Proposed Visuals

4.1 Proposed Building - View 2 - Rear Garden



4.2 Proposed Building - View 2 - Proposed Bistro Entrance



4.3 Proposed Building - View 3 - Public Green Space at Bistro Entrance



4.4 Proposed Building - View 4 - Car Park with Soft Landscaping



4.5 Proposed Building - View 5 - Proposed Bistro and Public Green Space



4.5 Proposed Building - View 6 - Rear Garden



5.0 Photomontages

5.1 Montage Location Plan

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5.2 Photomontage No. 1 - From Ludlow Road



N.b. In this images the trees are as just planted - Sept 2021

5.3 Photomontage No. 1a - From Ludlow Road



N.b. In this images the trees are with approx. 5 Year growth

5.4 Photomontage No. 2 - Bishop Road



5.5 Photomontage No. 3a - The Green Way



N.b. In this images the trees are with approx. 5 Year growth

5.6 Photomontage No. 4 - End of Wenlock Drive



6.0 Continuing Material Exploration and Research

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Summary

The drawings and illustrations show an indicative cladding system, exploratory costings are currently underway, and the system/solution can be confirmed once this exercise concludes.

The aesthetic will however be comparable with the newly submitted solution as should any changes be necessary; they will simply amount to a different material used in the same way.

By way of an example, we have explored the possibility of a rendered solution in place of the cladding please see indicative imagery above and adjacent.

Images A & B illustrate how by introducing a complimentary material and recessing this into the facade, a vertical aesthetic force is introduced thereby breaking up the horizontal.

Material samples can be provided in due course for the purposes of sign off to ensure the LA are comfortable with the selection.

A number of design changes have been carried out in response to LPA feedback in December 2023.

These changes include the following:


- A return to the flat roof design on the return wing to create a more cohesive building appearance;
 - The use of inseting and physical relief along the Square frontage and all gable ends to break up the appearance of the building and reduce the sense of mass. This is coupled with a revised material palette to aesthetically break up the length of this primary façade and the overall mass by introducing verticality;
 - The limestone plinth has been replaced with a more significant architectural solution through the introduction of a limestone colonnade and limestone feature corner, which acts as a visual marker and a 'wayfinder, guiding visitors towards the main street front entrance/reception area of the building.
 - The depth of the brickwork reveals has been increased to provide shadow thereby bringing depth and texture to the facade.
 - Using a restricted palette which consists predominantly of locally sourced brick and limestone in line with surrounding buildings the building knits into its context.
- By reducing cavity widths and introducing a contrasting vertical material the horizontal rhythm has been broken up, whilst maintaining the necessary Sq.m
 - By lowering the sills on a number of proposed openings and introducing spandrel panels this has also introduced additional verticality to the elevations whilst allowing the same finish internally.
 - The additional stone banding which has been introduced not only responds to the surrounding local context/precedents but it also ties the elevations together starting/concluding with a crescendo on the important focal South East corner where a powerful feature limestone clad corner has been introduced. The significant colonnade structure also stems from this corner further enforcing the importance of this South East corner.


By introducing the above measures the scheme now has a more vertical aesthetic presence and a sympathetic, quality finish.




Corstorphine & Wright


Contact us to discuss your project

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