

DARLING ASSOCIATES  
ARCHITECTS

Materials and Finishes

## PLANNING CONDITION 03

Site 3 - JDE

Ruscote Avenue, Banbury

Planning Permission Nr.: 21/04171/F

September 2022

Revision A



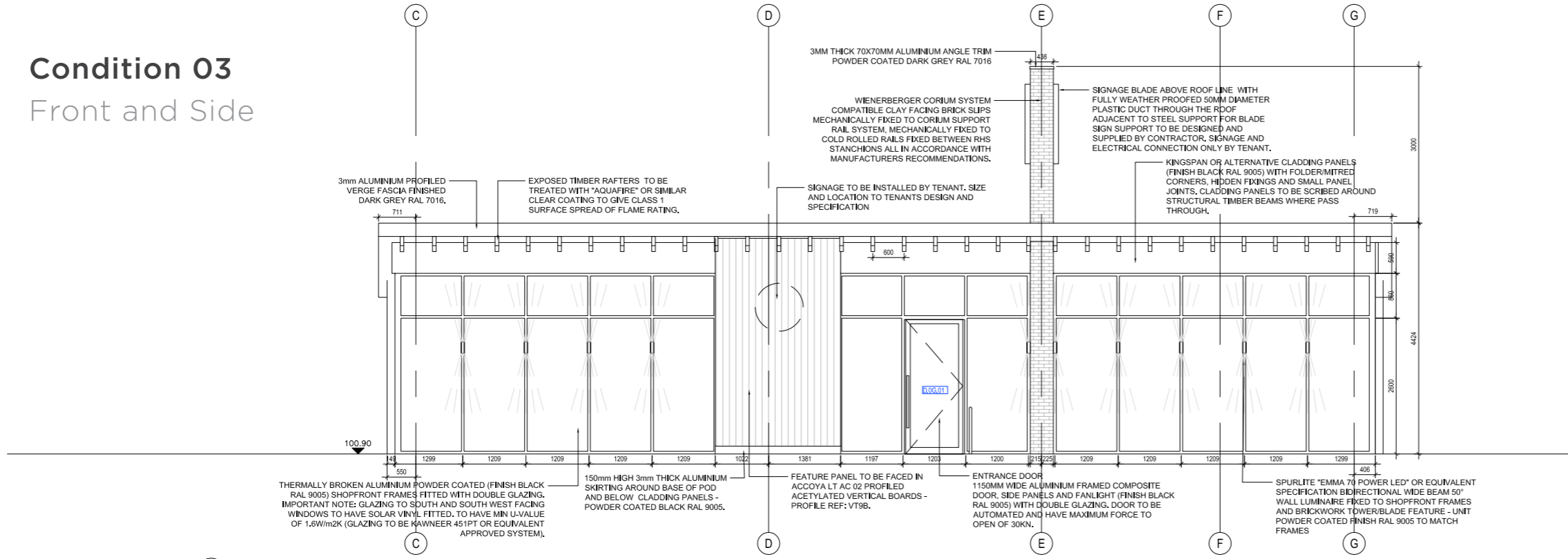
## Condition 03

### Overview

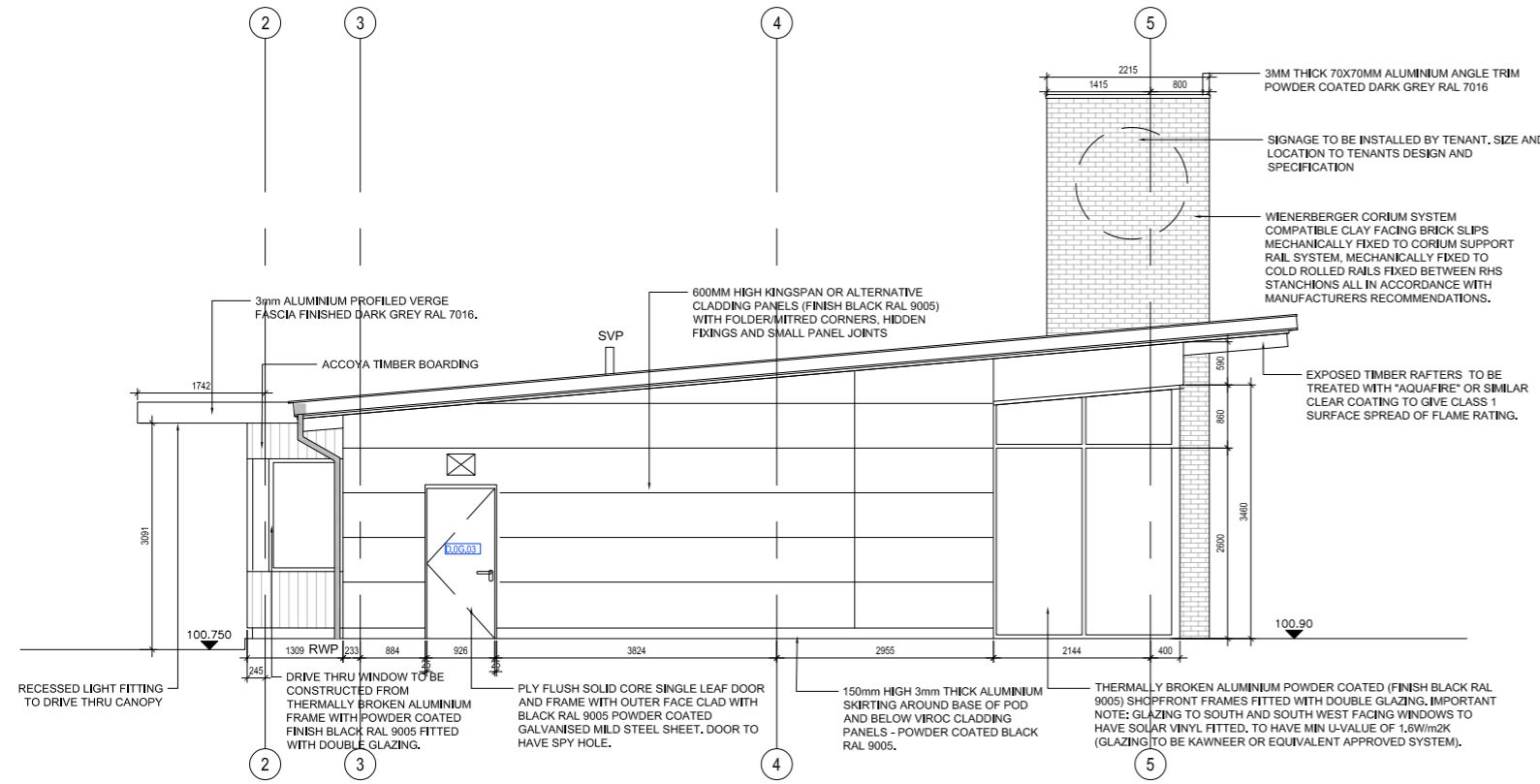
No development shall commence above slab level until specification details/samples of the materials and finishes for the external walls and roof of the development hereby approved have been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out other than in accordance with the approved schedule and shall be retained as such thereafter.

# Condition 03

## Front and Side

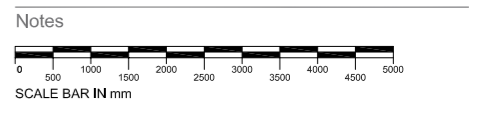
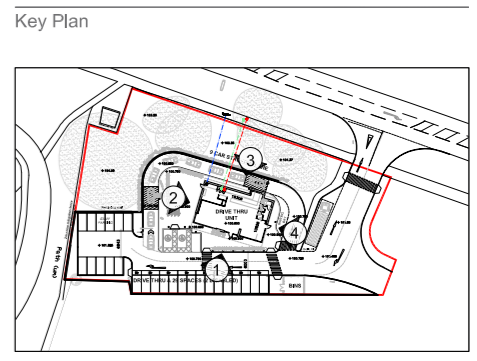


**1 Drive Thru Unit - West Elevation**  
SCALE 1:50



**2 Drive Thru Unit - North Elevation**  
SCALE 1:50

**General Notes:**  
The drawing is copyright of Darling Associates. This drawing shall not be scaled. All dimensions are in mm unless otherwise stated. All dimensions shall be checked on site prior to commencing the works and any discrepancies to be reported to Darling Associates. All works shall conform to the current edition of the building regulations and other statutory requirements. All materials and workmanship shall conform with the relevant British Standard specifications and codes of practice. If this drawing forms part of an application for planning permission, it shall not be used for any other purpose without the express permission of Darling Associates. This drawing may incorporate information from other professionals, Darling Associates cannot accept responsibility for the integrity and accuracy of such information. Any clarification and/or additions that are required appertaining to such information should be sought from the relevant professional or their appointment representative.  
Drawings, specifications and schedules are to be read in conjunction with the following where applicable: Employer's Requirements documents, Agreements to Lease, Structural Engineer's drawings and specifications, Civil Engineer's drawings and specifications, Survey Drawings, Party Wall Boundary Awards, Other specialist design consultant's requirements as appointed by the Main Contractor, Other specialist design sub-contractor's requirements as appointed by the Main Contractor.



**Notes**  
WALL CLADDING:  
THE SUPERSTRUCTURE EXTERNAL WALLS ABOVE FLOOR LEVEL SHALL COMPRISE 600mm HIGH KINGSPAN OR ALTERNATIVE CLADDING PANELS WITH FOLDER/MITRED CORNERS, HIDDEN FIXINGS AND SMALL PANEL POINTS INTO COLD ROLLED SIDE RAILS.  
DRIVE THRU POD:  
WHERE INDICATED ON THE ELEVATION DRAWINGS THE CLADDING WILL CONSIST OF TIMBER WALL CLADDING, FORMED USING ACCOYA LT AC 02 PROFILED ACETYLATED VERTICAL BOARDS PROFILE REF: V198 FIXED TO 42X42mm HORIZONTAL THERMOWOOD BATTENS AT MAX 600mm CENTRES FIXED TO 42X28mm THERMOWOOD VERTICAL CROSS BATTENS AT MAX 600mm CENTRES FIXED TO KINGSPAN BENCHMARK KARRIER SYSTEM 100MM INSULATED CORE CLADDING FIXED TO COLD ROLLED SIDE RAILS. CLADDING ALL FITTED IN ACCORDANCE WITH SUPPLIERS RECOMMENDATIONS AND DETAILS.

**ROOF SPECIFICATION:**  
RENOLIT ALKORSMART LIGHT GREY SINGLE PLY MEMBRANE ON 120mm KINGSPAN THERMAROOF TR27 LFCFM INSULATION TO GIVE MIN 0.18 W/m2K U VALUE ON VAPOUR CONTROL LAYER ON 25mm EXTERIOR QUALITY PLYWOOD DECKING FIXED TO SOFTWOOD RAFTERS (SEE ENGINEERS DETAILS FOR SIZES) TOSH NAILED TO TIMBER WALL PLATES BOLTED TO TOP FLANGE OF STEEL WORK UNDER. EXPOSED SOFFIT OF PLYWOOD AND RAFTERS TO BE TREATED WITH 'AQUAFIRE' OR SIMILAR CLEAR COATING TO GIVE CLASS 1 SURFACE SPREAD OF FLAME RATING.  
**POD ROOF SPECIFICATION:**  
RENOLIT ALKORSMART LIGHT GREY SINGLE PLY MEMBRANE ON VAPOUR CONTROL LAYER ON 25mm EXTERIOR QUALITY PLYWOOD DECKING FIXED TO TAPERED TIMBER FRINGS 50mm-90mm ON LEVEL SOFTWOOD JOISTS (SEE ENGINEERS DETAILS FOR SIZES) TOSH NAILED TO TIMBER WALL PLATE ON CANTILEVER PIVOT POINT. BOLTED TO TOP FLANGE OF STEEL WORK SUPPORTING RAFTER ENDS. FIT MIN 120mm KINGSPAN THERMAROOF TR27 LFCFM INSULATION TO GIVE MIN 0.18 W/m2K U VALUE. BETWEEN JOISTS FINISHED INTERNALLY WITH 12mm FOIL BACKED PLASTERBOARD. EXTERNALLY WITH ACCOYA BOARDED SOFFIT ON VAPOUR BARRIER.

- GENERAL NOTES:**
- ALL WORK MUST BE CARRIED OUT TO TOTAL SATISFACTION OF BUILDING CONTROL & MUST COMPLY WITH CURRENT BUILDING REGULATIONS & RELEVANT CODES OF PRACTISE, ETC... & LOCAL BYLAWS.
  - CONTRACTOR IS RESPONSIBLE FOR ENSURING FLOOR SLAB IS A LEVEL SURFACE READY FOR LAYING NEW FLOOR TILING (BY SHOPFITTER)
  - ALL NEW TIMBER USED WITHIN STORE TO BE TANAULISED & SUITABLY TREATED.
  - ALL MATERIALS MUST HAVE AGREEMENT CERTIFICATE / BRITISH STANDARDS KITEMARK.
  - ALL WORKMANSHIP & MATERIALS TO BE TO TOTAL SATISFACTION OF BUILDING INSPECTOR.
  - GLAZING TO EXTERNAL WALLS & DOORS MUST COMPLY WITH B.S. 6262.
  - ALL GLAZING TO DOORS & SIDE PANELS UP TO A HEIGHT OF 1500mm ABOVE GROUND LEVEL TO BE SAFETY GLASS AS DEFINED IN B.S.6206 1981.
  - ALL WORKMANSHIP TO COMPLY WITH B.S.8000.
  - UNDERSIDE OF ROOF STRUCTURE AND INSIDE FACE OF WALLS ABOVE WINDOW HEAD LEVEL ARE TO BE EXPOSED IN THE STARBUCKS INTERIOR DESIGN. IT IS THEREFORE ESSENTIAL THAT THE INSIDE OF THE FABRIC IS UNDAMAGED AND CLEAN

- GENERAL STRUCTURAL NOTES:**
- NO INTERNAL/INTERMEDIATE COLUMNS ARE PERMITTED TO OPEN AREA WITHIN UNIT.
  - ANY CROSS BRACING TO BE LOCATED AS CLOSE AS POSSIBLE TO THE SIDE RAILS TO MINIMISE INTRUSION INTO RETAIL/BOH FLOOR SPACE
  - SEE ENGINEER'S DESIGN AND DETAILED DRAWINGS FOR SURFACE WATER DRAINAGE LAYOUT.
- GENERAL SERVICES NOTES:**
- MAIN CONTRACTOR IS RESPONSIBLE FOR EXCAVATION OF ALL SERVICES TRENCHES ON SITE.
  - CONTRACTOR TO SUPPLY AND FIX NEW HOCKEY STICK DUCT FOR ELECTRIC SERVICE; FINAL ENTRY POSITION TO BE CONFIRMED
  - INDICATED POP UP SERVICES LOCATIONS ARE INDICATIVE AND TO BE CONFIRMED BY STARBUCKS INTERNAL DESIGN TEAM PRIOR TO CONSTRUCTION.

- GENERAL DRAINAGE NOTES:**
- DRAINAGE POINTS ARE INDICATIVE ONLY. FINAL LOCATIONS TO BE ADVISED BEFORE CONSTRUCTION.
  - ALL DRAINS, FOUL & SURFACE WATER TO COMPLY WITH BS, 56 & BS, 540.
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  - DRAINS PASSING THROUGH WALLS ARE TO BE PROTECTED BY LINTOLS WITH A 50mm SPACE AROUND THE PIPES, MASKED BOTH SIDES WITH INERT BOARDS.
  - PIPES LAID UNDER THE BUILDING ARE TO BE SURROUNDED BY 100mm OF GRANULAR FILL. PIPES WITH THEIR CROWNS WITHIN 300mm OF UNDERSIDE OF SLAB TO BE SURROUNDED IN CONCRETE AND INTEGRAL WITH SLAB.
  - ALL MANHOLES TO BE CONSTRUCTED TO BUILDING REGULATIONS PART H TO BE PRE-FABRICATED CONCRETE BEDDED AND JOINTED TO MANUFACTURERS DETAILS OR FORM 800x450mm INSPECTION CHAMBERS IN 225mm 2nd ENGINEERING BRICKWORK BUILT OFF 150mm CONCRETE BASE WITH SMOOTH BENCHING AROUND PIPEWORK.
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- WASTES W1-W7 NOTES:**
- WASTES W1-W7 TO BE HEPWORTH OR EQUIVALENT 100mm DIA REST BENDS TO TAKE 100 mm UPVC SOIL PIPE/WC/ BASIN/SINK CONNECTIONS TOP OF COLLAR SET AT FFL
  - WASTE POINTS ARE INDICATIVE ONLY. FINAL LOCATIONS TO BE ADVISED BEFORE CONSTRUCTION.

CON01 Contract Issue	12_08_22	SL	GW
T01 Issued for Tender	21.01.22	SL	GW
DR2 Issued for Review	22.12.21	SL	GW
DR1 Issued for Review	17.12.21	SL	GW
REV	NOTES	DATE	BY AUTH

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## DRAWING STATUS

### Tender

TITLE  
**Proposed West and South Elevations**

PROJECT  
Ruscote Avenue, Banbury - Site 3

SCALE AT A1: 1:50  
SCALE AT A3: 1:100

JOB NO. 16061  
DRAWING (03)-S3-E-001  
REV CON01

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September 2022  
Revision A

Site 3 - JDE - Materials and Finishes  
PLANNING CONDITION 03



# Condition 13

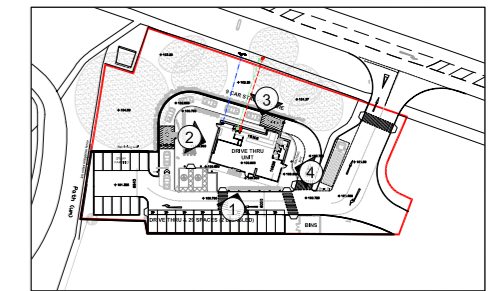
## Rear and Side

### General Notes

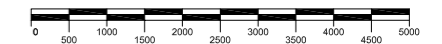
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### Key Plan



### Notes



SCALE BAR IN mm

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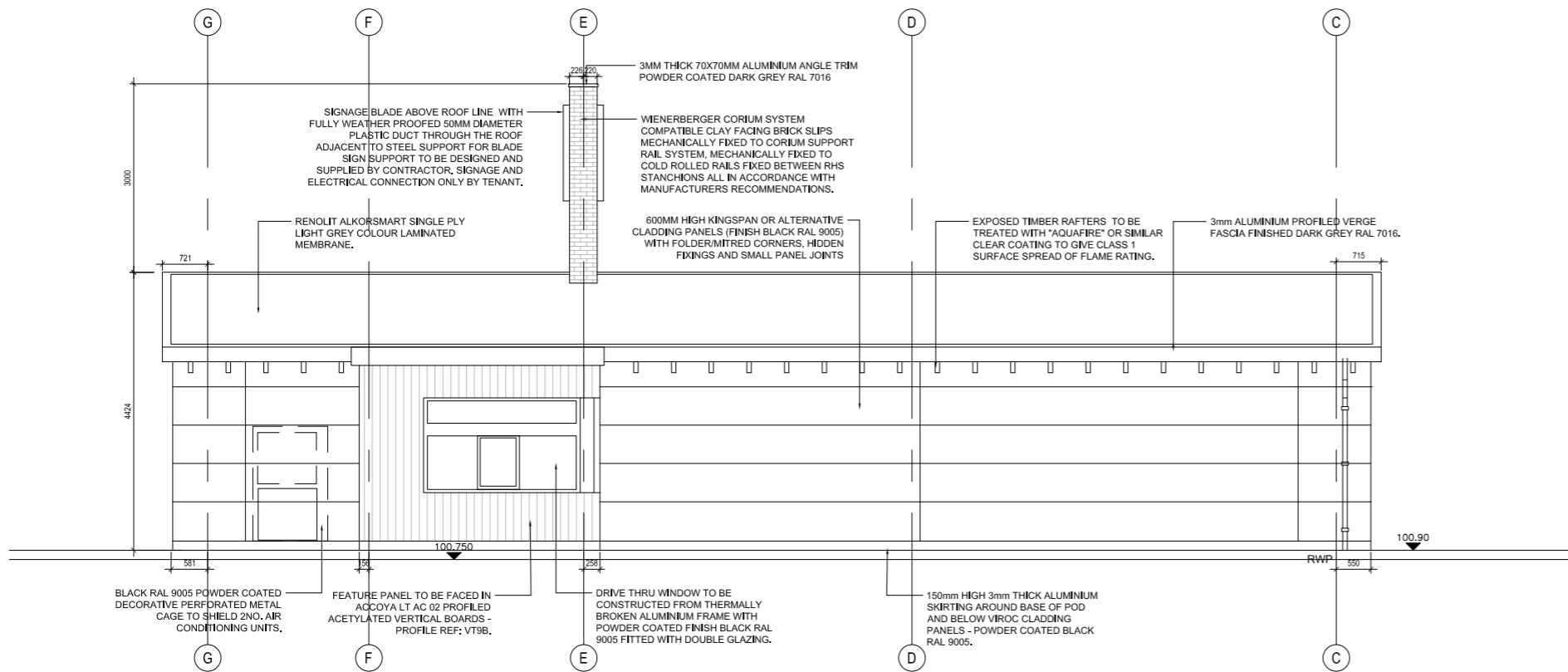
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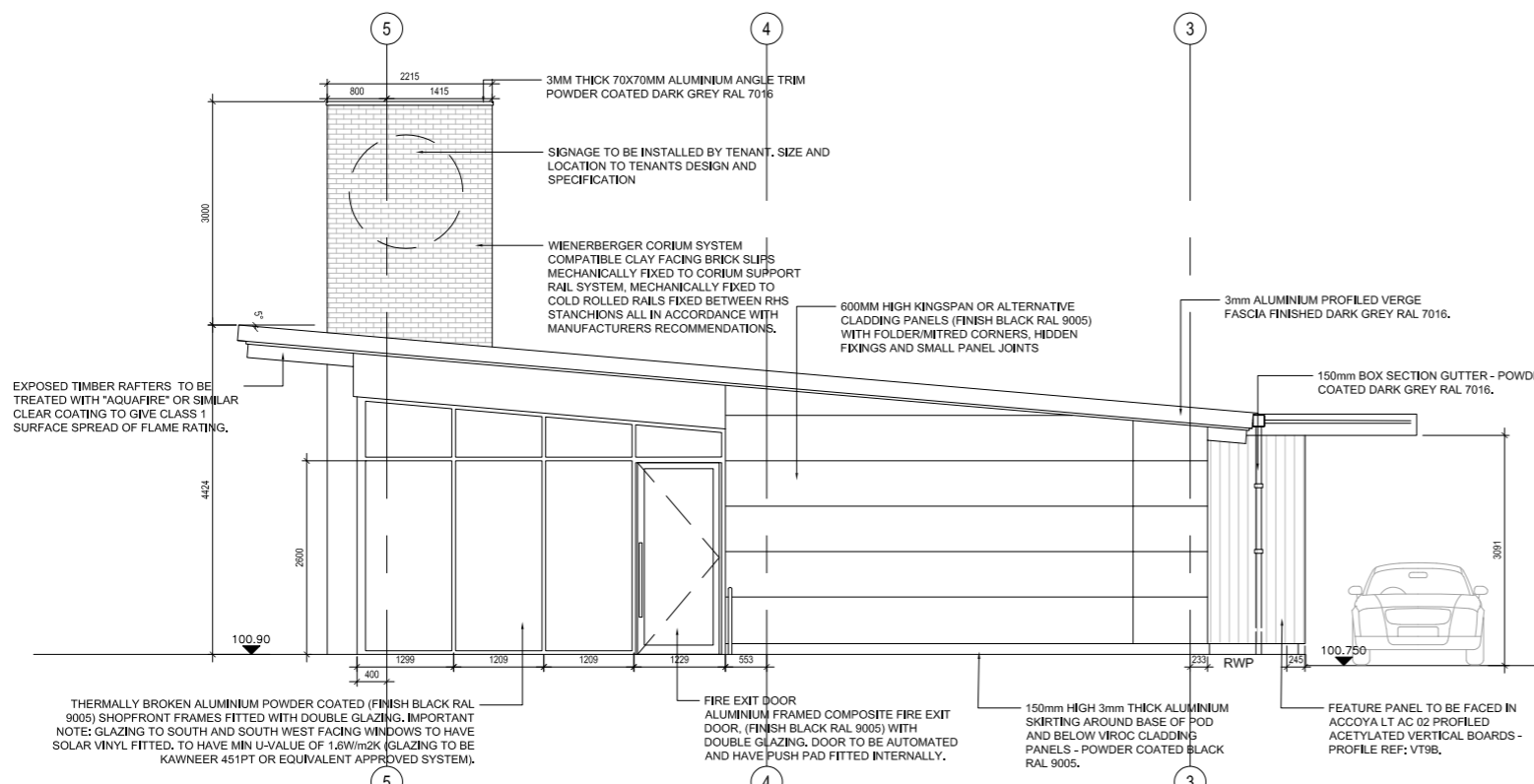
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**3 Drive Thru Unit - East Elevation**  
SCALE 1:50



**4 Drive Thru Unit - South Elevation**  
SCALE 1:50

REV	NOTES	DATE	BY	AUTH
CON01	Contract Issue	12.08.22	SL	GW
T01	Issued for Tender	21.01.22	SL	GW
DR2	Issued for Review	22.12.21	SL	GW
DR1	Issued for Review	17.12.21	SL	GW

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### DRAWING STATUS

## Tender

### TITLE

## Proposed East and South Elevations

PROJECT  
 Ruscot Avenue, Banbury - Site 3

SCALE AT A1: 1:50  
 SCALE AT A3: 1:100

JOB NO. 16061  
 DRAWING (03)-S3-E-002  
 REV CON01

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September 2022  
 Revision A

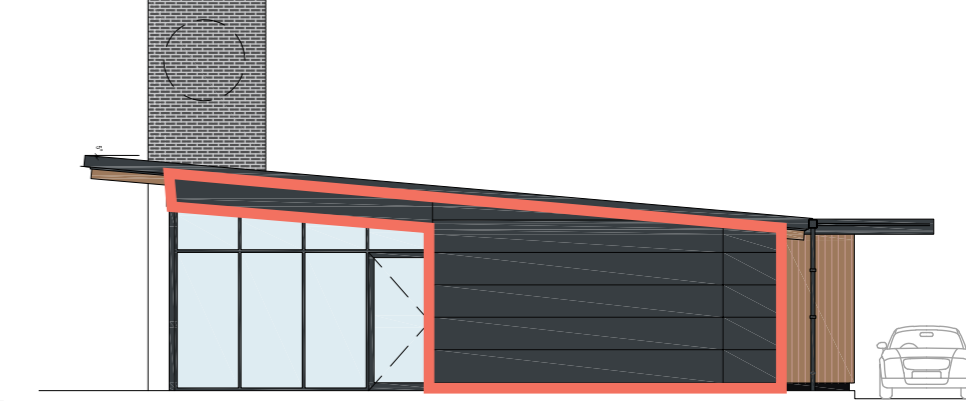
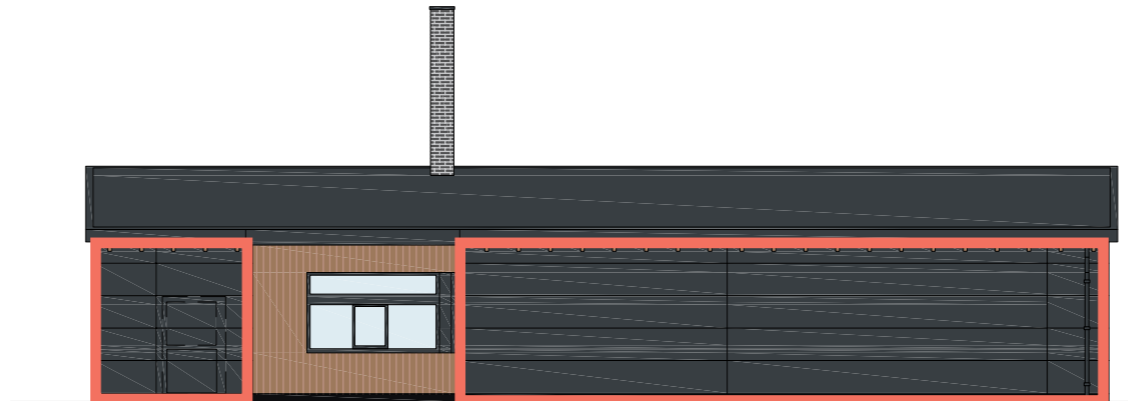
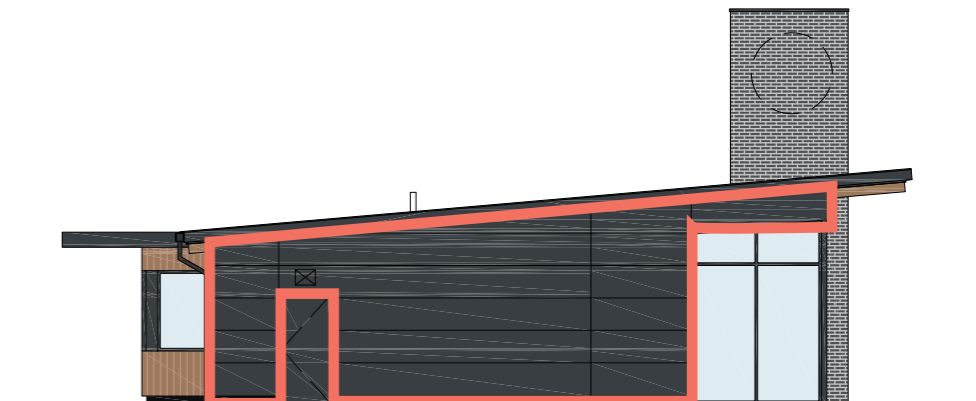
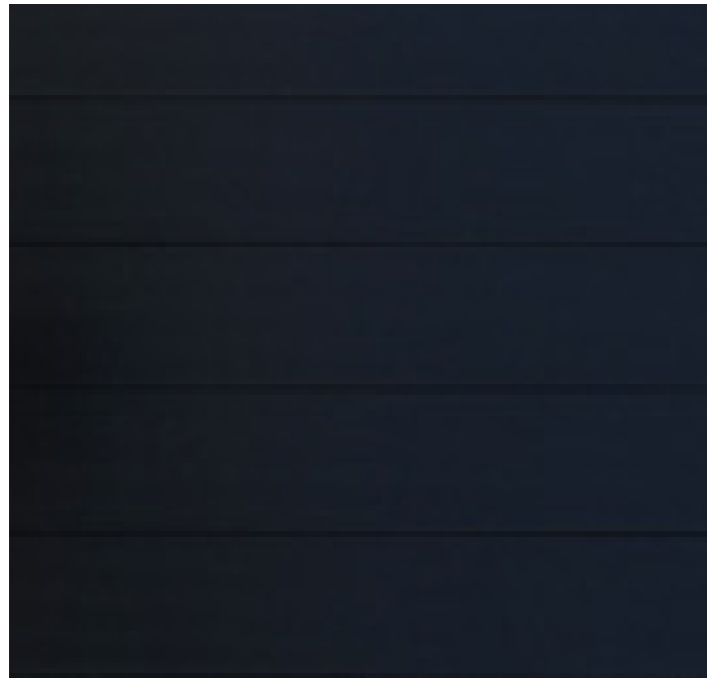
Site 3 - JDE - Materials and Finishes  
 PLANNING CONDITION 03

### Condition 03

#### Material Specification - Metal Wall Cladding

Location:  
All elevations Black metal cladding. As per elevations adjacent.

Product:  
Horizontally laid Kingspan architectural wall cladding  
Kingspan KS600FL (flat) panel. Colour: RAL 9005.



Architectural reference:  
Mini, Brussels

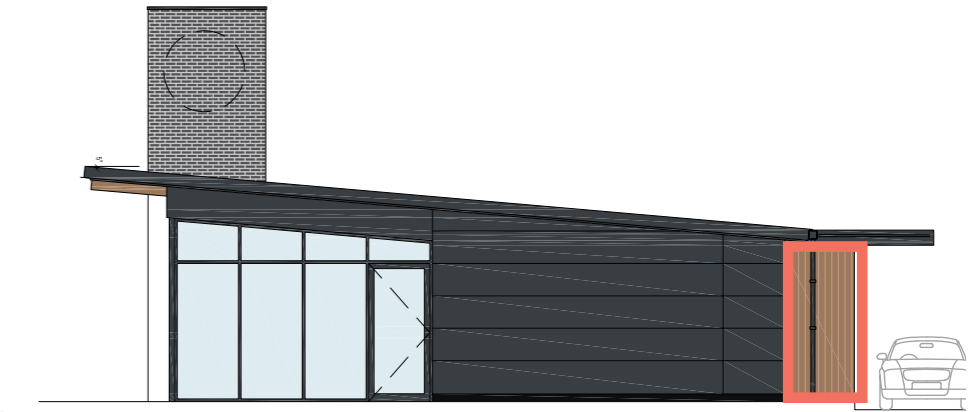
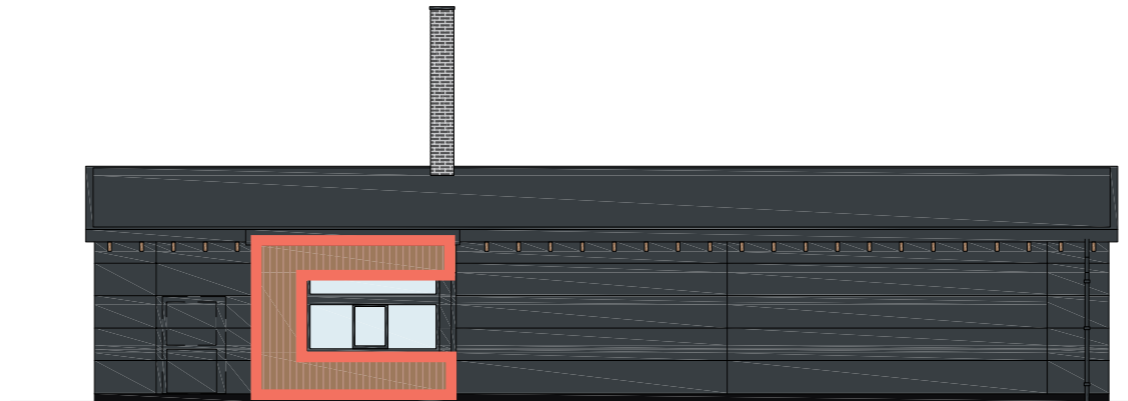
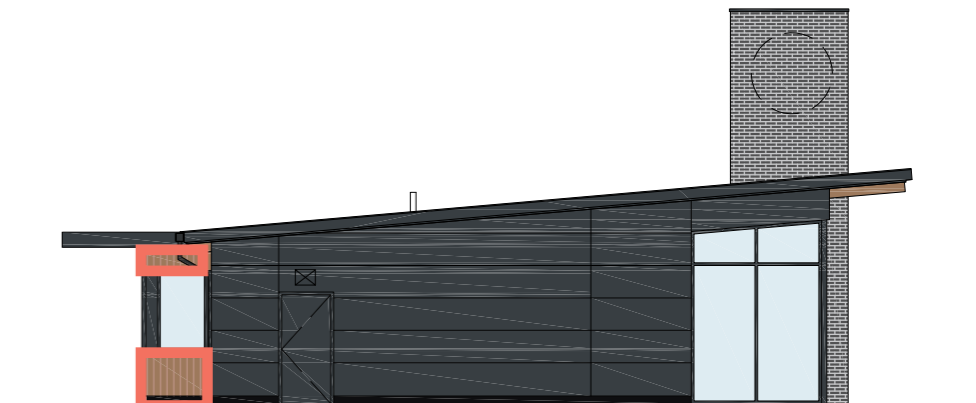
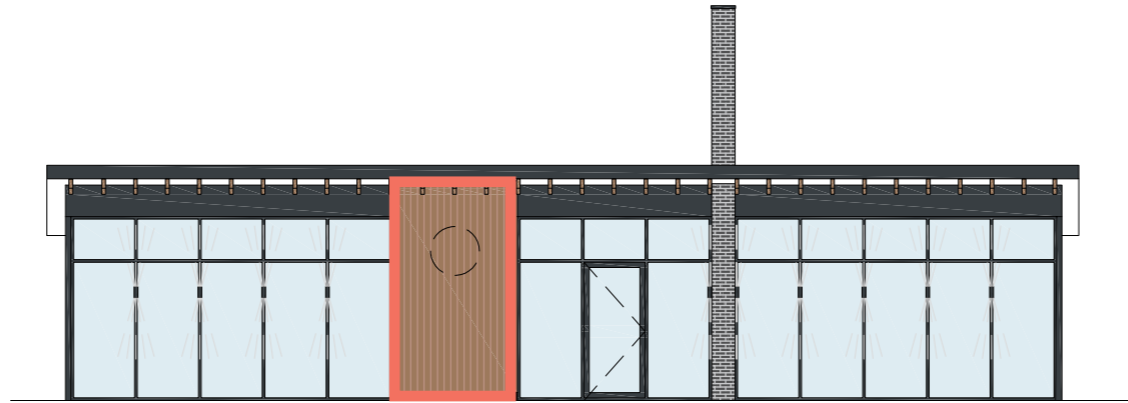


# Condition 03

## Material Specification - Timber Wall Cladding

Location:  
All elevations with Timber Cladding. As per elevations adjacent.

Product:  
Timber wall cladding. Formed using accoya LTA C02 profiled acetylated vertical boards profile ref. vt9b finish: Sansin Honey glow



Architectural reference:  
Private House, Edinburgh

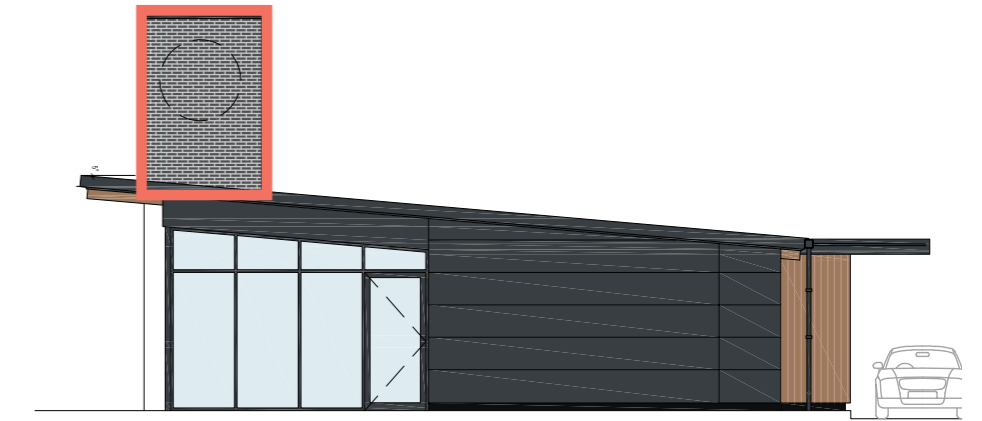
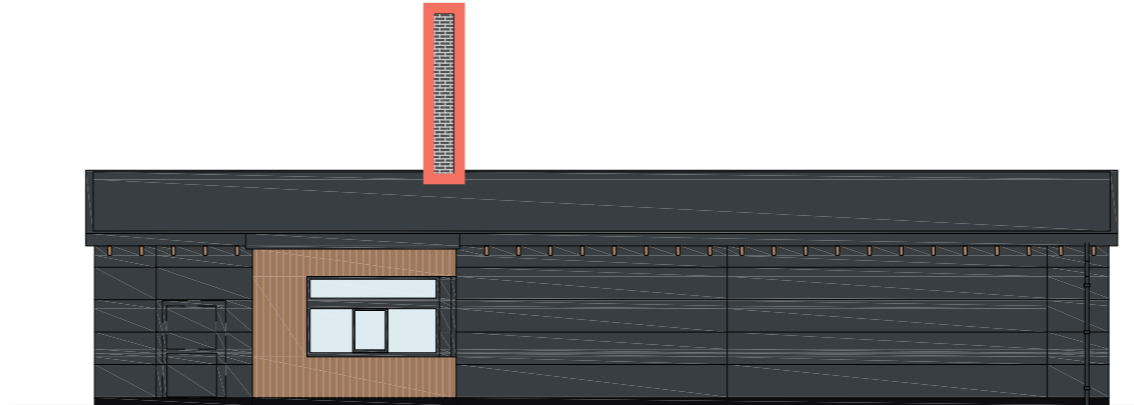
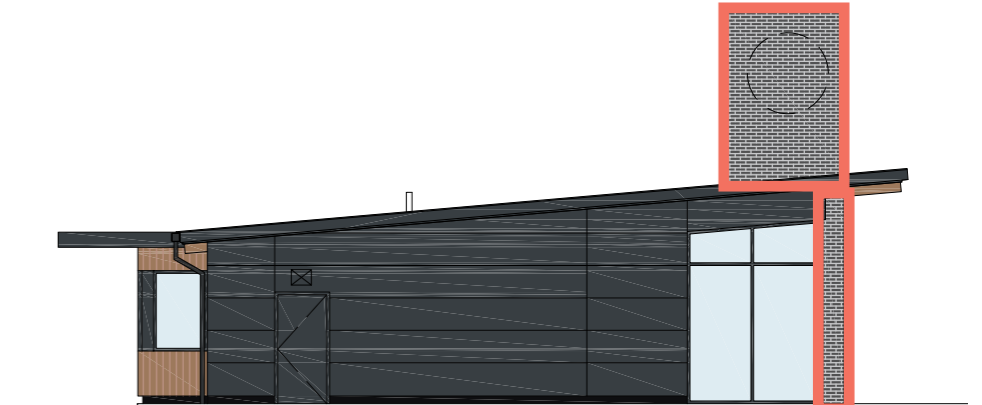
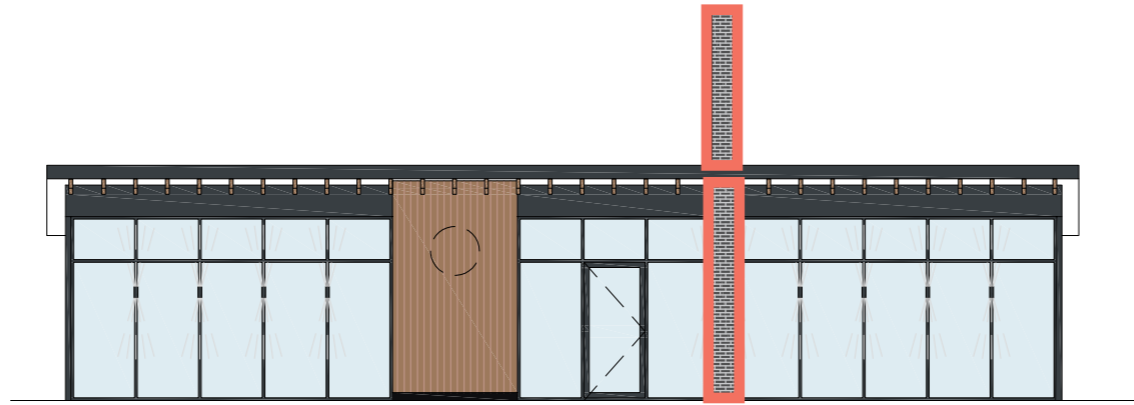


# Condition 03

## Material Specification - Brick wall Cladding

Location:  
All elevations with brick cladding. As per elevations adjacent.

Product:  
Clay facing brick slips Corium 92110



Architectural reference:  
Drayton Wharf, West Drayton

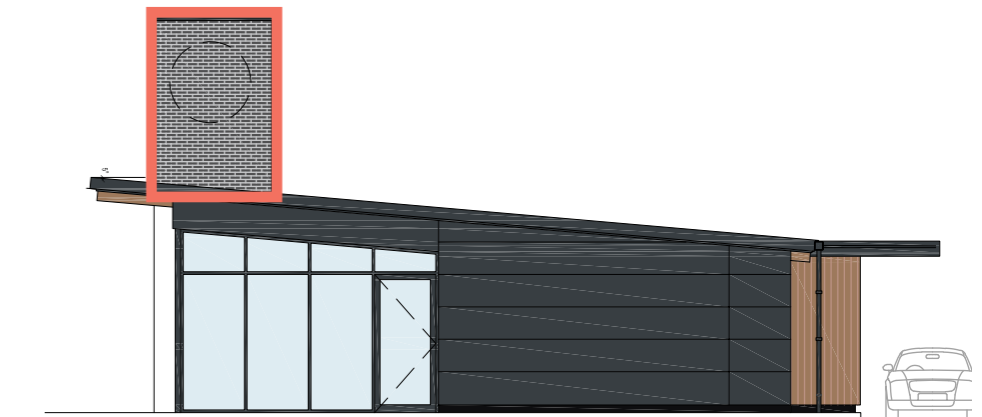
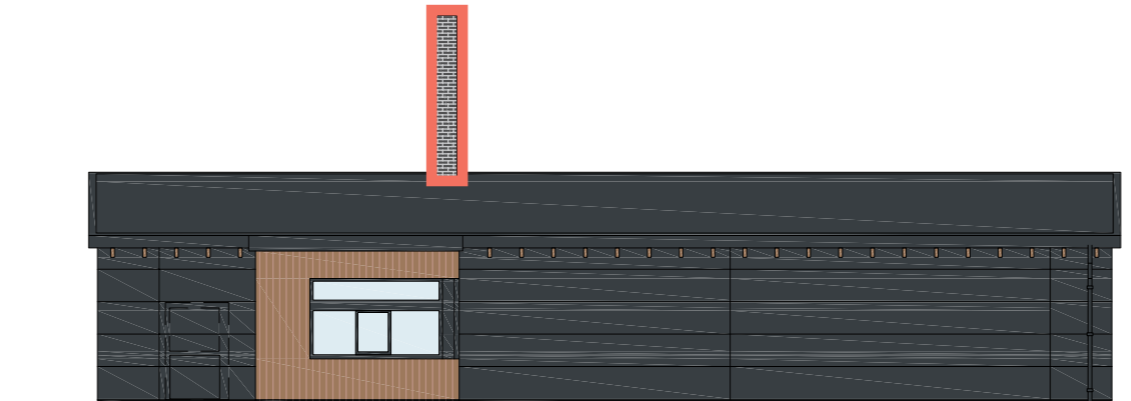
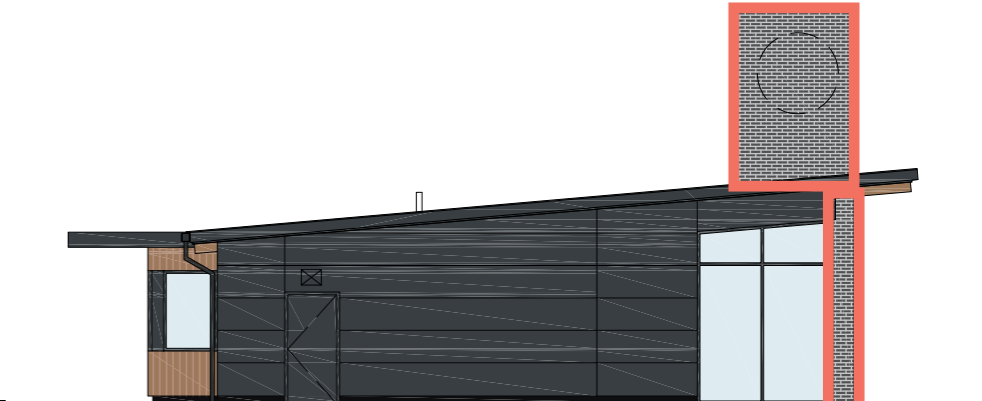
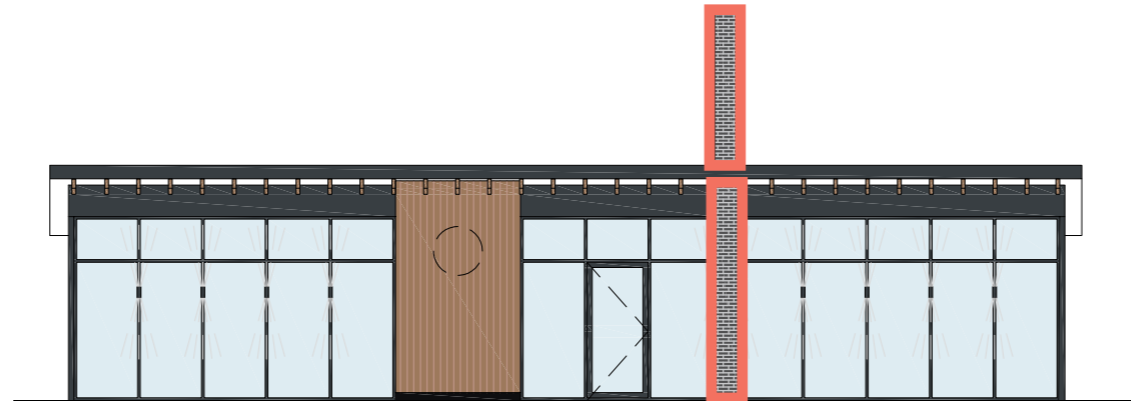


### Condition 03

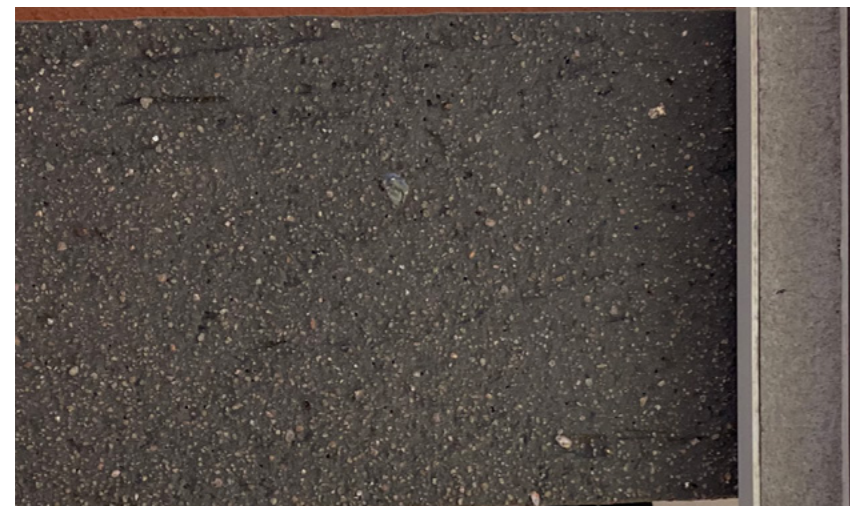
#### Material Specification - Brick Mortar

Location:  
All elevations with brick cladding. As per elevations adjacent.

Product:  
Parex Historic KL pointing mortar EA257 Dark Grey mortar pointing style, bucket handle



Photograph of sample with brick





# Condition 03

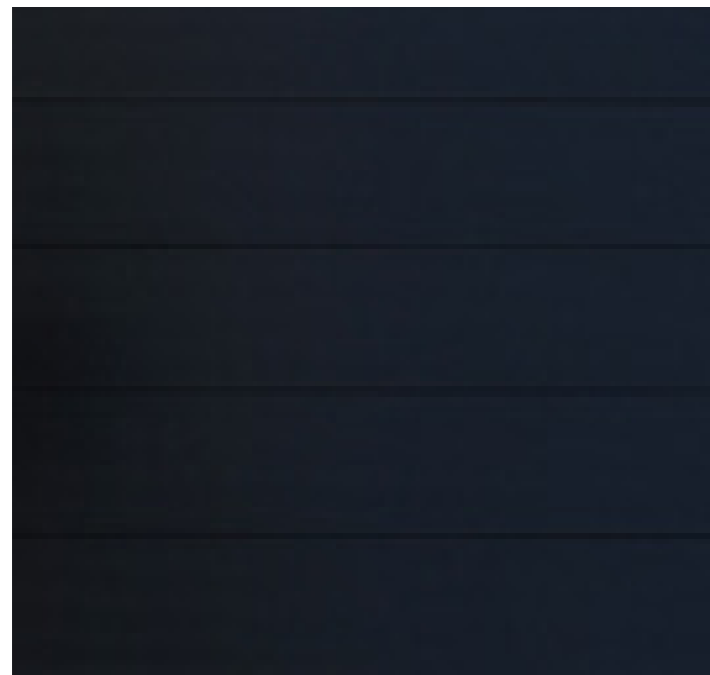
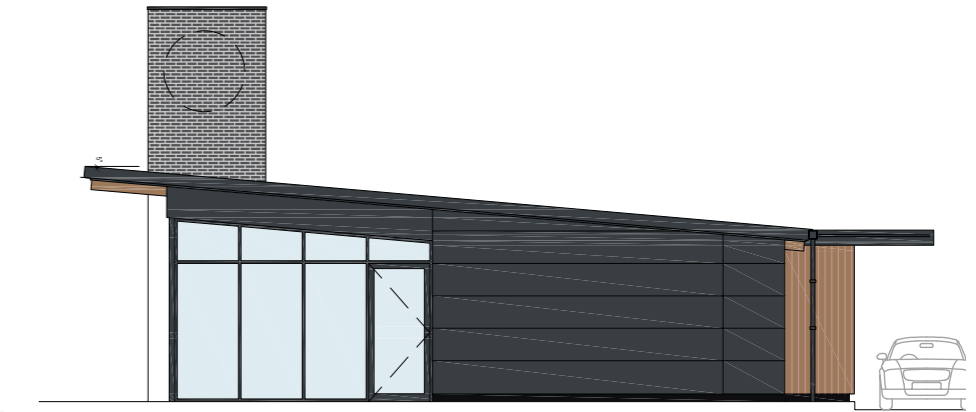
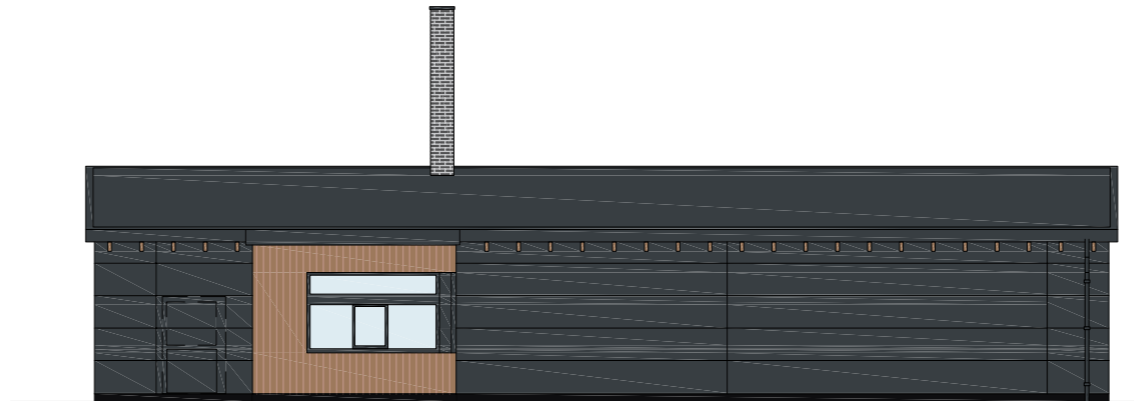
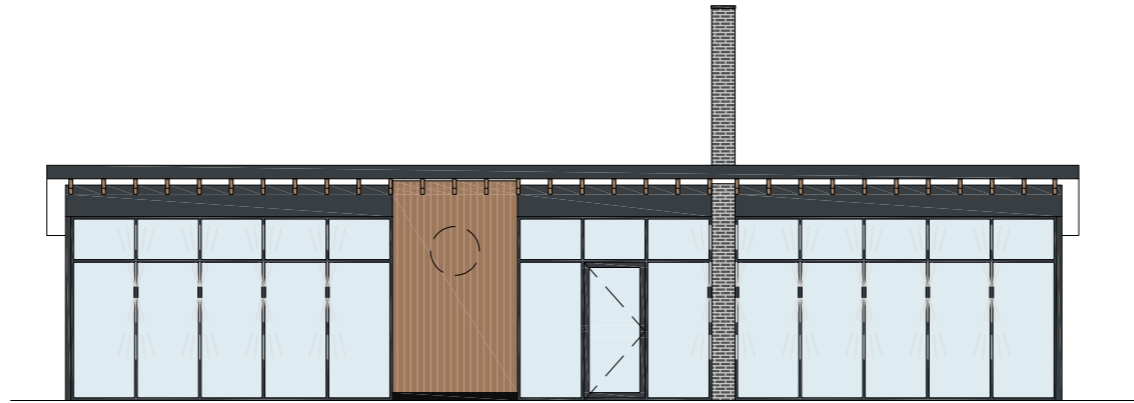
## Material Specification - Metal Door

Location:  
All elevations with brick cladding. As per elevations adjacent.

Product:  
Steel door RAL 9005



RAL 9001

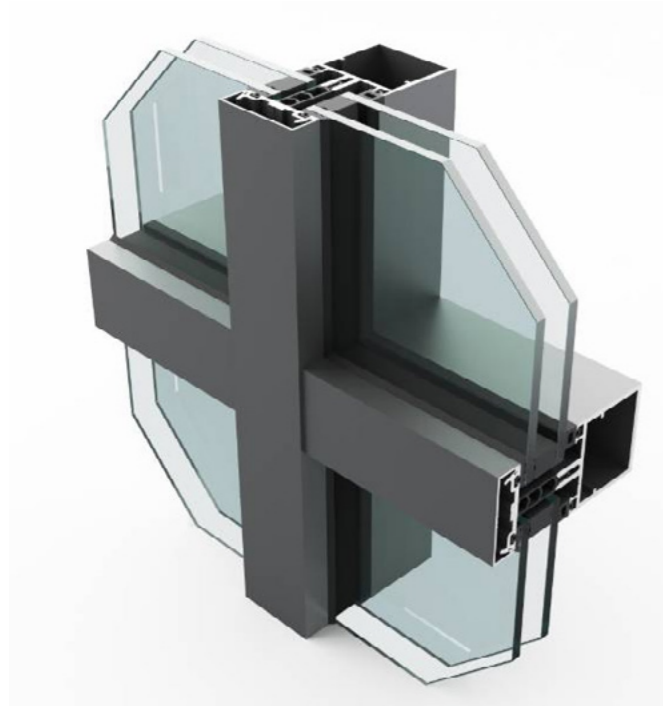


### Condition 03

#### Material Specification - Aluminium Framed Glazing

Location:  
All elevations with Glazing. As per elevations adjacent.

Product: Senior Aluminium Systems thermally broken SCW curtain walling - Powder Coat paint finish to RAL 9005 Jet Black



Architectural reference:  
Starbucks Drive Thru

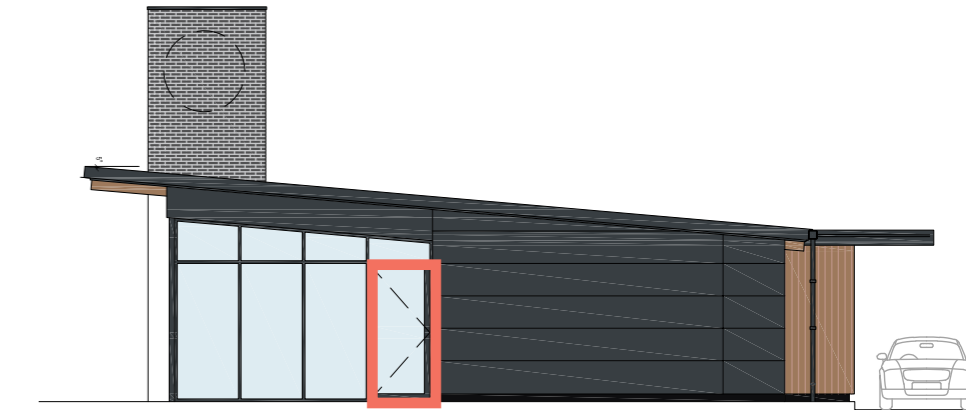
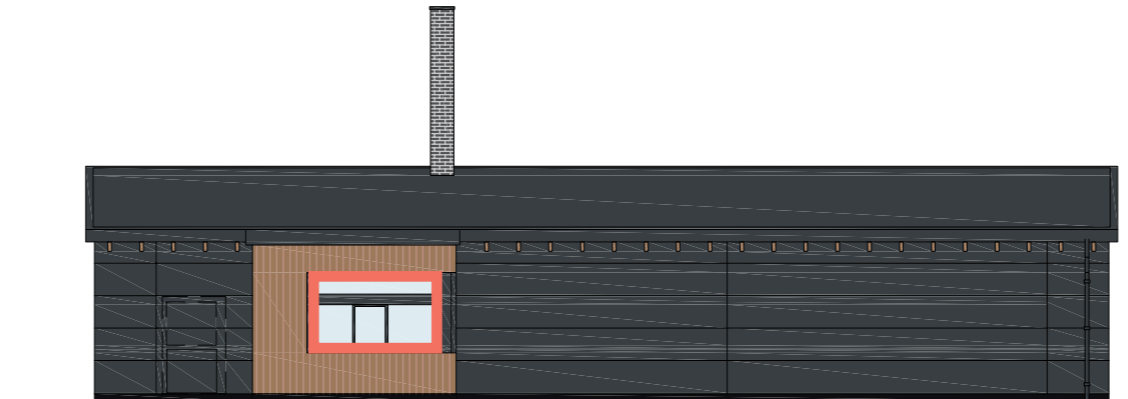
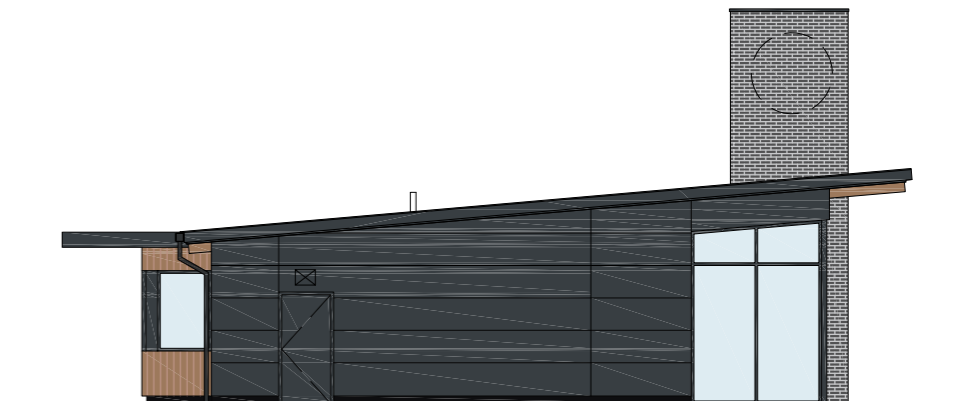
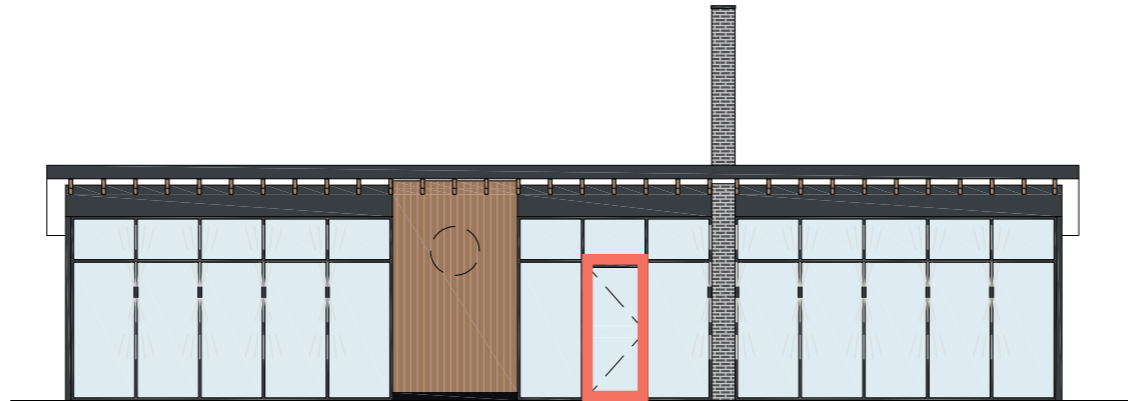
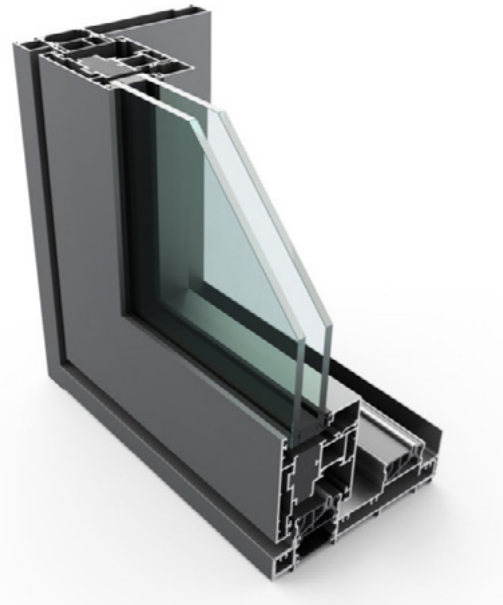


### Condition 03

#### Material Specification - Aluminium framed Glass Doors

Location:  
All elevations with brick cladding. As per elevations adjacent.

Product:  
Senior Aluminium Systems SFG+SD commercial aluminium doors and drive thru window - Powder Coat paint finish to RAL 9005 Jet Black



Architectural reference:  
St James Walk



Architectural reference:  
Starbucks Drive Thru

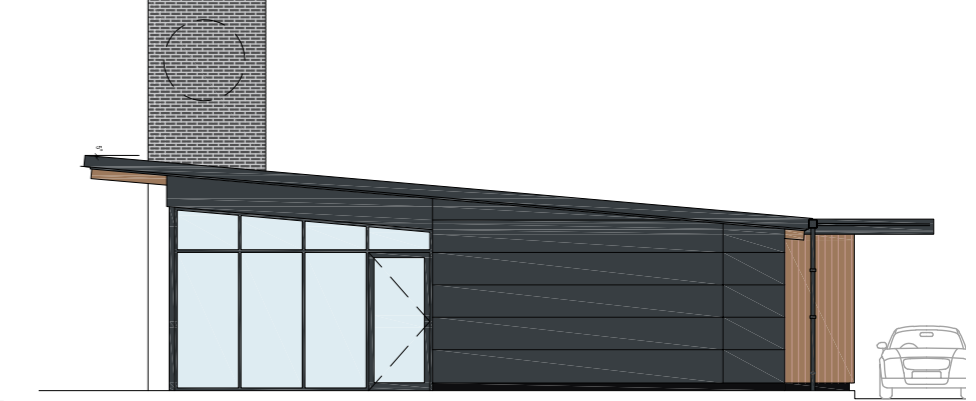
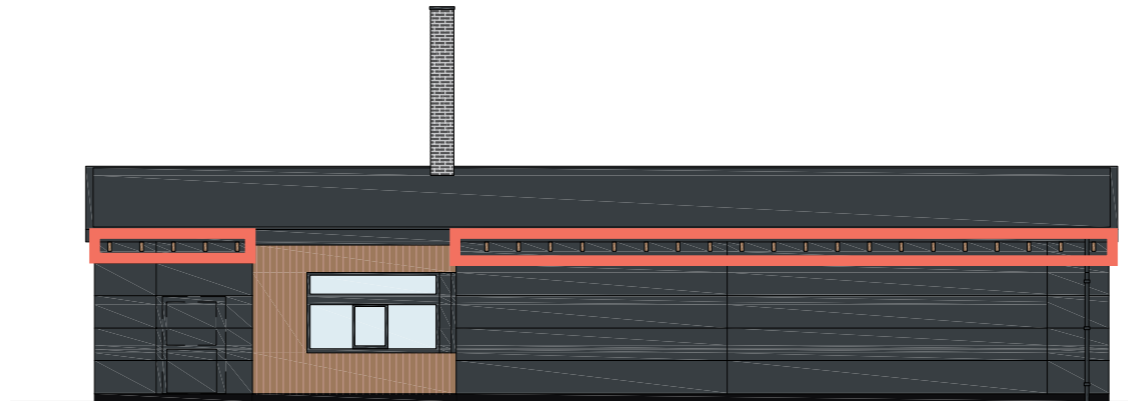
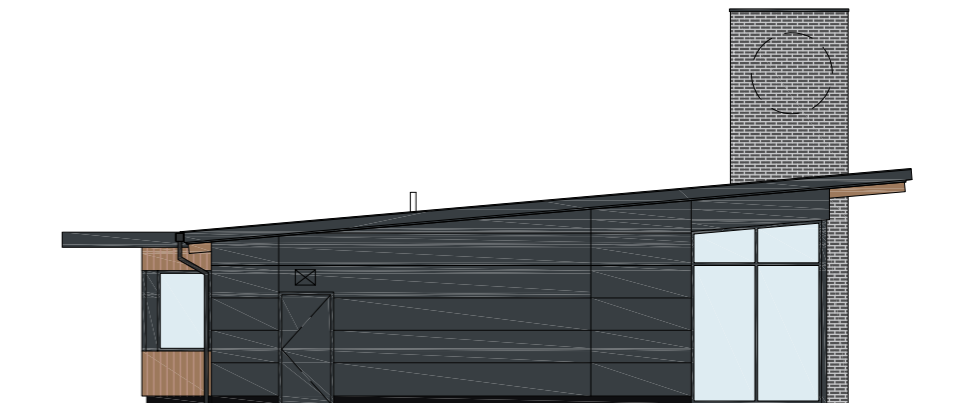
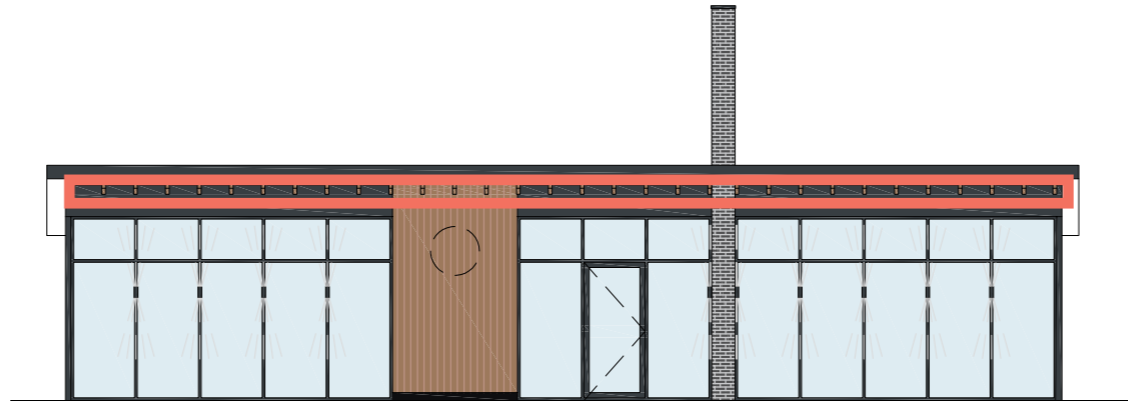


# Condition 03

## Material Specification - Timber Rafters

Location:  
All elevations with Exposed rafters. As per elevations adjacent.

Product:  
Kiln Dried C24 Regularised Treated Timber



Architectural reference:  
Starbucks Drive Thru, Hull

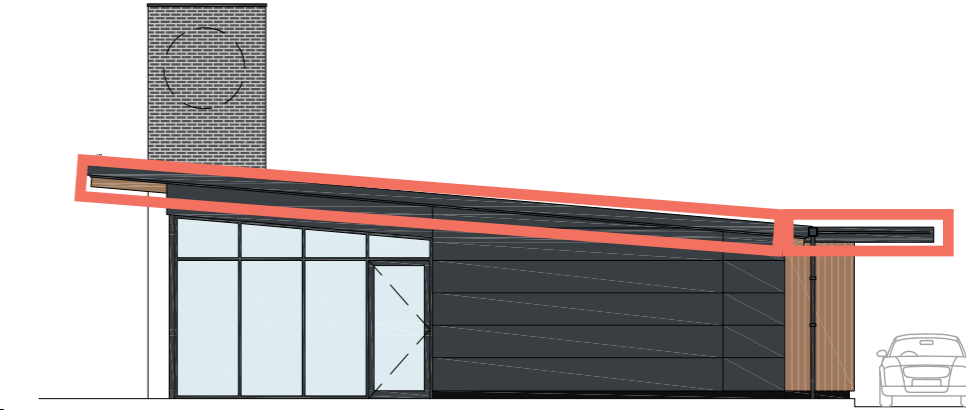
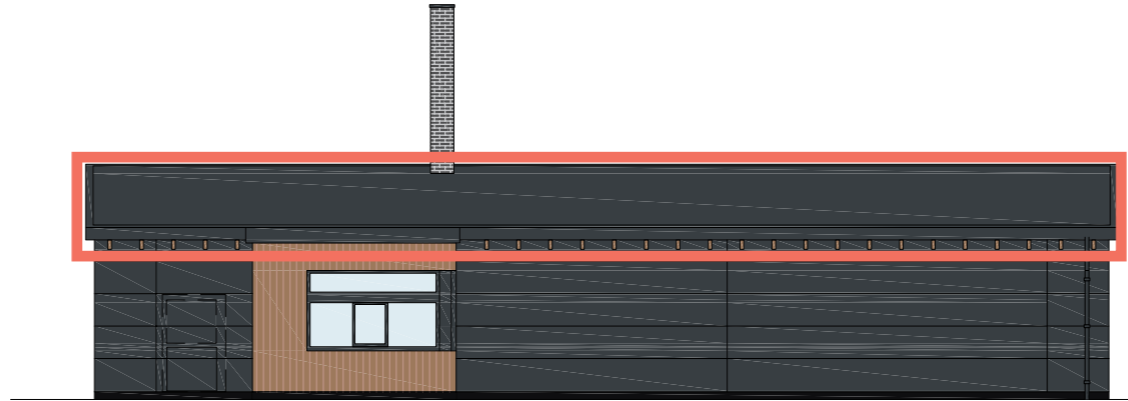
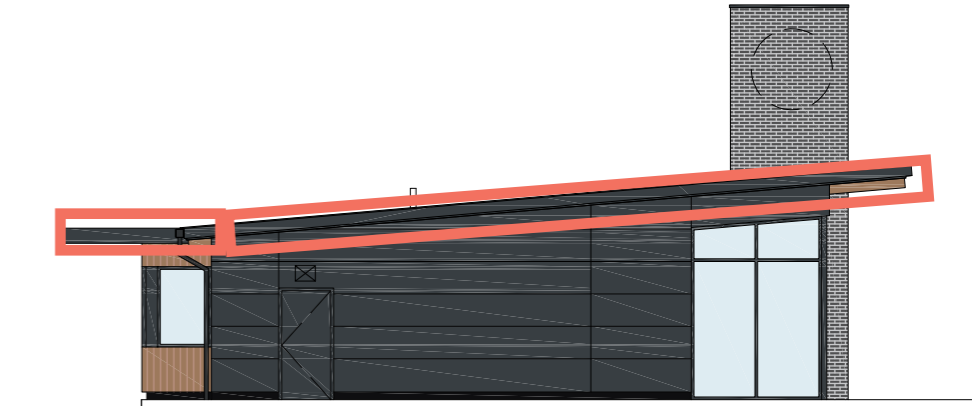
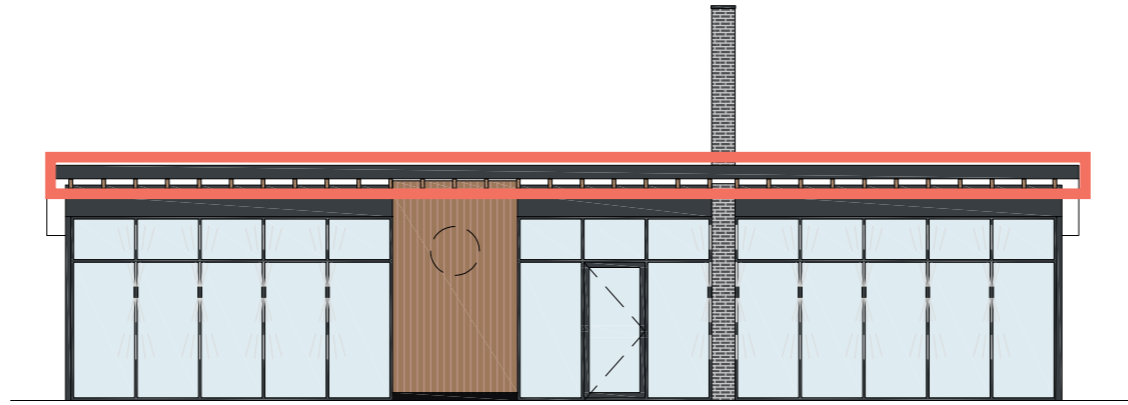
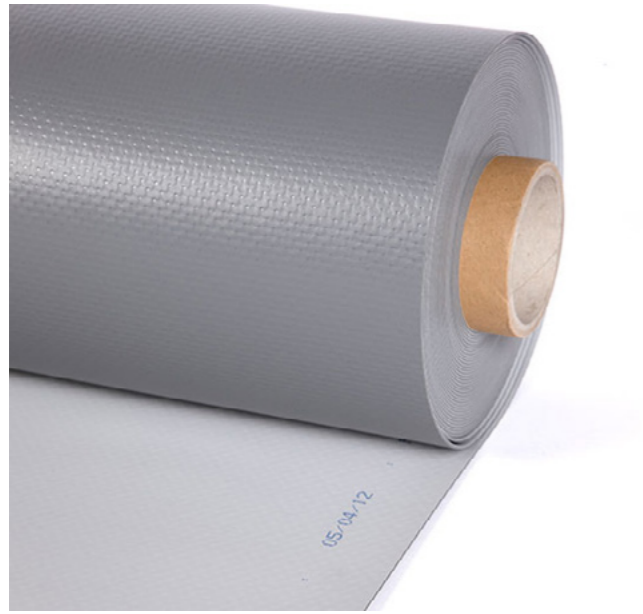


# Condition 03

## Material Specification - Roof

Location:  
All roof areas

Product:  
Renolit Alkorsmart single ply light grey colour



Architectural reference:  
Private House, Faroe Islands



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