

North Arms House, Wroxton – proposed single storey extension to rear & associated internal alterations.



Fig.1 – South Elevation

In support of the application, the following **DESIGN & ACCESS STATEMENT**, is submitted.

Details

WROXTON MILLS LANE SP4040-4140 (East side) 10/242 The North Arms Public House 08/12/55 (Formerly listed as The North Arms Public House and outbuilding) GV II House and cottage now public house. Late C17 with early C19 refacing to left part. Ironstone ashlar and coursed ironstone rubble. Steeply pitched thatched roofs with renewed brick ridge and end stacks. 2-unit plan plus two single-unit parts on right. Main building, 2 storeys plus attic, the rest single storey plus attic. 4-window range altogether. 4 entrances have renewed plank doors with stone flat arches or wood lintels. Main part has 2, imitation wood mullioned and transomed windows on the ground floor and 2 originally 3-light wood mullioned and transomed windows on the first floor, with renewed wood casements. Two roof dormers have 3-light wood casements. Stone coped gable on left with moulded kneeler. Arris on left chamfered up to first floor left. Sundial above doorway. Right part has renewed casements and an imitation stone mullioned and transomed window with chamfered wood lintels. Interior has fireplace with bressumer and chamfered beams. (VCH: Oxfordshire: Vol IX, p171)

Listing NGR: SP4146841782

Fig.2 – Listing Document

This Application follows formal PreApplication (ref.: 22/03508/PREAPP) Advice provided. The description of the respective Areas of the building relate to those adopted in the PreApp

Ground Floor

Area A

A small extension is proposed to the existing single storey section of the house. This is the most modern element, being largely re-built and re-roofed in mid C20, with painted Crittal type window frames. The extension is conceived principally, to allow a slightly more generous opening between the house and the garden that is not provided by the further three single door openings in the south elevation, that must remain unaltered. At its junction with the existing wall, the extension will maintain a distance from the main house gable to respect the arris corner feature and express the original form.

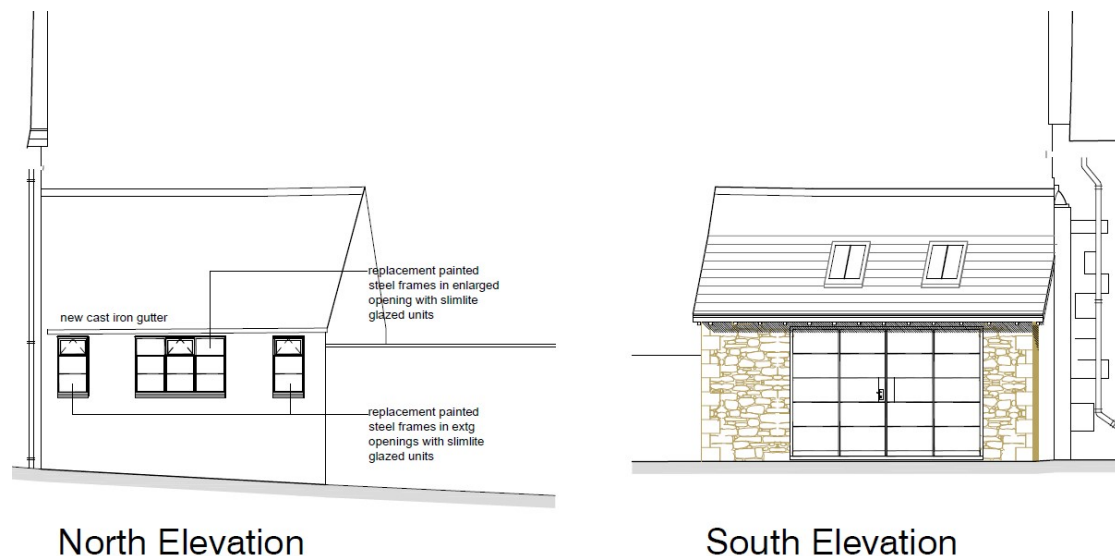


Fig.3 – Extension to existing single storey addition – proposed elevations

The new and replacement windows to both elevations, will all comprise painted Crittal type frames to respect the existing fabric.

New FW drains will be installed under the existing slab, to serve new bathrooms above.

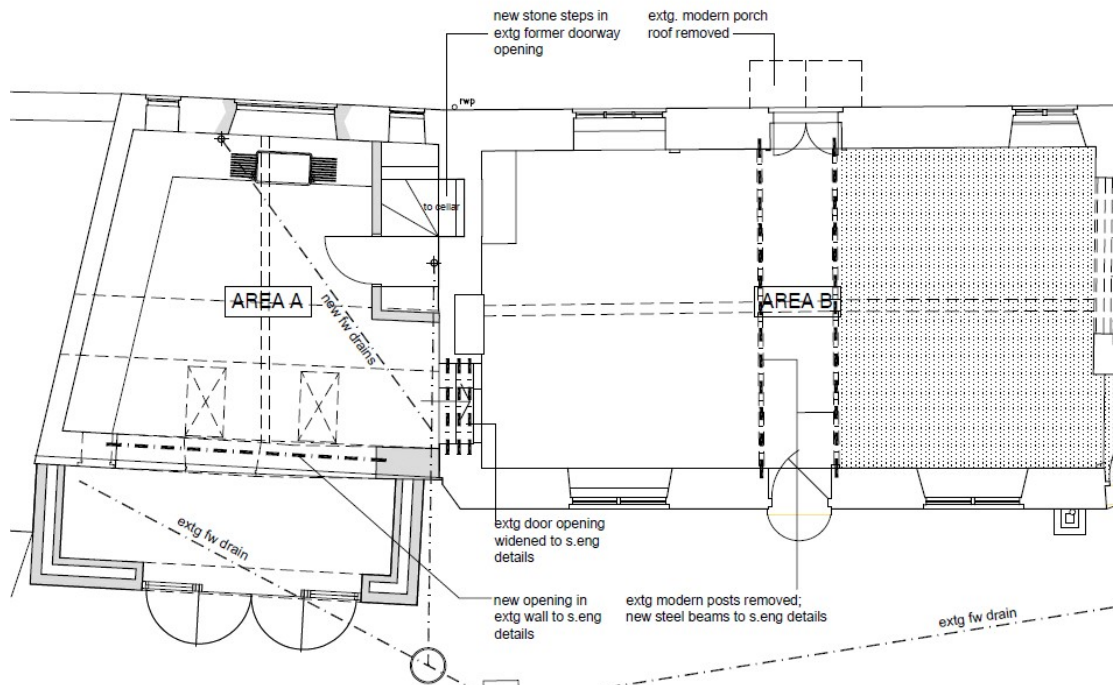


Fig.3 – Area A & B

Area B

Two modern posts currently support the bressummer ceiling beams where former partitions were removed in C20. It is proposed to remove these posts and support the beams with two parallel steel beams encased in plasterboard for fire protection. These beams will indicate the position of the previous partitions.

The existing cellar below the western end of the room, is currently accessed by a hatch in the modern joisted floor. It is proposed to access the cellar with new stone steps, formed within the existing opening in the gable wall leading from Area A. It is proposed to lower the modern concrete basin, by c.150mm to improve headroom.

Area C

This area is suffering from dampness penetrating through the walls. The floor slab and quarry tile finish will be removed and replaced with a new limecrete slab. The walls will be stripped of the modern plaster and replaced with new lime plaster. The specification being selected to deal with the damp issues. A former door opening in the external north wall, will be re-opened and a new stone mullion window frame installed.

The existing building fails to comply with any fire safety regulation for escape from the upper floors. The only staircase to the upper floors is located at the far and opposite end to the staircase between the first and second floor. It is therefore necessary to install a new staircase to the first floor. This has been positioned within a section of the floor that has been replaced in the recent past. Further repairs are required where the ceiling has been removed/collapsed following leaks from the first floor bathroom above. The new stairwell will be formed together with the replacement of the existing defective bressummer beam, supported with a new post replacing two modern prop posts.

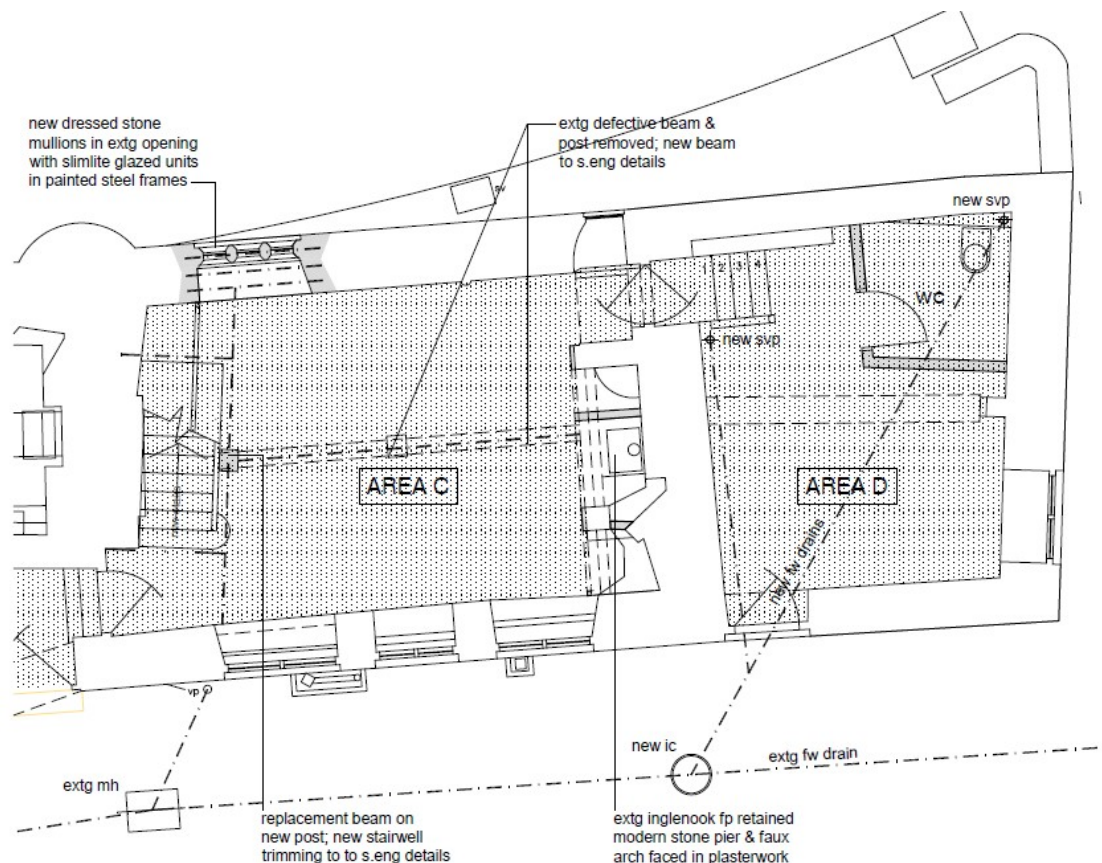


Fig.4 – Area C & D

Area D

The existing modern steps leading from Area C will be replaced with a half flight of stone steps. This area is suffering from dampness penetrating through the walls. The floor slab will be removed and replaced with a new limecrete slab. The walls will be stripped of the modern plaster and replaced with new lime plaster. The specification being selected to deal with the damp issues. New FW drains will be installed under the new slab to serve the new WC and also the bathroom above.

First Floor

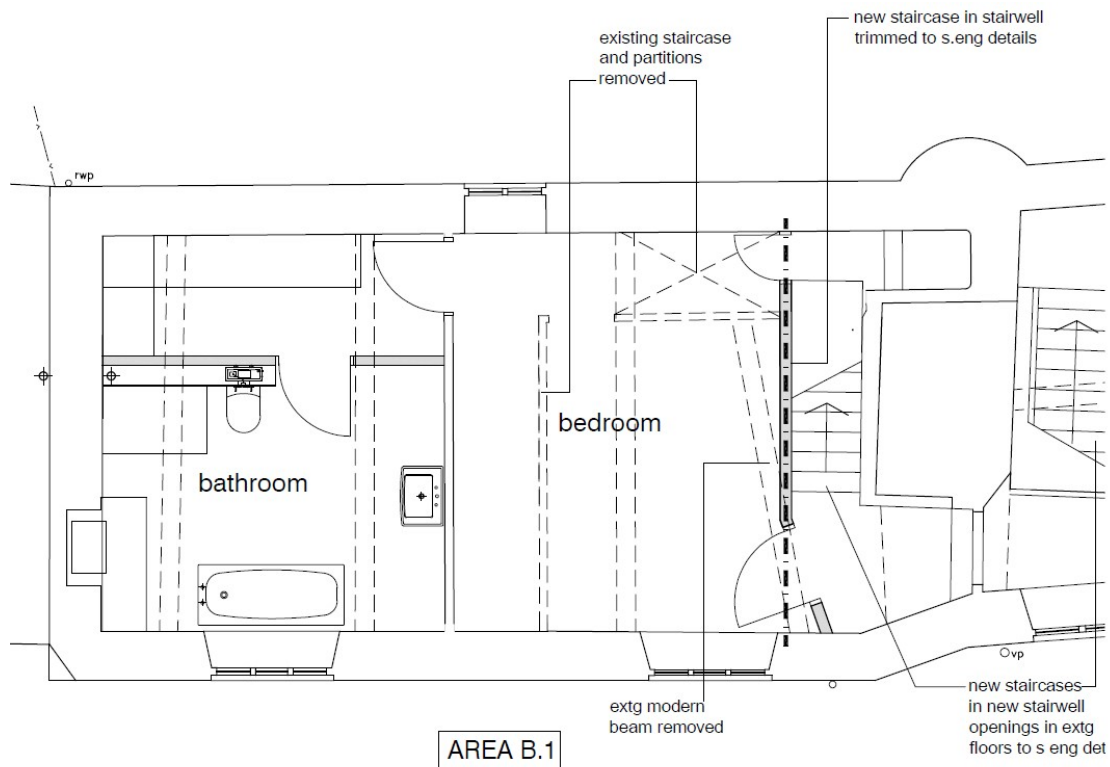


Fig.5 – Area B.1

Area B.1

Advice given within the PreApp Consultation has been adopted, in proposing to install a new building regulation compliant staircase to the second floor. A new stairwell would be formed within the deflected area of ceiling, which is currently supported by an incongruous diagonal beam expediently positioned to avoid existing window heads and stairwell trimmers. This will provide a protected means of escape from the second floor (Area B2) to ground level.

The existing staircase to the second floor is believed itself to be a C19 replacement of an earlier cupboard stair. It would be removed together with sections of the enclosing partitions. The remaining partition will be retained to form the new bathroom here.

Area C.1

It is proposed to remove the C20 partition wall, with borrowed light via top lights, which creates an internal corridor no longer required. The existing earlier stud partition will be retained and reinstated to separate the bedroom from the new landing and stairwell where the modern bathroom will be removed.

A former window opening in the external north wall will be re-opened and a new stone mullion frame installed.

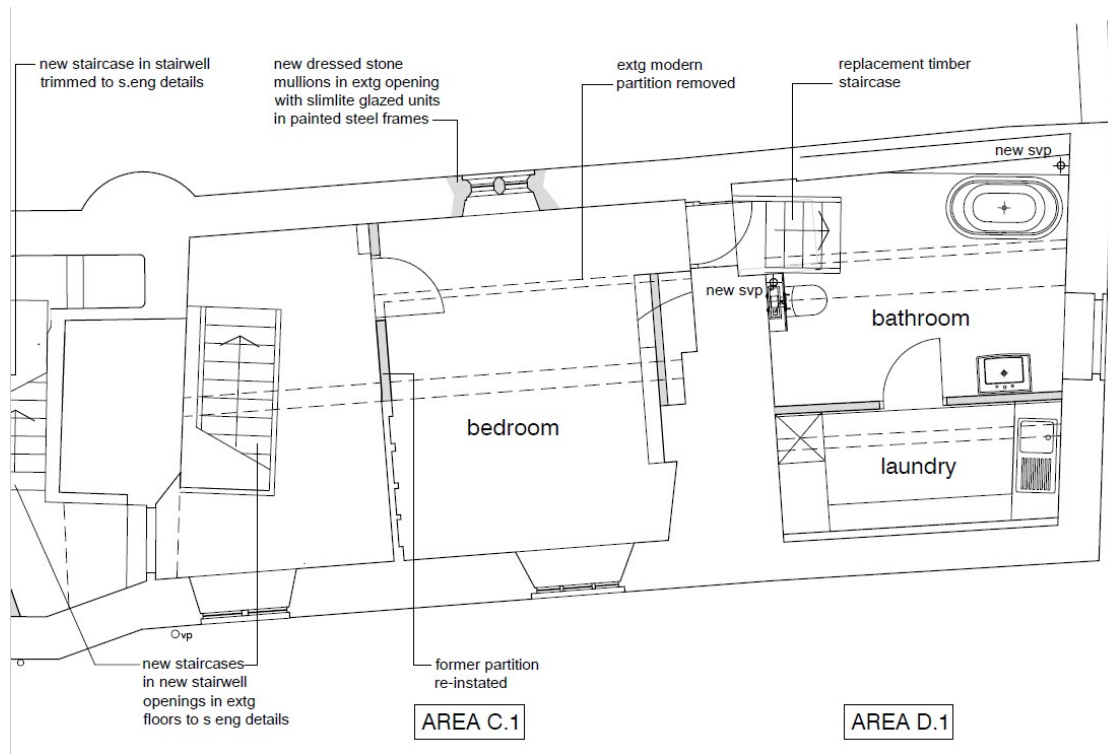


Fig.6 – Area C.1 & D.1

Area D.1

The existing external “door” will be replaced within the existing opening, with a new half glazed door to provide natural light. This wall will be augmented by direct glazing the existing lancet vent opening in the stonework above.

The existing modern steps leading from Area C will be replaced with a new half flight in timber. The walls will be stripped of the modern plaster and replaced with new lime plaster. A new stud partition will form a separate laundry room within the space.

Second Floor

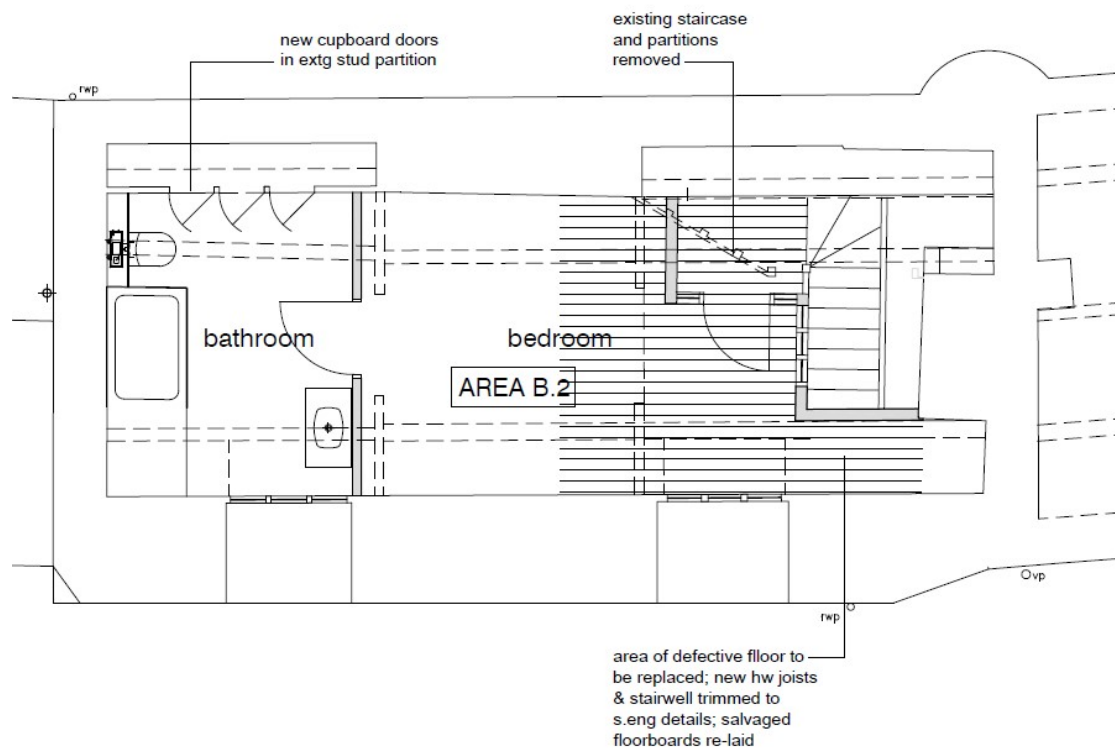


Fig.7 – Area B.2

Area B2

The second floor structure is in poor condition with a significant bow in the centre of the floor caused by the failure of the beam below in Area B1. This will be addressed along with the introduction of a new steel beam trimming the new stairwell opening. The floor will then be levelled by fixing battens to the existing floorboards and providing a new floor boarding. All existing parts of the structure including the floorboards will be retained. New partitioning for the landing and bathroom will be stud walling finished with plasterboard.