



Peveril Securities and Sladen Estates

Bicester Arc

Design and Access Statement

PLOT 1 – OFFICE BUILDING



PEVERIL SECURITIES

CONTENTS

1. INTRODUCTION

2. SITE CONTEXT

3. DESIGN

- Amount
- Layout
- Phasing
- Scale
- Appearance
- Landscaping
- Vehicle & Inclusive Access

INTRODUCTION

The application relates to a new commercial development on land to the South East of Lakeview Drive, Bicester. The development site as a whole is known as Bicester Arc.

The proposed development is considered to be in accordance with the key planning policy objectives of the adopted Cherwell Local Plan 2011-2031 (Part 1) to deliver economic growth at Bicester and remains compliant with outline planning permission (ref: 17/02534/OUT and the subsequent s73 ref: 23/01080/OUT).

The proposal comprises an office building with car parking and associated facilities.

The development will adopt a sustainable approach to construction and operation and will be constructed to BREEAM Very Good standards. Details of the BREEAM approach are included within the application package.

This document should be read in conjunction with the submitted architectural drawings.



Figure 1 CGI of Reception

SITE CONTEXT

Figure 2 shows the site location. Bicester Arc sits to the South East of and adjacent to the A41 Oxford Road. The development is accessed via Lakeview Drive, an existing road that leads to the Tesco superstore and to the two roundabouts that will serve the whole of the Bicester Arc development.

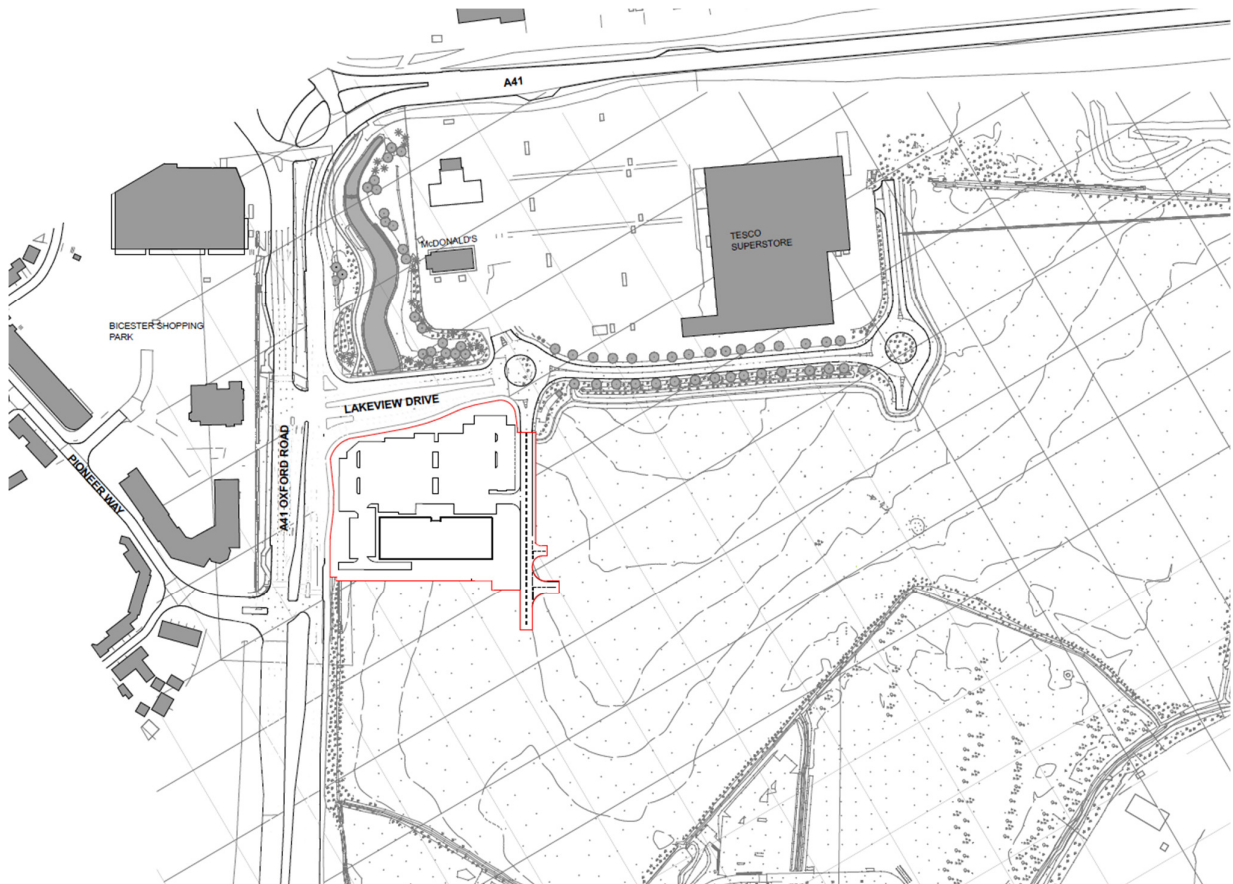


Fig.2 Plan showing the proposed development site in relation to the surrounding area.

The development has been designed to provide an occupier with a high quality and attractive scheme within a quality landscape setting, be a further catalyst for development and add to the already excellent high standard of development within the Bicester Arc development.

Views of the development site.



From the A41 Oxford Road



From Lakeview Drive (First Roundabout)



From Lakeview Drive (looking towards the A41)

DESIGN



Fig 3. Computer Generated Image of the proposed development.

Area

The proposed development consists of a single office building, to be built speculatively to attract occupiers looking for high quality office or lab enabled office environments.

The building provides a GIA of 6600m² (71,042sqft) over 4 storeys.

This site area is of circa 2.34 acres (0.94 hectares).

Layout

The layout of the proposed development has been designed to offer a quality solution to a broad range of potential occupiers including CL2 lab use and the needs of their operations.

The building sits to the rear of a generously landscaped site, forming a gateway to the wider development.

The car parking areas are sited to the front of the office building with EV charging spaces to the side and delivery drop off to the rear, to accommodate potential lab deliveries.

The building provides 4 open office floorplates ranging from 1600m² to 1660m². The floorplates sit to the front of a rear set core which provides access, vertical circulation (both human and plant) along with sanitary facilities.

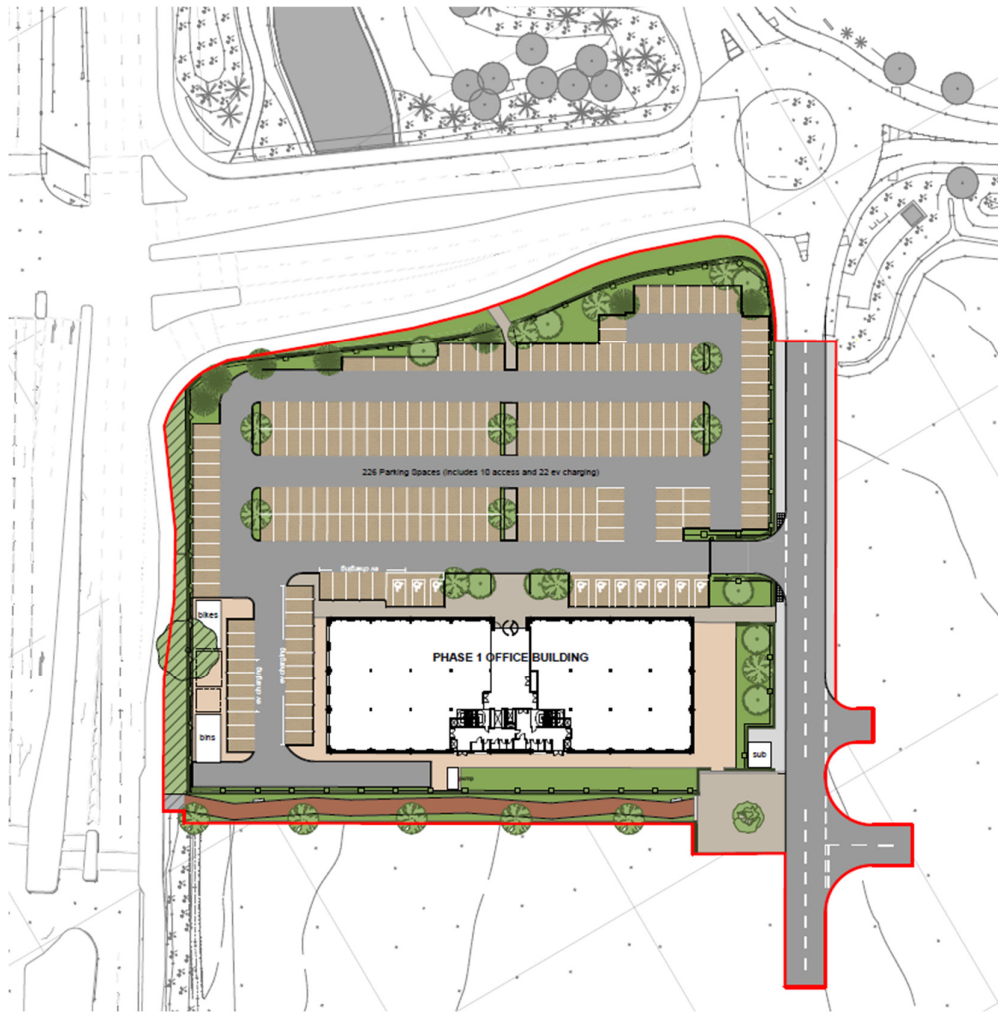


Fig 4. Proposed Site Layout Plan.

Scale

The office building has an overall height of 20.00m from the Ground Floor to the top of the roof mounted plant screen. The proposed finished floor level for this building is 66.80m AOD.

Appearance

The design of the building has been developed to give an attractive focus to this primary site location and to harmonise with proposals for other plots on the wider development.



Fig 6. Computer Generated Image of the proposed development – from access road.

The proposed building has a strong presence offering an attractive gateway to the development. High quality design finishes and carefully chosen materials and colourways make for a harmonious development.

The office building will be primarily clad in brick with 'punched' windows providing daylighting to the office areas. To the front the entrance is clearly signalled by the use of full height glazing that splits the building and allows the office to appear as a pair of connected blocks.



Figure 7. Proposed Internal CGI.



Fig 8. Office Elevations.

The office building has a flat roof with a small parapet. On the roof is a building plant area that will be screened to reduce its visibility from the ground. This is also achieved by stepping back the line of the screen from the edge of the building.

Landscaping:

The landscape proposals aim to sensitively integrate the proposed development in to the landscape context of the application site and the future of Bicester Arc.

[illegible]

Vehicle & Inclusive Access:

In addition a direct landscaped footpath from the A41 will be created. This runs to the south of the proposed building offering direct access to this office and in the future to the remaining areas of the entire development.

The layout will offer good links for pedestrians and non-car users to existing cycle ways and public transport networks. On site cyclist facilities will be provided in numbers in line with the appropriate BREEAM requirements.

The car park will provide 226 parking spaces.

10 Accessible parking spaces will be provided, these being located near to the main entrances with dropped kerbs.

22 electric vehicle charging bays will be installed.

Condition 29 of outline planning approval ref:17/02534/OUT Parking management. All parking will be for the use of the sole occupier and access controlled via a barrier.