

TAYLOR WIMPEY  
BARRATT HOMES  
BOVIS HOMES

## LAND AT LONGFORD PARK, BANBURY, OXFORDSHIRE

### Landscape and Ecology Management Plan (LEMP)

Planning Condition 17  
Application Ref: 13/00822/REM

#### PHASE 1



MARCH 2014  
5205.LEMP.003.DV

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## **PLANS**

**PLANTING PLAN OVERVIEW WITH SCHEDULE – 5205/ASP1.0**

**ECOLOGICAL ENHANCEMENTS PLAN - 3266/EE1**

## 1. INTRODUCTION

1.1. The following guidance has been produced for the ongoing management of Phase 1 of the residential development at Longford Park Banbury. This information is required as part of the planning permission reference 13/00822/REM. Condition 17 relates to the requirement for a Landscape and Ecology Management Plan ('LEMP') to be submitted and approved prior to the commencement of development.

1.2. The information detailed in the Condition is as follows:

### ***Condition 17***

*Prior to the commencement of the development hereby approved, a Landscape and Ecology Management Plan (LEMP) to include proposed planting schedule and biodiversity enhancements with reference to Section 5.9 of the report Ecological Assessment Phase 1 submitted with the application prepared by Aspect Ecology and dated May 2013 shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the LEMP shall be carried out in accordance with the approved details.*

1.3. A plan has been produced to indicate the location for the bat and bird boxes as recommended in the Phase 1 Ecology Assessment and these are shown on plan 3266.EE1 Ecological Enhancements.

1.4. The proposed planting schedule is shown on the landscape planting plans, of which the overview is appended to this document.

## 2. DEFINITION OF TERMS

2.1. For the purpose of this document the following terms are defined as;

- a) *The Developers* – Taylor Wimpey/ Barratt Homes/ Bovis Homes form the consortium who are responsible for the development of the site.
- b) *The Landscape Contractor* – a sub-contractor who is responsible for implementing the landscape scheme to the approved drawings and will be instructed directly by the Developers. The Landscape Contractor will be BALI registered and have the appropriate experience and references to carry out the landscape maintenance.
- c) *The Management Agency* – the managing agents will be liable for any failures to the planting and for the replacement planting during the defects liability period. Following completion and handover from the Landscape Contractor, the Managing agency will be responsible for the upkeep and ongoing maintenance of the landscape areas within the development. . The main open space including the play equipment will be transferred to Bodicote Parish Council. Where areas are to be transferred to Bodicote Parish Council, the Management Agency will be responsible for maintenance and up-keep of these areas until they are formally adopted by the Parish Council, at which point the responsibility for maintenance will lie with the Parish Council. The Management Agency will be responsible for any replacement planting required after the defects liability period in those areas which are not adopted by the Parish Council.

### **3. MANAGEMENT OBJECTIVES**

- 3.1. The primary management aim for the proposed planting is the establishment and future sustained growth of individual trees, shrubs and seeded areas. It is intended that the landscape scheme will be implemented by the Landscape Contractor appointed by the Developers, and upon completion will hand over the ongoing maintenance responsibilities of each landscaped area to the Management Agency. This document outlines the first 5 years of maintenance for the Management Agency, beyond which they will continue to be responsible for ongoing maintenance of the landscape areas within the development. Where areas are to be transferred to Bodicote Parish Council, the Management Agency will be responsible for maintenance and up-keep of these areas until they are formally adopted by the Parish Council, at which point the responsibility for maintenance will lie with the Parish Council.
- 3.2. The proposed landscape scheme shall be implemented to the approved plans, using the relevant standards as noted on the Drawings. All plants are to be supplied in accordance with the HTA 'National Plant Specification' and from a HTA certified nursery. All plants and trees are to be planted in accordance with BS 3936-1:1992 'Nursery stock Specification for trees and shrubs'. Delivery and handling of all plant material to be in accordance with CPSE 'Handling and Establishment of Landscape Plants 1996'.
- 3.3. All landscape maintenance operations, where they do not conflict with ecology operations, will be in accordance with BS 4428:1989 'Code of practice for general landscape operations' (excluding hard surfaces). Ongoing landscape maintenance operations are to be in accordance with sound ecological principles, and where relevant to be in accordance with BS 7370-4:1993 'Grounds Maintenance Recommendations for maintenance of soft landscape' (other than amenity turf).
- 3.4. All specialised play equipment and associated surfacing shall be installed to the approved plans, using the relevant standards and guidelines as per the manufacturer's requirements.



#### **4. GENERAL MAINTENANCE**

- 4.1. The programme of maintenance operations shall be as outlined in the schedule.
- 4.2. Upon practical completion of each landscape area, the Landscape Contractor will hand over to the Management Agency who will be responsible for the maintenance of all landscaped areas during the Aftercare period. The Aftercare period shall be for 12 months, covering the defects liability period for which the Management Agency is liable for any failures and necessary replanting.
- 4.3. The Management Agency shall eradicate weed growth of planted and seeded areas either by manual, mechanical or chemical means. Perennial weeds must be treated with glyphosphate or other approved product.
- 4.4. All relevant Acts of Parliament and the manufacturer's instructions must be followed and containers and other contaminated equipment must be cleared from the site after each day's work.
- 4.5. During routine maintenance visits, the Management Agency shall:
  - a) Check all plants for damage, security, firmness, fixing and support, and replanted in an upright position and re-firmed if required.
  - b) Keep all planting areas free from weed growth and hoe over and level all cultivated areas and remove weeds to tip, reinstating mulch as necessary.
  - c) Refix displaced, ease where necessary, or replace where damaged, tree ties and tree and shrub shelters.
  - d) Remove any litter or surplus discarded materials from the above within planted areas off site.
- 4.6. At the end of each growing season, an inspection of all planting areas shall be carried out by the Management Agency to identify plants which

have died or are failing to thrive or, in the opinion of the Management Agency are likely to die or fail to thrive. The Management Agency is responsible for the health and establishment of all plants, and therefore should ensure the appropriate amount of fertiliser is applied, and if necessary carry out a scientific soil survey to ascertain the level of nutrients. Any dead plants shall be removed off site, replacement plant material shall be of the same size and species as specified in the Contract.

- 4.7. Replacement planting shall be carried out by the Management Agency in the planting season, following the discovery of the defect.
- 4.8. The areas of meadow grassland as shown on the detailed planting plans will require careful management to maintain their ecological value. The Management Agency shall be responsible for following the cutting regime noted in the maintenance schedules, which varies the number of cuts in different parts of the grassland and/or the varying the height of cutting across the area. An annual cut is the minimum, which should leave random areas unmown and allowed to develop to a tall sward height to provide foraging and places of shelter for wildlife and ecology purposes. The application of fertiliser or herbicide on these areas should be avoided, and all cuttings within the area left in-situ up to 7 days. Elsewhere the cuttings shall be removed directly following a cut. Where topography forms a constraint to mechanical access, arisings may be left in situ.
- 4.9. Fertiliser shall be applied to the surface of each planting pit, cultivated or hedge trench. The type of fertiliser and rate of application shall be agreed by the Management Agency.
- 4.10. Fertiliser shall be applied to planting pits and to plants not requiring pit preparation. Spring and Summer grass fertilizer is to be applied to the amenity grass areas to encourage robust sward and successful establishment. Fertiliser shall not be applied to meadow grass areas.
- 4.11. Watering shall be carried out to field capacity during periods of drought during the aftercare period.



### Ecological operations

- 4.12. As set out within section 5.9 of Aspect Ecology's report entitled Ecological Assessment: Phase 1, dated May 2013, a number of bat boxes will be installed on retained trees of appropriate size. A total of 3 No. Schwegler 2FN, and 3 No. Schwegler 1FF bat boxes will be erected as high as possible, facing either a southerly, south-easterly, or south-westerly direction so that they gain exposure to the sun for at least part of the day. The exact locations of these bat boxes will be determined by the supervising ecologist, however indicative locations are included on the attached ecological enhancements plan (Plan 3266/EE1).
- 4.13. As set out within the Ecological Assessment, a number of bird boxes will also be installed on retained trees of appropriate size. A total of 2 No. Schwegler 1B, 2 No. Schwegler 2M and 2 No. Schwegler Bird House bird boxes will be erected as high as possible, and sited in sheltered wind-free areas, facing a northerly direction. The exact locations of these bird boxes will be determined by the supervising ecologist, however indicative locations are included on the attached ecological enhancements plan (Plan 3266/EE1).
- 4.14. So as to maximise the benefits of the above enhancements for bats and birds, care will be taken in the placement of external lighting to ensure that no lights are placed near the entrance/exit points of new potential roost / nest sites, and that low spill lighting is employed wherever possible. Lighting situated adjacent to the site boundaries will also be kept to a minimum so as not to disrupt the potential function of hedgerows as a wildlife refuge/corridor for bats and other fauna.

### Play equipment

- 4.15. The Management Agency shall remain responsible for the ongoing general maintenance of the specialised play equipment until such time that the play areas are adopted by Bodicote Parish Council at which point the responsibility for maintenance and general up-keep will be transferred to the Parish Council. The manufacturer's guidelines for ongoing maintenance should be followed to ensure soundness and good working order. Annual RoSPA Inspections should be undertaken to

ensure approved safety of play equipment and RoSPA records maintained on file and issued to the client.

- 4.16. During routine maintenance visits, the Management Agency shall:
- a) Undertake a visual check of all installed play equipment for soundness or damage; including structural supports, joints, fastenings, ropes and general cleanliness. Fixtures and fittings to be refixed where necessary to ensure good working order. Manufacturers should be consulted for any significant hazards identified or maintenance / repair / replacement requirements.
  - b) Any cleaning, painting, treating, adjusting shall be undertaken as necessary and as indicated by manufacturers.
  - c) All impact absorbing surfaces or loose bark chippings surrounding play equipment shall be checked and any disturbed or displaced materials shall be returned from adjacent grass areas or replaced to the original specified depth.
  - d) All surfacing should be maintained as per manufacturer's requirements relating to critical fall heights and in line with appropriate British Standards. All litter, debris and other objects shall be removed and disposed of.
  - e) All posts, rails, structural supports, joints, hinges and fixtures of enclosures to be checked and refixed or replaced on a like for like basis where necessary to ensure good working order. Timbers shall be treated and metalwork shall be painted to match original condition, as considered necessary to ensure increased longevity of materials and fences/ gates.

## 5. LANDSCAPE MAINTENANCE SCHEDULE

### General Works

- 5.1. Visits by the Developer's approved Estate Management Agency will be made to site twice monthly during the growing season (March-October) and monthly for the remainder of the year.
- 5.2. At each visit or following the specific schedule detailed the following activities should be carried out as required to keep the site looking well maintained (where appropriate) and promote plant growth:

#### **A. Amenity Grassland**

1. All litter and other debris collected and removed off-site prior to mowing.
2. Mow fortnightly from April to October (inclusive) or to maintain required height whichever is more frequent.
3. While grass is establishing, it shall be allowed to grow to a height of 50mm – 75mm before the first cut.
4. Generally, grass to be maintained at a height of 25mm-50mm and arisings removed off-site.
5. Edges, banks and grass around obstructions to be strimmed to avoid damage.

#### **B. Meadow grassland**

1. All litter and other debris collected and removed off-site prior to mowing.
2. Cut following flowering of wildflowers and when seeds have ripened and fallen, usually mid August. Further cuts in October and March, and others where necessary, to maintain a height of 50mm to 100mm during the period August to March. Allow to grow freely from March to August.
3. Arisings left in-situ for a period of up to 7 days, to allow seeds to disperse. The arisings subsequently removed off-site.
4. Where topography poses a constraint, arisings may be left in situ.
5. Do not apply fertilisers.
6. No requirement for leaf removal except during regular mowing operations.

7. Removal of unwanted woody self-seeding shrubs and trees to be carried out by hand. Translocated herbicides should not be used in these areas.

### **C. New Trees**

1. All new trees to be checked at each visit. Any operations shall be carried out in accordance with best practice and BS 3998 'Recommendations for Tree Work'.
2. Firm up new trees as necessary until fully established, especially following periods of strong winds. Backfill any collars at the base of the tree caused by rocking.
3. Check stakes and ties and adjusted as necessary to prevent chaffing.
4. Maintain a minimum 1m diameter weed-free area around each tree for the first three growing seasons by either chemical or manual means.
5. Pruning to be carried out to promote the development of good specimens, remove dead, dying or diseased wood, and maintain a well balanced head with a single leader.
6. After 5 years, maintain a clear stem height of 1.8m above ground level. Prune away from street signs, sightlines for vehicles and light fittings, and avoid overhang onto footpaths up to 1.8m above ground level.
7. Any rabbit guards or other protection to be checked and adjusted as necessary. Remove after two growing seasons.
8. Any losses or damage to trees to be noted and brought to the attention of the Managing Agent for replacement, within the first five years from scheme completion.
9. All tree pruning works are to be undertaken outside of the bird-nesting season (i.e. not between 1<sup>st</sup> March and 31<sup>st</sup> August inclusive), where possible. Should this not be possible, a nesting bird check survey should first be carried out by a suitably qualified ecologist. Any active nests identified should be cordoned off and protected until the end of the nesting season or until the nests are no longer active.

### **D. Existing Hedgerows and Hedgerow Trees**

1. All litter caught within the hedge or around it shall be collected and removed off-site.

2. Prune hedge each year between October and February to remove half of new extension growth following original flail cut. After 4 years, prune every other year between October and February.
3. Check and remove dead, dying, damaged or diseased wood where necessary, and any epicormic shoots or potentially weak forks that could fail in adverse weather conditions. Fungal growths should be reported to inform subsequent visits.
10. All tree works are to be carried out by a competent operative in accordance with the 'Recommendations for Tree Work BS 3998: 1989'.
11. All pruning works are to be undertaken outside of the bird-nesting season (i.e. not between 1<sup>st</sup> March and 31<sup>st</sup> August inclusive), where possible. Should this not be possible, a nesting bird check survey should first be carried out by a suitably qualified ecologist. Any active nests identified should be cordoned off and protected until the end of the nesting season or until the nests are no longer active.

#### **E. Shrub Planting Areas**

1. All litter shall be collected and removed off-site.
2. All planting to be kept weed free by either chemical or manual means. Where chemical methods are deemed necessary, a non-toxic organic herbicide should be utilised.
3. Make good all topsoil levels around plants where necessary, and reinstate mulch to a depth of 75mm where disturbed.
4. Pruning of shrubs should benefit the amenity value of the shrub and encourage strong growth. Remove dead, dying or diseased wood.
5. All shrub areas to be cut back from kerb edges, walls, fences and sight lines.
6. All pests and diseases are to be controlled by chemical or manual means.
7. In the first five years from scheme completion, any plant losses are to be noted and brought to the attention of the Managing Agent for replacement. Planting shall be to the original specification, and reinserted in the next available planting season.

#### **F. Watering**

During the establishment period watering visits to be carried out 1-3 times a week between March and October and once a week outside

this period. Beyond this period, the Estate Management Agency shall, when considered necessary, water trees, shrubs and other planted areas during routine maintenance visits until the entire tree pit or planted area is watered to field capacity.

## PLANS



NOTES:  
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No Dimensions to be scaled from this drawing.

**KEY:**

- Site Boundary
- Existing Trees
- Existing Shrubs
- Proposed Trees
- Proposed Hedge
- Proposed Feature Shrub
- Proposed Shrubs
- Proposed Climbers

Planting Species	Quantity	Planting Location	Planting Date	Planting Method
<b>PLANTING SPECIES</b>				
1. No. 1. Acer platanoides	10	Site 1	2023	Standard
2. No. 2. Acer pseudoplatanus	10	Site 2	2023	Standard
3. No. 3. Acer rubrum	10	Site 3	2023	Standard
4. No. 4. Acer saccharinum	10	Site 4	2023	Standard
5. No. 5. Acer spicatum	10	Site 5	2023	Standard
6. No. 6. Acer glabrum	10	Site 6	2023	Standard
7. No. 7. Acer negundo	10	Site 7	2023	Standard
8. No. 8. Acer palmatum	10	Site 8	2023	Standard
9. No. 9. Acer platanoides	10	Site 9	2023	Standard
10. No. 10. Acer pseudoplatanus	10	Site 10	2023	Standard
11. No. 11. Acer rubrum	10	Site 11	2023	Standard
12. No. 12. Acer saccharinum	10	Site 12	2023	Standard
13. No. 13. Acer spicatum	10	Site 13	2023	Standard
14. No. 14. Acer glabrum	10	Site 14	2023	Standard
15. No. 15. Acer negundo	10	Site 15	2023	Standard
16. No. 16. Acer palmatum	10	Site 16	2023	Standard
17. No. 17. Acer platanoides	10	Site 17	2023	Standard
18. No. 18. Acer pseudoplatanus	10	Site 18	2023	Standard
19. No. 19. Acer rubrum	10	Site 19	2023	Standard
20. No. 20. Acer saccharinum	10	Site 20	2023	Standard
21. No. 21. Acer spicatum	10	Site 21	2023	Standard
22. No. 22. Acer glabrum	10	Site 22	2023	Standard
23. No. 23. Acer negundo	10	Site 23	2023	Standard
24. No. 24. Acer palmatum	10	Site 24	2023	Standard
25. No. 25. Acer platanoides	10	Site 25	2023	Standard
26. No. 26. Acer pseudoplatanus	10	Site 26	2023	Standard
27. No. 27. Acer rubrum	10	Site 27	2023	Standard
28. No. 28. Acer saccharinum	10	Site 28	2023	Standard
29. No. 29. Acer spicatum	10	Site 29	2023	Standard
30. No. 30. Acer glabrum	10	Site 30	2023	Standard
31. No. 31. Acer negundo	10	Site 31	2023	Standard
32. No. 32. Acer palmatum	10	Site 32	2023	Standard
33. No. 33. Acer platanoides	10	Site 33	2023	Standard
34. No. 34. Acer pseudoplatanus	10	Site 34	2023	Standard
35. No. 35. Acer rubrum	10	Site 35	2023	Standard
36. No. 36. Acer saccharinum	10	Site 36	2023	Standard
37. No. 37. Acer spicatum	10	Site 37	2023	Standard
38. No. 38. Acer glabrum	10	Site 38	2023	Standard
39. No. 39. Acer negundo	10	Site 39	2023	Standard
40. No. 40. Acer palmatum	10	Site 40	2023	Standard
41. No. 41. Acer platanoides	10	Site 41	2023	Standard
42. No. 42. Acer pseudoplatanus	10	Site 42	2023	Standard
43. No. 43. Acer rubrum	10	Site 43	2023	Standard
44. No. 44. Acer saccharinum	10	Site 44	2023	Standard
45. No. 45. Acer spicatum	10	Site 45	2023	Standard
46. No. 46. Acer glabrum	10	Site 46	2023	Standard
47. No. 47. Acer negundo	10	Site 47	2023	Standard
48. No. 48. Acer palmatum	10	Site 48	2023	Standard
49. No. 49. Acer platanoides	10	Site 49	2023	Standard
50. No. 50. Acer pseudoplatanus	10	Site 50	2023	Standard
51. No. 51. Acer rubrum	10	Site 51	2023	Standard
52. No. 52. Acer saccharinum	10	Site 52	2023	Standard
53. No. 53. Acer spicatum	10	Site 53	2023	Standard
54. No. 54. Acer glabrum	10	Site 54	2023	Standard
55. No. 55. Acer negundo	10	Site 55	2023	Standard
56. No. 56. Acer palmatum	10	Site 56	2023	Standard
57. No. 57. Acer platanoides	10	Site 57	2023	Standard
58. No. 58. Acer pseudoplatanus	10	Site 58	2023	Standard
59. No. 59. Acer rubrum	10	Site 59	2023	Standard
60. No. 60. Acer saccharinum	10	Site 60	2023	Standard
61. No. 61. Acer spicatum	10	Site 61	2023	Standard
62. No. 62. Acer glabrum	10	Site 62	2023	Standard
63. No. 63. Acer negundo	10	Site 63	2023	Standard
64. No. 64. Acer palmatum	10	Site 64	2023	Standard
65. No. 65. Acer platanoides	10	Site 65	2023	Standard
66. No. 66. Acer pseudoplatanus	10	Site 66	2023	Standard
67. No. 67. Acer rubrum	10	Site 67	2023	Standard
68. No. 68. Acer saccharinum	10	Site 68	2023	Standard
69. No. 69. Acer spicatum	10	Site 69	2023	Standard
70. No. 70. Acer glabrum	10	Site 70	2023	Standard
71. No. 71. Acer negundo	10	Site 71	2023	Standard
72. No. 72. Acer palmatum	10	Site 72	2023	Standard
73. No. 73. Acer platanoides	10	Site 73	2023	Standard
74. No. 74. Acer pseudoplatanus	10	Site 74	2023	Standard
75. No. 75. Acer rubrum	10	Site 75	2023	Standard
76. No. 76. Acer saccharinum	10	Site 76	2023	Standard
77. No. 77. Acer spicatum	10	Site 77	2023	Standard
78. No. 78. Acer glabrum	10	Site 78	2023	Standard
79. No. 79. Acer negundo	10	Site 79	2023	Standard
80. No. 80. Acer palmatum	10	Site 80	2023	Standard
81. No. 81. Acer platanoides	10	Site 81	2023	Standard
82. No. 82. Acer pseudoplatanus	10	Site 82	2023	Standard
83. No. 83. Acer rubrum	10	Site 83	2023	Standard
84. No. 84. Acer saccharinum	10	Site 84	2023	Standard
85. No. 85. Acer spicatum	10	Site 85	2023	Standard
86. No. 86. Acer glabrum	10	Site 86	2023	Standard
87. No. 87. Acer negundo	10	Site 87	2023	Standard
88. No. 88. Acer palmatum	10	Site 88	2023	Standard
89. No. 89. Acer platanoides	10	Site 89	2023	Standard
90. No. 90. Acer pseudoplatanus	10	Site 90	2023	Standard
91. No. 91. Acer rubrum	10	Site 91	2023	Standard
92. No. 92. Acer saccharinum	10	Site 92	2023	Standard
93. No. 93. Acer spicatum	10	Site 93	2023	Standard
94. No. 94. Acer glabrum	10	Site 94	2023	Standard
95. No. 95. Acer negundo	10	Site 95	2023	Standard
96. No. 96. Acer palmatum	10	Site 96	2023	Standard
97. No. 97. Acer platanoides	10	Site 97	2023	Standard
98. No. 98. Acer pseudoplatanus	10	Site 98	2023	Standard
99. No. 99. Acer rubrum	10	Site 99	2023	Standard
100. No. 100. Acer saccharinum	10	Site 100	2023	Standard

**PLANTING NOTES**  
 All plants to be supplied in accordance with the HTA 'National Plant Specification' and from a HTA certified nursery. All plants and trees to be planted in accordance with BS5836. Delivery and handling of all plant material to be in accordance with BS4293/CLC/CPSE Code of Practice for Handling and Establishing Landscape Plants Parts 1, 2 and 3. All excavated areas to be backfilled with either site won topsoil or imported topsoil to be BS3885-General purpose grade. All topsoiled areas to be clear of rocks and rubble larger than 50mm diameter and any other debris that may interfere with the establishment of plants. Tree pits in soft landscaping to be excavated to 1000mm depth prior to topsoiling and all shrub planting areas excavated to 450mm depth. All plants shall be planted in a random fashion avoiding formal regimented lines or densities indicated in the schedule, unless otherwise specified. Unless otherwise specified, all hedgerows shall be planted in a double staggered rows and hedgerow trees shall be planted in groups of 9, 13 & 15. All plants shall be watered in to field capacity immediately after planting and mulched with 50mm depth of medium grade crushed bark. All trees to be double staked with cross bar and feet, using 7.5m long, 75mm diameter rounded tree stakes. Tree stakes, rubber tie and spacer block. Stakes not to extend more than 600mm above ground level. All trees with bare root/wholly bare root shall be deep staked to 1.5m high unless otherwise specified. Planting and associated operations shall comply with BS4043, BS4428 and BS5837. Root barriers (RiRoot 1000 or equivalent) to be installed adjacent to buildings and services where necessary. Unless otherwise stated planting shall be carried out during the period of 1 Nov to 31 March when the ground is not frozen or waterlogged. If planting is required outside this period agreement shall be sought and all bare root plants shall be substituted with container grown stock. All Frustrus species to be UK-grown specimens from healthy, disease-free stock and from reputable suppliers and HTA certified nurseries.

**PROTECTION OF EXISTING VEGETATION TO BE RETAINED**  
 Existing trees to be retained shall be protected in accordance with BS5837, from commencement to completion of all works on site.

**aspect landscape planning**

TITLE  
 Longford Park, Banbury  
 Phase 1 - Planting Plan Overview

CLIENT  
 Barratt Homes, Bovis & Taylor Wimpey Homes

SCALE  
 Not to Scale

DATE  
 JUL 2013

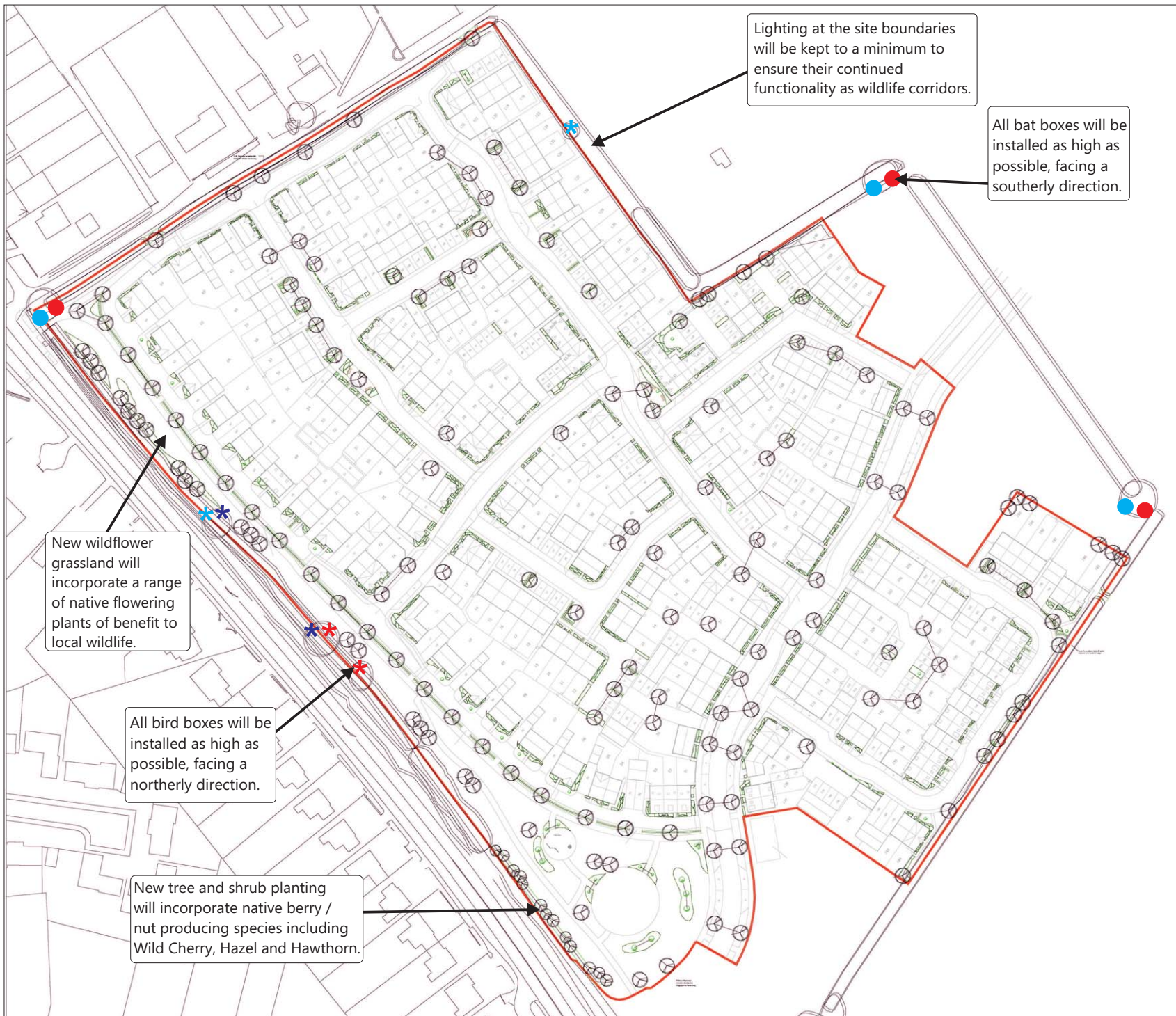
DRAWN  
 CW

DRAWING NUMBER  
 5205/ ASP 1.0











REVISION  
 E

Based on Architects drawing C1618 P001 D





KEY:

-   Schwegler 1B Bird Box
-   Schwegler 2M Bird Box
-   Schwegler Bird House
-   Schwegler 2FN Bat Box
-   Schwegler 1FF Bat Box

LONGFORD PARK, BANBURY PROJECT

ECOLOGICAL ENHANCEMENTS TITLE

3266/EE1 DRAWING NO.

OCTOBER 2013 DATE



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