

(formerly) The North Arms, Mills Lane, wroxton – restoration of existing barn and part conversion to ancillary guest accommodation

In support of the application, the following **Design Access & Heritage Statement**, is submitted

Heritage Element



Fig.1 – West Elevation

The Listing Document records the North Arms to date from the late C.17. The outbuilding appears to be of a slightly later date:

WROXTON MILLS LANE
SP4040-4140
(East side)
10/243 Outbuilding approx. 5m E of 08/12/55 the North Arms Public House
(Formerly listed as The North Arms Public House and outbuilding)
GV II
Stable now outbuilding. C18. Coursed, squared ironstone with corrugated iron roof. C20 doors with stone lintel. 2-light wood casement to left with wood lintel. Loft door above entrance. Nesting boxes. Interior not inspected. Included for group value.
Listing NGR: SP4149441778

It is apparent that the barn originally had a more steeply pitched roof springing from the existing eaves, the roof being originally thatched. The thatch would appear to have been removed together with the timber cracass and replaced with a corrugated steel sheet roof on a modern sawn timber frame with two intermediate, simple bolted trusses.



Fig.2 – Roof structure

The East Elevation of the outbuilding comprises a retaining wall to the adjacent garden. There is evidence of this wall requiring restraint and stabilisation.

To all elevations, the stonework is of variable quality and condition. There is clear internal evidence of former door and window openings to the north, west and south elevations. The main “barn door” opening has been adulterated by widening and the introduction of steel and concrete lintels. The loft door opening over has lost any remnant of its door or frame.



Fig.3 – Existing opening and floor beams



Fig.4 – South Gable - former window opening



Fig.5 – North gable – former window opening

The presence of an original first floor is evidenced by the joist sockets in the remaining transverse beams. It would appear that the joists were removed later in C.20. The beams have been temporarily supported by strut framing to prevent collapse.

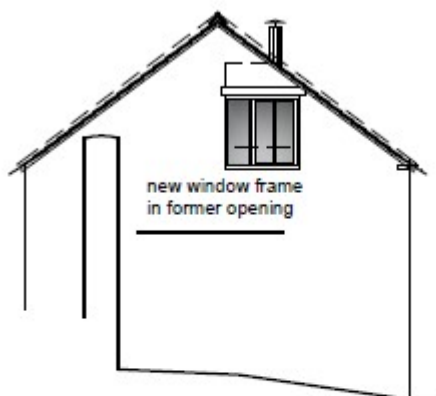
The ground floor is partly brick laid, but mostly C20 concrete

Design Element

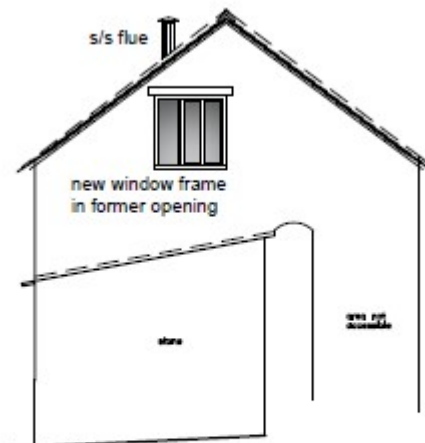


WEST ELEVATION

The proposal is to install a replacement first floor to provide ancillary guest accommodation. This will be accessed by a Part M compliant staircase leading from a ground floor entrance lobby, also providing WC accommodation. The existing small window to the left hand side would be removed and the former door opening re-opened and a half glazed stable door & frame installed.



NORTH ELEVATION



SOUTH ELEVATION

Former high level openings to both gable ends will be re-opened and new painted softwood frame windows installed.

The existing ground floor “barn door” opening is retained; the loft door opening over widened to align with the jambs of the existing door opening below.

The proposal is to carcass a new natural slate covered roof. The new rafters would be supported on a steel ridge beam and timber purlins spanning intermediate load bearing stud walls on new transverse beams. The existing floor beams will be relieved but potentially retained within the new floor zone. Within this floor zone a steel bracing structure will be concealed. This will be of great benefit in the preservation and restoration of the historic fabric.