

LINCE LANE, KIRTLINGTON

LANDSCAPE AND VISUAL APPRAISAL

Manorwood Homes

MAN1365lva



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Landscape and Visual Appraisal	
Project:	Lince Lane, Kirtlington
Status:	Final
Date:	February 2023
Author:	JPF
File Reference	MAN1365lva
Revision	A – 24.07.23

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1.0 Executive Summary

- i. LVIA Ltd were instructed to undertake a landscape and visual appraisal for fifteen residential dwellings located at Lince Lane by Manorwood Homes in January 2023. The site and its surrounding landscape were assessed and a total of five viewpoints were selected to represent a variety of receptors in the surrounding area.
- ii. The aim of this report is to provide an assessment of the potential landscape and visual effects of a proposed development upon the receiving landscape, in line with current legislation and guidance. It comprises two main assessments, the first for landscape and the second for visual effects.
- iii. The assessment has been conducted in line with published best practice guidelines and includes a desk study; (review of local plan policies, published landscape character assessment and production of a computer generated Zone of Theoretical Visibility (ZTV)) and onsite observations.
- iv. The site currently forms part of fields in agricultural use that sits to the west of the existing residential dwellings that are accessed from Oxford Close and Lince Lane (A4095) that sit to the east. A farm complex that is formed by large scale buildings and residential dwelling that sits to the west of the site at Corner Farm. Beyond that sits the Kirtlington Golf Course. Within the site the land is currently pastoral grassland that is defined by a combination of fencing and hedgerows with intermittent trees. A PRoW (270/10/30) follows the sites eastern boundary to the rear of the existing dwellings. The site is relatively flat. The site falls within no areas of national designation.
- v. Due to the existing local area, the proposed scheme would not be out of character with its surroundings when considered as part of the local landscape with development of a similar nature in close proximity to the site to the east and other agricultural built form to the west.
- vi. Opportunities for enhancement have been suggested to aid the schemes visual blending with the existing environs.
- vii. Five viewpoints were considered and of these two were considered to be subject to substantial visual impacts, viewpoints 2 and 3 that sit in the same field as the site.
- viii. At a residual stage, the overall impact on the landscape is considered to have a minor/negligible overall effect on the surrounding landscape character and a moderate effect on the visual baseline. It should be considered that this type of development is not out of character within the receiving landscape.

2.0 Introduction

- 2.1.1 LVIA Ltd were commissioned by Manorwood Homes in January 2023, to carry out a landscape and visual appraisal of the proposed development site located at Lince Lane, Kirtlington.
- 2.1.2 The brief was to assess the likely landscape and visual impact of the development and identify the degree of change over the existing use and site conditions.
- 2.1.3 The field survey was carried out during February 2023, and all viewpoints were chosen from publicly accessible vantage points.
- 2.1.4 Particular attention was paid to the potential views of receptors of high sensitivity, e.g. users of Public Rights of Way (PRoW).
- 2.1.5 Landscape and visual impact assessments can be defined as a mechanism by which the landscape can be assessed against its capacity to accommodate change. The aim of this report is to provide an assessment of the potential landscape and visual effects of the proposed development upon the receiving landscape, in line with current legislation and guidance.

The Site

- 2.1.6 The site is accessed from Lince Lane and the proposals are for fifteen detached residential dwellings with associated landscaping.
- 2.1.7 The site currently forms part of fields in agricultural use that sits to the west of the existing residential dwellings that are accessed from Oxford Close and Lince Lane (A4095) that sit to the east. A farm complex that is formed by large scale buildings and residential dwelling that sits to the west of the site at Corner Farm. Beyond that sits the Kirtlington Golf Course. Within the site the land is currently pastoral grassland that is defined by a combination of fencing and hedgerows with intermittent trees. The site is relatively flat. The site falls within no areas of national designation.

3.0 Methodology

- 3.1.1 In conjunction with the landscape survey and assessment of the study area, a detailed visual survey has been undertaken in order to assess any potential visual impact of the development. In order to evaluate what the visual impact of the development will be and what can be done to ameliorate the impact, it is necessary to describe the existing situation to describe a basis against which any change can be assessed.
- 3.1.2 As a matter of best practice the assessment has been undertaken in accordance with the advisory guidelines set out in the document - “Guidelines for Landscape & Visual Impact Assessment – Third Edition”, published by The Landscape Institute and Institute of Environmental Assessment (2013).
- 3.1.3 The landscape assessment includes a baseline study that describes, and evaluates the existing landscape and visual resources, focusing on their sensitivity and ability to accommodate change.
- 3.1.4 The prime objective is to minimise the potential impact of the development by minimising the potential for visual impact wherever possible.
- 3.1.5 Information regarding the site and surroundings was gathered from Ordnance Survey maps, aerial photographs and on-site observations.
- 3.1.6 In order to assist in the assessment of the potential visual effects of any development, a computer-generated Zone of Theoretical Visibility (ZTV) has been modelled. The computer ZTV is used as a working tool to inform the assessment team of the extent of the zone within which the proposed development may have an influence or effect on landscape character and visual amenity and the areas within which the study area together with site survey work should be concentrated. It should be noted that this is a topographical information based exercise with no account being taken of the potential effects of vegetation or buildings on views.
- 3.1.7 Landscape has two separate but closely related aspects; firstly is the impact on the character of the landscape which includes responses that are felt toward the combined effect of the development. The significance of this will depend partly on the number of people affected and also on the judgements about how much the changes will matter in relation to the human senses of those concerned. Secondly, visual impact, in contrast to landscape character, is perhaps less prone to being subjective. Visual impact may occur by means of intrusion and/or obstruction, where visual intrusion is impact on the view without blocking it and visual obstruction is impact on a view that would be hidden by the development.

Table 1: Landscape Quality (or Condition)

Landscape Quality (or Condition)	Typical Indicators
Very High	All landscape elements remain intact and in good repair. Buildings are in local vernacular and materials. No detracting elements are evident
High	Most landscape elements remain intact and in good repair. Most buildings are in local vernacular and materials. Few detracting elements are evident
Medium	Some landscape elements remain intact and in good repair. Some buildings are in local vernacular and materials and some detracting elements are evident
Low	Few landscape elements remain intact and in good repair. Few buildings are in local vernacular and materials. Many detracting or incongruous elements are evident
Very Low	No landscape elements remain intact and in good repair. Buildings are not in local vernacular and materials. Detracting or incongruous elements are much in evidence

Table 2: Landscape Value

Landscape Value	Typical Indicators
Very High	Areas comprising a clear composition of valued landscape components in robust form and health, free of disruptive visual detractors and with a strong sense of place. Areas containing a strong, balanced structure with distinct features worthy of conservation. Such areas would generally be internationally or nationally recognised designations, such as Areas of Outstanding Natural Beauty (AONB).
High	Areas primarily containing valued landscape components combined in an aesthetically pleasing composition and lacking prominent disruptive visual detractors. Areas containing a strong structure with noteworthy features or elements, exhibiting a sense of place. Such areas would generally be national statutorily designated areas. Such areas may also relate to the setting of internationally or nationally statutory designated areas, such as AONB.
Medium	Areas primarily of valued landscape components combined in an aesthetically pleasing composition with low levels of disruptive visual detractors, exhibiting a recognisable landscape structure. Such areas would generally be non-statutory locally designated areas such as Areas of Great Landscape Value.
Low	Areas containing some features of landscape value but lacking a coherent and aesthetically pleasing composition with frequent detracting visual elements, exhibiting a distinguishable structure often concealed by mixed land uses or development. Such areas would be commonplace at the local level and would generally be undesignated, offering scope for improvement.
Very Low	Areas lacking valued landscape components or comprising degraded, disturbed or derelict features, lacking any aesthetically pleasing composition with a dominance of visually detracting elements, exhibiting mixed land uses which conceal the baseline structure. Such areas would generally be restricted to the local level and identified as requiring recovery.

Table 3: Character Sensitivity

Character Sensitivity	Typical Indicators
Very High	<p>Landscape elements: Important elements of the landscape susceptible to change and of high quality and condition.</p> <p>Scale and Enclosure: Small-scale landform/land cover/ development, human scale indicators, fine grained, enclosed with narrow views, sheltered.</p> <p>Manmade influence: Absence of manmade elements, traditional or historic settlements, natural features and 'natural' forms of amenity parkland, perceived as natural 'wild land' lacking in man-made features, land use elements and detractors</p> <p>Remoteness and Tranquillity: Sense of peace, isolation or wildness, remote and empty, no evident movement.</p>
High	<p>Where, on the whole, indicators do not meet the Very High criteria but exceed those for Medium</p>
Medium	<p>Landscape elements: Important elements of the landscape of moderate susceptibility to change and of medium quality and condition.</p> <p>Scale and Enclosure: Medium-scale landform/land cover/ development, textured, semi-enclosed with middle distance views.</p> <p>Manmade influence: Some presence of man-made elements, which may be partially out of scale with the landscape and be of only partially consistent with vernacular styles.</p> <p>Remoteness and Tranquillity: some noise, evident, but not dominant human activity and development, noticeable movement.</p>
Low	<p>Where, on the whole, indicators do not meet the Medium criteria but exceed those for Very Low.</p>
Very Low	<p>Landscape elements: Important elements of the landscape insusceptible to change and of low quality and condition.</p> <p>Scale and Enclosure: Large-scale landform/land cover/ development, Featureless, coarse grained, open with broad views.</p> <p>Manmade influence: Frequent presence of utility, infrastructure or industrial elements, contemporary structures e.g. masts, pylons, cranes, silos, industrial sheds with vertical emphasis, functional man-made land-use patterns and engineered aspects.</p> <p>Remoteness and Tranquillity: Busy and noisy, human activity and development, prominent movement.</p>

Table 4: Landscape Visual Sensitivity

Landscape Visual Sensitivity	Typical Indicators
Very High	Visual interruption: Flat or gently undulating topography, few if any vegetative or built features. Nature of views: Densely populated, dispersed pattern of small settlements, outward looking settlement, landscape focused recreation routes and/or visitor facilities, distinctive settings, gateways or public viewpoints.
High	Where, on the whole, indicators do not meet the Very High criteria but exceed those for Medium.
Medium	Visual interruption: Undulating or gently rolling topography, some vegetative and built features. Nature of views: Moderate density of population, settlements of moderate size with some views outwards, routes with some degree of focus on the landscape.
Low	Where, on the whole, indicators do not meet the Medium criteria but exceed those for Very Low.
Very Low	Visual interruption: Rolling topography, frequent vegetative or built features. Nature of views: Unpopulated or sparsely populated, concentrated pattern of large settlements, introspective settlement, inaccessible, indistinctive or industrial settings.

Table 5: Definition of Magnitude of Landscape Impacts

Magnitude	Description
Large	Total loss of or major alteration to key valued elements, features, and characteristics of the baseline or introduction of elements considered being prominent and totally uncharacteristic when set within the attributes of the receiving landscape. Would be at a considerable variance with the landform, scale and pattern of the landscape. Would cause a high quality landscape to be permanently changed and its quality diminished.
Medium	Partial loss of or alteration to one or more key elements, features, characteristics of the baseline or introduction of elements that may be prominent but may not be considered to be substantially uncharacteristic when set within the attributes of the receiving landscape. Would be out of scale with the landscape, and at odds with the local pattern and landform. Will leave an adverse impact on a landscape of recognised quality.
Small	Minor loss or alteration to one or more key elements, features, characteristics of the baseline or introduction of elements that may be prominent but may not be uncharacteristic when set within the attributes of the receiving landscape. May not quite fit into the landform and scale of the landscape. Affect an area of recognised landscape character
Negligible	Very minor loss or alteration to one or more key elements, features, and characteristics of the baseline or introduction of elements that are not uncharacteristic when set within the attributes of the receiving landscape. Maintain existing landscape quality, and maybe slightly at odds to the scale, landform and pattern of the landscape.

3.1.8 Effects towards the top end of the scale of effect are indicated by shading in the following table.

Table 6: Significance of Landscape Effects

Magnitude	Sensitivity				
	Very High	High	Medium	Low	Very Low
Large	Major	Major	Major/ moderate	Moderate	Moderate/ minor
Medium	Major	Major/ moderate	Moderate	Moderate/ minor	Minor/ negligible
Small	Moderate	Moderate/ minor	Minor	Negligible	Negligible
Negligible	Minor/ moderate	Minor	Minor/ negligible	Negligible	Negligible

3.1.9 The prediction and extent of effect cannot always be absolute. It is for each assessment to determine the assessment criteria and the significance thresholds, using informed and well-reasoned professional judgement supported by thorough justification for their selection, and explanation as to how the conclusions about significance for each effect assessed have been derived, as noted in GLVIA 3rd edition para 2.23-2.26 and 3.32-36.

3.1.10 In order to determine the magnitude of impact for any critical viewpoints of the subject site, whether in the immediate locality or further afield, the assessment of visual impact takes into account the;

- Sensitivity of the views and viewers (visual receptor) affected;
- Extent of the proposed development that will be visible;
- Degree of visual intrusion or obstruction that will occur;
- Distance of the view;
- Change in character or quality of the view compared to the existing.

3.1.11 The locations from which the proposed development will be visible are known as 'visual receptors'. For the purposes of a visual assessment the visual receptors would be graded according to their sensitivity to change.

Table 7: Visual Receptor Sensitivity

Receptor Sensitivity	Description
High	Occupiers of residential properties. Users of outdoor recreational facilities, including public rights of way, whose attention or interest may be focused on the landscape Communities where the development results in changes in the landscape setting or valued views enjoyed by the community.
Medium	People travelling through or past the affected landscape in cars, on trains or other transport routes where higher speeds are involved and views sporadic and short-lived. People engaged in outdoor recreation where enjoyment of the landscape is incidental rather than the main interest.
Low	People at their place of work, Industrial facilities.

Table 8: Definition of Magnitude of Visual Impact

Magnitude	Description
Very Large	<p>The development would result in a dramatic change in the existing view and/or would cause a dramatic change in the quality and/or character of the view. The development would appear large scale and/or form the dominant elements within the overall view and/or may be in full view the observer or receptor.</p> <p>Commanding, controlling the view.</p>
Large	<p>The development would result in a prominent change in the existing view and/or would cause a prominent change in the quality and /or character of the view. The development would form prominent elements within the overall view and/or may be easily noticed by the observer or receptor.</p> <p>Standing out, striking, sharp, unmistakable, easily seen.</p>
Medium	<p>The development would result in a noticeable change in the existing view and/or would cause a noticeable change in the quality and/or character of the view. The development would form a conspicuous element within the overall view and/or may be readily noticed by the observer or receptor.</p> <p>Noticeable, distinct, catching the eye or attention, clearly visible, well defined.</p>
Small	<p>The development would result in a perceptible change in the existing view, and/or without affecting the overall quality and/or character of the view. The development would form an apparent small element in the wider landscape that may be missed by the observer or receptor.</p> <p>Visible, evident, obvious.</p>
Very Small	<p>The development would result in a barely perceptible change in the existing view, and/or without affecting the overall quality and/or would form an inconspicuous minor element in the wider landscape that may be missed by the observer or receptor.</p> <p>Lacking sharpness of definition, not obvious, indistinct, not clear, obscure, blurred, indefinite.</p>
Negligible	<p>Only a small part of the development would be discernible and/or it is at such a distance that no change to the existing view can be appreciated.</p> <p>Weak, not legible, near limit of acuity of human eye.</p>

Table 9: Significance of Visual Effects

Magnitude	Sensitivity		
	High	Medium	Low
Very large	Major	Major	Major/moderate
Large	Major	Major/moderate	Moderate
Medium	Major/moderate	Moderate	Moderate/minor
Small	Moderate	Moderate/minor	Minor
Very Small	Minor	Minor	Negligible
Negligible	Negligible	Negligible	Negligible

(Shaded areas show higher level effects)

4.0 Landscape Baseline

Landscape Baseline

- 4.1.1 The overall landscape character of the site and its surroundings can be determined as the result of the relationship between landform, land cover, landscape elements and climate.
- 4.1.2 An Approach to Landscape Character Assessment which was published by Natural England in 2014 offers five key principles of Landscape Assessment at paragraph 1.4. These are given as:
- Landscape is everywhere and all landscape and seascape has character;
 - Landscape occurs at all scales and the process of Landscape Character Assessment can be undertaken at any scale;
 - The process of Landscape Character Assessment should involve an understanding of how the landscape is perceived and experienced by people;
 - A Landscape Character Assessment can provide a landscape evidence base to inform a range of decisions and applications;
 - A Landscape Character Assessment can provide an integrating spatial framework – a multitude of variables come together to give us our distinctive landscapes.
- 4.1.3 The site falls within national character area (NCA) 107 – Cotswolds; as defined by Natural England in their nationwide assessment.
- 4.1.4 The key characteristics of the NCA are defined as (points of relevance to the site and its context are highlighted for clarity):
- Defined by its underlying geology: a dramatic limestone scarp rising above adjacent lowlands with steep combes, and outliers illustrating the slow erosion of escarpments. The limestone geology has formed the scarp and dip slope of the landscape, which in turn has influenced drainage, soils, vegetation, land use and settlement.
 - Open and expansive scarp and high wold dipping gently to the south-east, dissected by river valleys.
 - Arable farming dominates the high wold and dip slope while permanent pasture prevails on the steep slopes of the scarp and river valleys with pockets of internationally important limestone grassland.
 - Drystone walls define the pattern of fields of the high wold and dip slope. On the deeper soils and river valleys, hedgerows form the main field boundaries.
 - Ancient beech hangers line stretches of the upper slopes of the scarp, while oak/ash woodlands are characteristic of the river valleys. Regular blocks of coniferous and mixed plantations are scattered across the open high wold and dip slope.
 - Large areas of common land, important for unimproved calcareous grassland, are characteristic of the scarp and high wold around the Stroud valleys and along the crest of the scarp to Cleeve Hill.

- The majority of the principal rivers flow south-eastwards forming the headwaters of the Thames with the exception of rivers in the west which flow into the River Avon and then the Severn Estuary.
- Rich history from Neolithic barrows, iron-age hill forts and Roman roads and villas to deserted medieval villages, grand country houses, cloth mills and Second World War airfields. The field patterns largely reflect both the medieval open field system, with fossilised areas of ridge and furrow, and later planned enclosures.
- Locally quarried limestone brings a harmony to the built environment of scattered villages and drystone walls, giving the area a strong sense of unity for which the Cotswolds are renowned. Bath stone is also famous and has been used for building since Roman times, both locally in the principal buildings and streets of Bath and more widely, for example for Buckingham Palace in London. Parkland, gardens and historic designed landscapes are features particularly of the dip slope and broad lowland, such as Lawrence Johnston's garden at Hidcote, and Heather Muir's garden at Kiftsgate, parkland at Stanway, Chastleton and Blenheim Palace.
- Prominent natural and built features in the landscape include the City of Bath WHS, Brailes Hill, Broadway Tower, Cleeve Hill, the Tyndale monument, Freezing Hill, Kelston Round Hill and Blenheim Palace WHS.

4.1.5 The national character area covers a relatively wide and diverse area. The site and its context exhibit very few or none of the key characteristics of the NCA. This limited connection is to be expected due to the relatively large scale of the character area.

Sub-Regional Character

4.1.6 The Oxfordshire Wildlife & Landscape Study has been produced to provide detailed information about character at the sub-regional level.

4.1.7 The site falls within but close to the boundary of landscape character type (LCT) Wooded Estatelands. The key characteristics of the LCT are defined as (points of relevance to the site and its context are highlighted for clarity):

- Rolling topography with localised steep slopes.
- Large blocks of ancient woodland and mixed plantations of variable sizes.
- Large parklands and mansion houses.
- A regularly shaped field pattern dominated by arable fields.
- Small villages with strong vernacular character.

4.1.8 The site and its context exhibit very few or none of the key characteristics of the LCT.

Landscape Sensitivity

4.1.9 The site currently forms part of fields in agricultural use that sits to the west of the existing residential dwellings that are accessed from Oxford Close and Lince Lane (A4095) that sit to the east. A farm complex that is formed by large scale buildings and residential dwelling that sits to the west of the site at Corner Farm. Beyond that sits the Kirtlington Golf Course. Within the site the land is currently pastoral grassland that is defined by a combination of fencing and

hedgerows with intermittent trees. The site is relatively flat. The site falls within no areas of national designation.

4.1.10 Road noise can be heard within the site from the nearby Lince Lane (A4095) and existing adjacent residential development that sits to the east of the site has some limited visual interconnectivity with the site.

4.1.11 The area contains some features of landscape value but lacks a coherent composition. The landscape elements within the area are commonplace at the local level. There is frequent presence of manmade elements and road noise and human activity is noticeable. Frequent vegetative and built features create enclosure.

4.1.12 The susceptibility is considered to be medium and the value is also considered to be medium. The overall sensitivity of the landscape is considered to be medium.

4.1.13 The proposal would be consistent with the current landscape character of the site and its surrounding context. At a residual stage, the proposal would further integrate with its setting.

5.0 Visual Baseline

Limits to study Area

- 5.1.1 The limits to the study area have been determined by the visual envelope of the development site. This area has been adopted as the main study area, as it surrounds the site and may be considered likely to be most impacted by physical change.
- 5.1.2 In order to assist in the assessment of the potential visual effects of any development, a computer-generated Zone of Theoretical Visibility (ZTV) has been modelled. The computer ZTV is used as a working tool to inform the assessment team of the extent of the zone within which the proposed development may have an influence or effect on landscape character and visual amenity and the areas within which the study area together with site survey work should be concentrated. It should be noted that this is a topographical information based exercise with no account being taken of the potential effects of vegetation or buildings acting as a visual barrier. The ZTV is shown in Figure 3: Zone of Theoretical Visibility.
- 5.1.3 The initial study area was set to a radius of approximately 2.5km from the centre of the site (N51°52'17, W01°16'45) on the basis that at this distance, this form of development, when seen by the human eye, would be hardly discernible or not legible.
- 5.1.4 Viewpoints have been detailed in table 10: Viewpoint Details which outlines location and rationale for selection.

Table 10: Viewpoint Details

No	Location	Distance (km) and direction of view	Northing	Westing	Sensitivity of Visual Receptor
1	Lince Lane (A4095)	0.06, N	51°52'11	01°16'47	Medium – Road users
2	PRoW 270/10/30	0.0, N	51°52'14	01°16'45	High – Users of PRoW
3	PRoW 270/10/30	0.07, SW	51°52'21	01°16'40	High – Users of PRoW
4	Mill Lane bridleway 270/11/70	0.35, S	51°52'30	01°16'43	High – Users of bridleway
5	Mill Lane bridleway 270/11/70	0.35, SE	51°52'30	01°16'51	High – Users of bridleway

Views to the site

- 5.1.5 It is clear that, despite the study area being potentially visible from a wide variety of locations, at varying distances and from a limited number of private and public areas, that the visual envelope is actually quite limited.
- 5.1.6 The visibility of the site is dependent on a range of factors, including location of viewpoint, distance of view, the angle of the sun, time of year and climatic conditions. Of equal importance will be whether the site is seen completely or in part of the skyline, where land provides a backcloth and where there is a complex foreground or an expansive landscape surrounding the view. The aspect of dwellings and whether it is a main view or one from a secondary window less frequently used is also a consideration.
- 5.1.7 A photographic study of the site has been undertaken. The viewpoints are at varying distances from the site and have been selected to represent potential views seen by the most sensitive receptors from around the site.
- 5.1.8 The site visit has been undertaken during months when vegetation has lost its foliage and is acting as less dense visual barriers. In months when vegetation retains its foliage, it will act as denser visual barriers.
- 5.1.9 The sensitivity of most of the local receptors is assessed as either high or medium as shown in table 7: Visual Receptor Sensitivity.
- 5.1.10 For the field assessment, a Canon EOS 500D camera with an 18-55mm lens was used, set at 35mm focal length. This is in line with best practice as shown in the Visual Representation of Development Proposals technical guidance note issued by the Landscape Institute (Technical Guidance Note 06/19).
- 5.1.11 The site was visited on the 20th of February 2023; the weather was bright and clear.

Viewpoint 1: View from Lince Lane (A4095)



Vp1	Panoramic View <i>(Distance 0.06km looking north)</i>	
Baseline Description	This is a view from Lince Lane (A4095) looking north towards the proposed site. Lince Lane is relatively busy and related road noise and movement is clearly noticeable in the local area. The road is bound to the west and east by a hedgerow with intermittent trees set on a grass verge. Some sections of fencing close by the entrance to the farm that sits to the west of the site can also be seen that allow some views of a field in agricultural use that is enclosed by a hedgerow with trees to the north. The existing residential dwellings that sit the east of the site are visible along with road signs and telegraph poles that form manmade elements with a vertical emphasis on the view.	
Predicted change	From this viewpoint, the access to the site will be noticeable adjacent to the dwellings that sit to the east. The change will be seen in the context of the existing residential dwellings that sit adjacent and will extend development to the west into the field.	
Type of effect	The introduction of the proposed building would be comparable to the type of residential dwellings that sit adjacent to the site.	
Magnitude of Change	The development would result in a noticeable change in the view that would be clearly visible to an observer.	
Assessment	Sensitivity Magnitude	Medium – Road users Medium
<i>Significance of Effect</i>		<i>Moderate</i>

Viewpoint 2: View from PRow 270/10/30



Vp2	Panoramic View	<i>(Distance 0.0km looking north)</i>
Baseline Description	This is a view from PRow 270/10/30 looking north within the proposed site. The site is currently formed by part of the field that sits in the foreground. The rear curtilages of dwellings that are situated along Oxford Close and Lince Lane are visible to the east of the site boundary formed by a combination of low fencing and ornamental species vegetation. To the west, the existing large scale agricultural buildings can be seen that form part of the farm complex. Views are enclosed to the north by a hedgerow with intermittent trees. Lince Lane is relatively busy and related road noise and movement is clearly noticeable in the local area.	
Predicted change	From this viewpoint, the proposals will be noticeable within the site set adjacent to the residential dwellings that sit to the east. The change will be seen in the context of the surrounding built form that sits to the west and east. The location is influenced by the vehicular noise and movement that reduces the sense of tranquillity one may otherwise feel.	
Type of effect	The introduction of the proposed building would be comparable to the type of residential dwellings that sit adjacent to the site.	
Magnitude of Change	The development would result in a noticeable change in the view that would be clearly visible to an observer.	
Assessment	Sensitivity	High – Users of PRow
	Magnitude	Medium
<i>Significance of Effect</i>		<i>Major/moderate</i>

Viewpoint 3: View from PRow 270/10/30



Vp3	Panoramic View	<i>(Distance 0.07km looking south west)</i>
Baseline Description	This is a view from PRow 270/10/30 looking south west towards the proposed site. The site sits within the field that extends to the south. The rear curtilages of dwellings that are situated along Oxford Lane are visible to the east of the site boundary formed by a combination of low fencing and ornamental species vegetation. To the west, the existing farm complex can be seen set within the same field as the site. Views are enclosed to the south by a hedgerow with intermittent trees. Telegraph poles follow the rear of the dwellings forming manmade elements with a vertical emphasis on the view.	
Predicted change	From this viewpoint, the proposals will be noticeable in the view set adjacent to the residential dwellings that sit to the east. The change will be seen in the context of the surrounding built form that sits to the west and east.	
Type of effect	The introduction of the proposed building would be comparable to the type of residential dwellings that sit adjacent to the site.	
Magnitude of Change	The development would result in a noticeable change in the view that would be clearly visible to an observer.	
Assessment	Sensitivity	High – Users of PRow
	Magnitude	Medium
<i>Significance of Effect</i>		<i>Major/moderate</i>

Viewpoint 4: View from Mill Lane (bridleway 270/11/70)



Vp4	Panoramic View <i>(Distance 0.35km looking south)</i>	
Baseline Description	This is a view from Mill Lane (bridleway 270/11/70) looking south towards the proposed site through a gap in the hedgerow that follows Mill Lane. Fields in agricultural use can be seen enclosed by a combination of post and wire fencing and hedgerows with intermittent trees. The rear curtilages of dwellings situated at Woodbank can be seen to the west formed by low level vegetation. The existing dwellings that sit to the west of the site and the farm complex that sits to the west can be partly seen with views filtered by the hedgerow that sits in the intervening landscape. Telegraph poles cross the landscape and form manmade elements with a vertical emphasis on the view.	
Predicted change	From this viewpoint, the proposals will be barely perceptible due to the intervening vegetation forming a filter to views. The change will be seen in the context of the surrounding built form that sits to the west and east.	
Type of effect	The introduction of the proposed building would be comparable to the type of residential dwellings that sit adjacent to the site.	
Magnitude of Change	The development would result in a barely perceptible change in the view that would not be obvious to an observer.	
Assessment	Sensitivity	High – Users of bridleway
	Magnitude	Very small
<i>Significance of Effect</i>		<i>Minor</i>

Viewpoint 5: View from Mill Lane (bridleway 270/11/70)



Vp5	Panoramic View	<i>(Distance 0.35km looking south east)</i>
Baseline Description	This is a view from Mill Lane (bridleway 270/11/70) looking south east towards the proposed site through a gap in the hedgerow that follows Mill Lane. Fields in agricultural use can be seen enclosed by a combination of post and wire fencing and hedgerows with intermittent trees. The existing dwellings that sit to the west of the site and the farm complex that sits to the west can be partly seen with views filtered by the hedgerow that sits in the intervening landscape. Telegraph poles cross the landscape and form manmade elements with a vertical emphasis on the view.	
Predicted change	From this viewpoint, the proposals will be barely perceptible due to the intervening vegetation forming a filter to views. The change will be seen in the context of the surrounding built form that sits to the west and east.	
Type of effect	The introduction of the proposed building would be comparable to the type of residential dwellings that sit adjacent to the site.	
Magnitude of Change	The development would result in a barely perceptible change in the view that would not be obvious to an observer.	
Assessment	Sensitivity	High – Users of bridleway
	Magnitude	Very small
<i>Significance of Effect</i>		<i>Minor</i>

6.0 Characteristics of Proposal

- 6.1.1 The proposed development is for fifteen residential dwellings and associated landscaping with access route from Lince Lane.
- 6.1.2 The construction of building elements, together with associated traffic, parking, lighting and security fencing can temporarily but substantially change the landscape character of an area and impact upon its existing visual and/or recreational amenity.
- 6.1.3 In order to minimise potential impacts, together with the optimum benefit for landscape character and visual amenity the proposals should provide environmental enhancement and make a positive contribution to the landscape, not only of the development itself, but to its wider setting. This should include visual barriers as close to the viewer as possible. Its principal objectives are to:
- Minimise views from residential areas
 - Assist visual integration of the development
 - Provide an internal site landscape structure and enhance internal road corridors
 - Reinforce the opportunity to maintain wildlife corridors at the site boundaries.
- 6.1.4 The initial construction phase will give rise to temporary, short term impacts. Any modifications or extensions that occur from time to time in the future will also give rise to this short term construction impact.
- 6.1.5 The site and its context has an overall weighted medium landscape sensitivity. This conclusion was reached in line with the definitions of landscape impact shown in tables 1 to 4 within this document.
- 6.1.6 The scale and nature of the proposal and its juxtaposition to other built form will have an overall weighted landscape impact that could be considered small as they are not uncharacteristic when set within the attributes of the existing landscape. This conclusion was reached in line with the definitions of landscape impact shown in table 5 within this document.
- 6.1.7 The overall weighted level of landscape effect can be considered minor.
- 6.1.8 The visual impact and the significance of the impacts of the development on the open countryside have been assessed as potentially major/moderate from viewpoints 2 and 3 that sit within the same field as the site. The geographic extent of visual change is very limited due to the surrounding vegetation and built form acting as visual barriers. The change is seen in the context of the existing dwellings that sit adjacent to the east and the farm complex to the west.
- 6.1.9 The proposals offer the opportunity to provide a softer transition to the landscape to the west when compared with the existing mixed curtilages formed by the rear gardens that sit to the east of the site.
- 6.1.10 Measures have been recommended to further reduce these impacts and these are located in section 7.0: Enhancement Opportunities.

7.0 Enhancement Opportunities

7.1.1 Opportunities to provide enhancement would include:

- Management of the native tree and hedgerow planting that sits to the east following the site boundary;
- Additional native species planting to the west and north of the site to create a softer connection to the landscape to the west;
- Additional ornamental planting within residential frontages to encourage year round interest and pollinators;
- Built form set back from boundaries to allow growth of boundary vegetation;
- The use of materials for the external envelope of the buildings which minimise potential visual intrusion and follow the local vernacular to aid visual blending.

7.1.2 With suitable measures, the development will have a moderate visual impact and a minor/negligible character impact.

8.0 Conclusion

- 8.1.1 The scale and nature of the development and its juxtaposition to other existing residential development and the receiving suburban fringe will have a medium landscape character sensitivity and the magnitude of change is small; therefore resulting in a level of landscape effect of minor.
- 8.1.2 The visual effects are geographically limited due in most part to the adjacent residential dwellings and mature vegetation intervening between the viewer and site, the topography in the area and the similar setting of the proposed scheme.
- 8.1.3 For the proposed site and the surroundings during construction, an increase of delivery vehicles and people travelling to the works can be expected. These effects will be short lived however and will not require mitigation during the construction process.
- 8.1.4 The viewpoints assessed showed that although the site is at least partly visible from all of the five assessed, only two of the assessed views can be considered subject to substantial change, viewpoints 2 and 3 that sit in the same field as the site. Views of the site will be similar along the length of the PRoW 270/10/30 that follows the east of the site boundary.
- 8.1.5 The proposals offer the opportunity to provide a softer transition to the landscape to the west when compared with the existing mixed curtilages formed by the rear gardens that sit to the east of the site with the planting of parkland style trees within the western extent of the site. This planting will act as a filter to current views.
- 8.1.6 The majority of receptors in the local area can be considered of a high or medium sensitivity (users of publicly accessible routes or road users). The visual impact of the development on the open countryside has been assessed, at worst case scenario, as major/moderate from viewpoints 2 and 3 that sit close to the site. Other viewpoints offer limited views of the site due in most part to mature vegetation acting as visual barriers and the similar receiving context.
- 8.1.7 At a residual stage, the development will have a moderate visual impact and a minor/negligible character impact.

9.0 Appendices

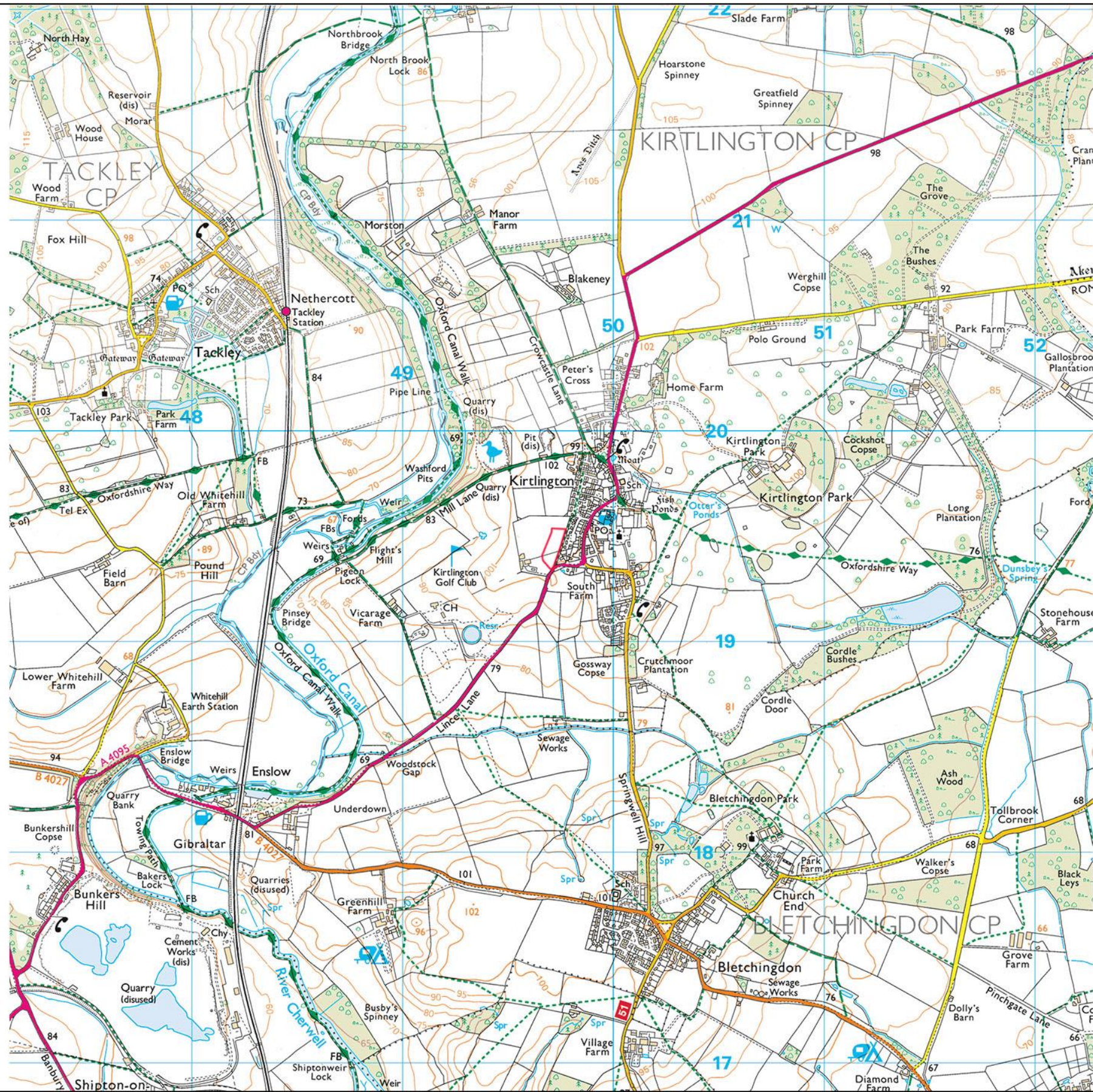
Figure 1: Ordnance Survey Map

Figure 2: Aerial Photograph

Figure 3: Zone of Theoretical Visibility

Figure 4: Viewpoint Location Plan

Figure 5: Designation Plan



LEGEND



Site boundary



For ordnance survey map legend, refer to:
<https://www.ordnancesurvey.co.uk/docs/legends/25k-raster-legend.pdf>

Client: Manorwood Homes

Scheme: Lince Lane, Kirtlington

Drawing: Ordnance Survey Plan

Figure No: 1

LVIA Ltd Ref: MAN1365

Scale: NTS@A3

Drawn: SC

Checked: JPF





LEGEND



Site boundary



Image supplied by Google Maps
<https://maps.google.co.uk/>

Client: Manorwood Homes

Scheme: Lince Lane, Kirtlington

Drawing: Aerial Photograph

Figure No: 2

LVIA Ltd Ref: MAN1365

Scale: NTS@A3

Drawn: SC

Checked: JPF



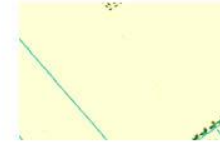


LEGEND



Site boundary

Zone of theoretical visibility



Yellow wash - Potential view



Grey wash - No potential view

NB: Viewshed analysis run with 1.6m viewer height and buildings at a 8m height with mapinfo and represents surface topography, without taking into account potential visual barriers in the form of trees, hedgerows, woodland, buildings and other manmade elements.



Client: Manorwood Homes

Scheme: Lince Lane, Kirtlington

Drawing: Zone of Theoretical Visibility

Figure No: 3

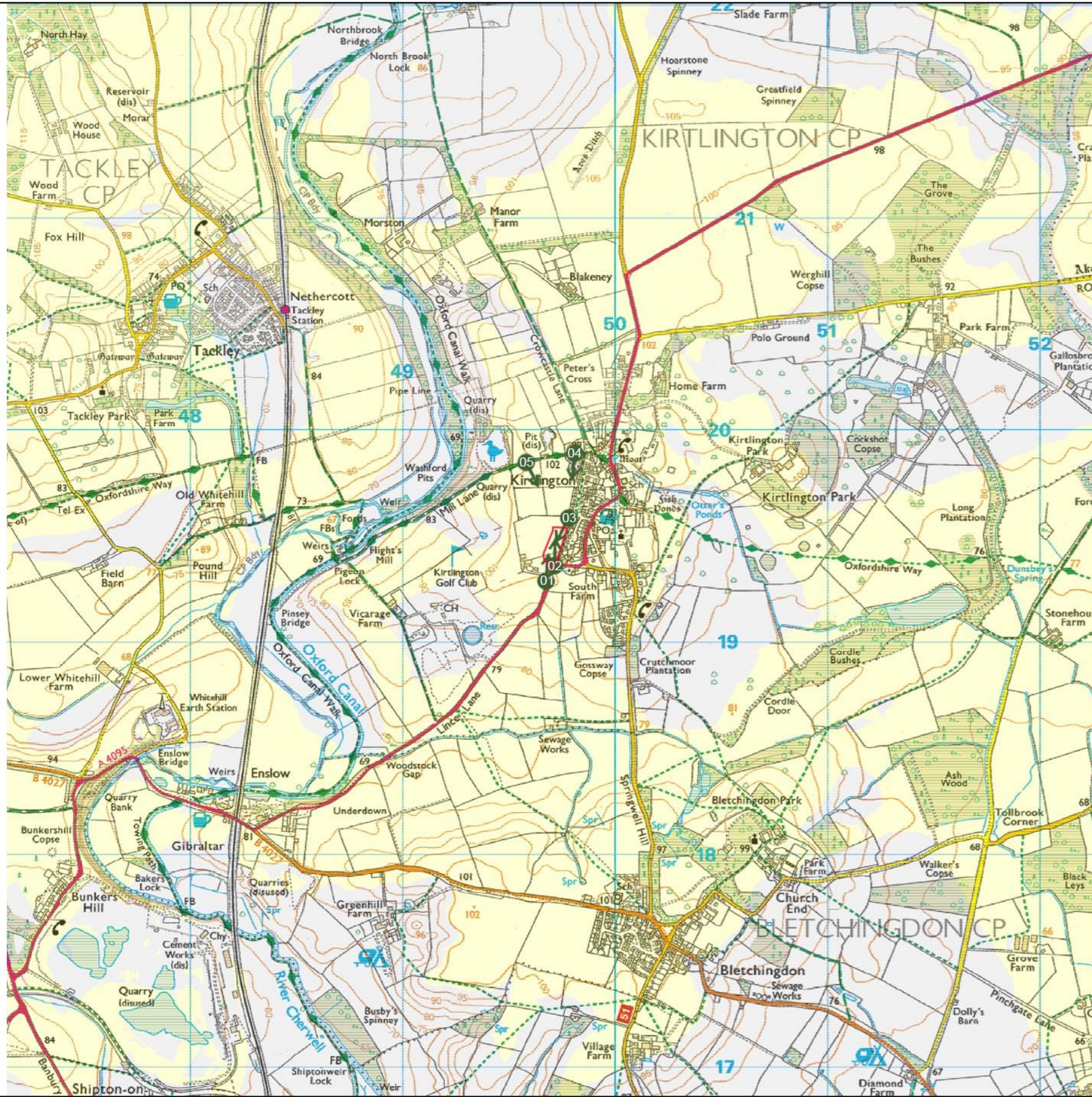
LVIA Ltd Ref: MAN1365

Scale: NTS@A3

Drawn: SC

Checked: JPF





LEGEND



Site boundary



Viewpoint location

Zone of theoretical visibility



Yellow wash - Potential view



Grey wash - No potential view

NB: Viewshed analysis run with 1.6m viewer height and buildings at a 8m height with mapinfo and represents surface topography, without taking into account potential visual barriers in the form of trees, hedgerows, woodland, buildings and other manmade elements.



Client: Manorwood Homes

Scheme: Lince Lane, Kirtlington

Drawing: Viewpoint Location Plan

Figure No: 4

LVIA Ltd Ref: MAN1365

Scale: NTS@A3

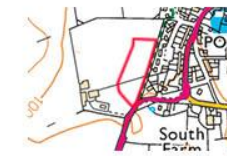
Drawn: SC

Checked: JPF





LEGEND



Site Boundary

-  Sites of Special Scientific Interest (England)
-  Scheduled Monuments (England)
- Listed Buildings (England)**
-  I
-  II
-  II*
-  Registered Parks and Gardens (England)
- Ancient Woodland (England)**
-  Ancient and Semi-Natural Woodland
-  Ancient Replanted Woodland

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Client: Manorwood Homes

Scheme: Lince Lane, Kirtlington

Drawing: Designations Plan

Figure No: 5

LVIA Ltd Ref: MAN1365

Scale: NTS@A3

Drawn: SC

Checked: JPF





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PROJECT MANAGEMENT | EXPERT WITNESS | LANDSCAPE DESIGN & PLANNING
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