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KEY

- Site Boundary
- Extent of Employment Allocated Land
- Structural Landscape planting including Existing woodlands, Proposed Amenity and Sustainable Drainage System (SuDS)
- Indicative route of Green fingers/ wildlife corridors; Final location /extent to be determined at Reserved Matters Stage
- Parameter of Green fingers/ wildlife corridors; Final location /extent to be determined at Reserved Matters Stage
- Development Area; including roads, parking and service yards; Max. 20m Ridge Height Details at Reserved Matters Stage 227,511m² (2,448,908 ft²)
- Existing D20 Substation
- Existing Thames Water Pumping Station
- New Sub-stations (as part of EAR Dev.)
- New Bat Barn
- Indicative location for Potential Primary Power Station

Refer to 410_S-50 Indicative Proposed Plan and ABA's Transport Report for detailed Gate/ Entrance Layout

P4	17/10/2022	FOR PLANNING: SITE BOUNDARY UPDATED
P3	13/05/2022	FOR PLANNING (OUTLINE)
P2	10/05/2022	FOR COMMENTS
P1	09/05/2022	FOR DISCUSSION

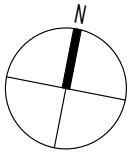
Revisions

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Client	Graven Hill Purchaser Ltd	Project No.
Project	Graven Hill D1 Site, Bicester	410

Drawing Title
PROPOSED LAYOUT PARAMETER PLAN

Status	Drawn	Checked
PRELIMINARY	JH	GO
Scale	Date	
1:2000 @A1	MAY 2022	
Drawing Number	Revision	
410_S-51	P4	



Proposed Layout Parameter Plan

0m 40m 100m 200m 400m