

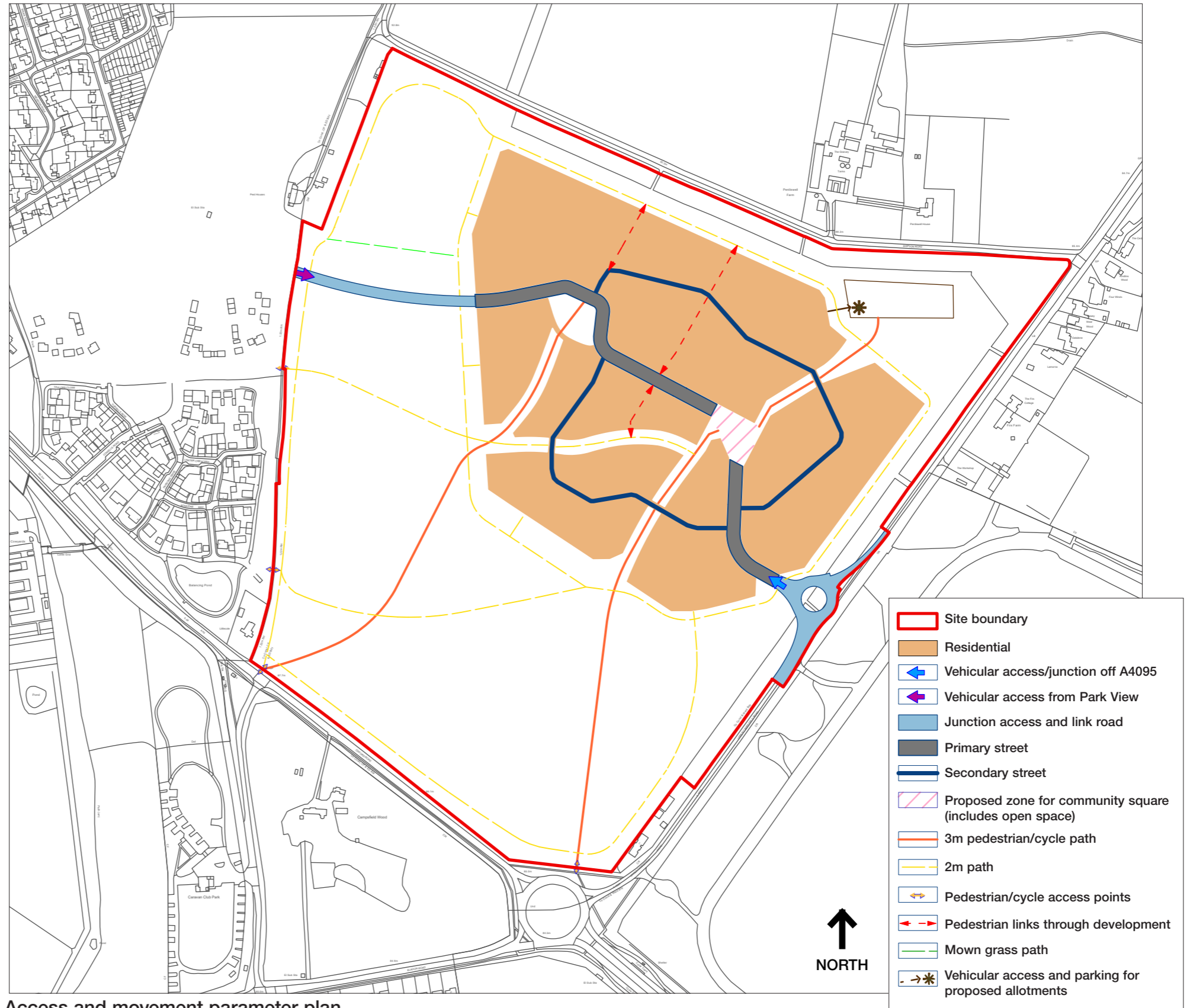
08 PROPOSAL

Access and movement parameter plan

8.11 The access strategy beyond the internal street network is based around the promotion of pedestrian and cycle routes through the site encouraging active travel. Please refer to page 71 for sustainable connections to Park View and Woodstock.

8.12 The alignment of these routes is designed to provide informal recreational routes along with direct connections to local destinations.

8.13 A primary street is proposed through the centre of the development, before linking up with the street network in Park View.



Access and movement parameter plan

08 PROPOSAL

Building heights parameter plan

8.14 The Cherwell Residential Design guide states that proposed building scale should respond to local context and that in the majority of areas 2 or 3 storeys are appropriate.

8.15 The analysis in chapter 4 illustrates the scale of the surrounding context, and in particular the heights of homes around the site area and at Park View, where even 2 storey homes are of a substantial scale.

8.16 Therefore, the strategy for the scale of the urban form is:

- To respond to the scale of the town, in particular along the conservation area edge and a considered response to Park View, which is of substantial scale
- To help define the main routes through the built form, aiding a feeling of enclosure.

8.17 The maximum building height will be 3 storeys in the central core, however a variation in building and roof heights within the range shown in the building heights parameter plan will add interest to the townscape and create a varied roofscape more characteristic of the older parts of Woodstock (please refer to the LVIA for further information regarding important views, representative viewpoints and photowires).

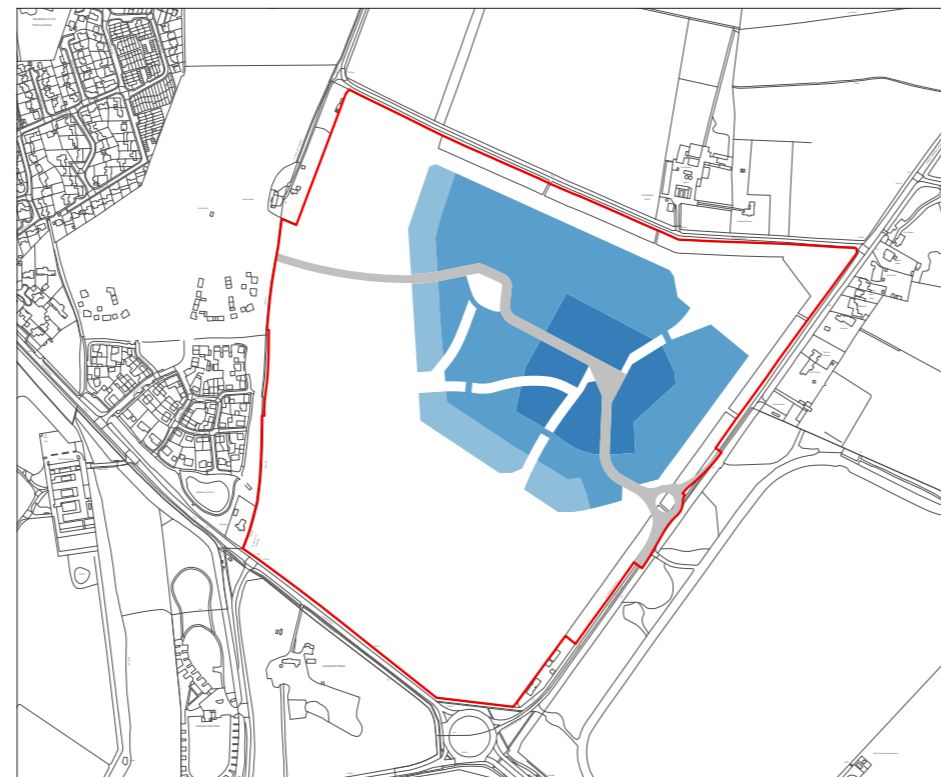
Building density parameter plan

8.18 The Cherwell Residential Design Guide states that mid-level densities of 30-40dph would be expected on most strategic sites. However, density is not in itself a reliable indicator of character.

8.19 Therefore, the building density parameter plan applies for up to 500 units at an average net residential density of 34 dwellings per hectare.

8.20 However, across the built form, density will vary to respond to its context and townscape role. For example, along the southern and western edges, density should reduce from this average to respond to the parkland context, whereas development towards the core area should slightly increase in density.

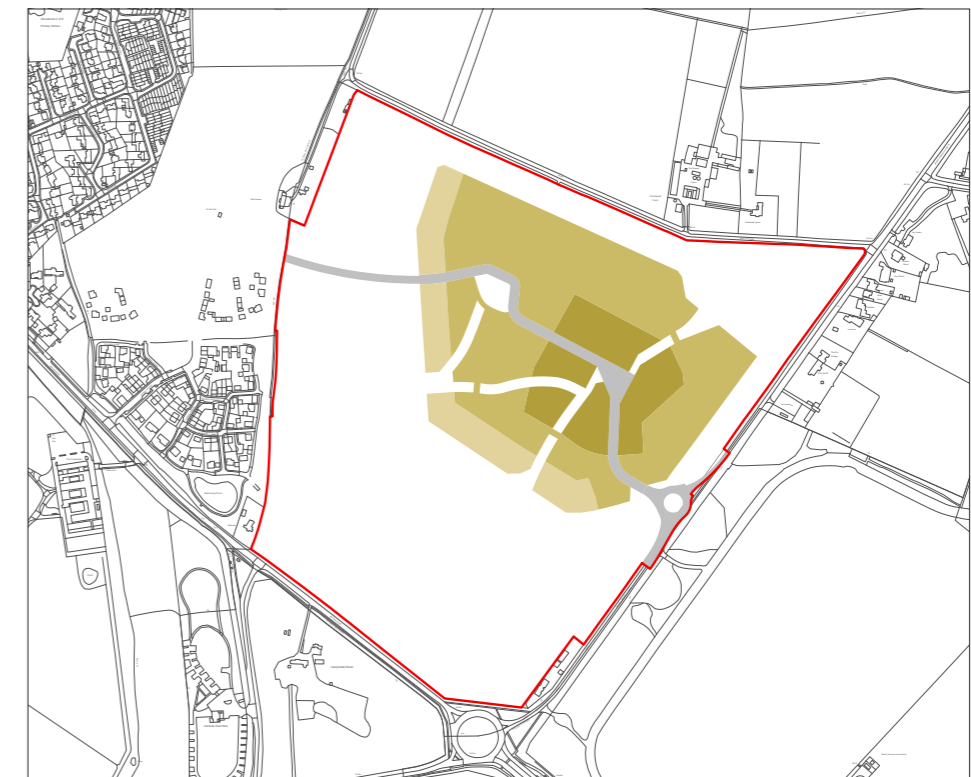
Building heights parameter plan



- Site boundary
- Up to 2 storey (9m)
- Up to 2.5 storeys (10m)
- Up to 3 storeys (11.5m)

Note: heights given exclude a further 1m of potential additional land raising above existing AOD.

Building density parameter plan



- Site boundary
- Residential density 27.5dph
- Residential density 34dph
- Residential density 42dph
- Primary street, junction and link to Park View

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URBAN PRINCIPLES

8.21 The urban principles for the masterplan, relating to the built form, are illustrated opposite and on the following pages:

- Block form page 57
- Typologies and materials page 58
- Street hierarchy page 68
- Character and formality page 73.

8.22 The key urban principles are:

- A clear and legible street network and hierarchy of streets
- A variation in formality, created through massing and enclosure
- A highly permeable layout which allows pedestrians and cyclists to move freely between all parts of the site and the wider area
- Key areas of public realm strongly linked both physically and visually
- Strategic urban forms that mark the arrival from the eastern and western boundaries
- Vistas that culminate at marker buildings to aid orientation
- Attractive and safe public open space accessible to all users
- A new neighbourhood to the town, respecting local character.

8.23 The site will feature a perimeter block structure, comprising small residential blocks with active frontages to the street. This will create a safe, permeable site (including an internal looping street network) which offers the pedestrian a choice of routes.

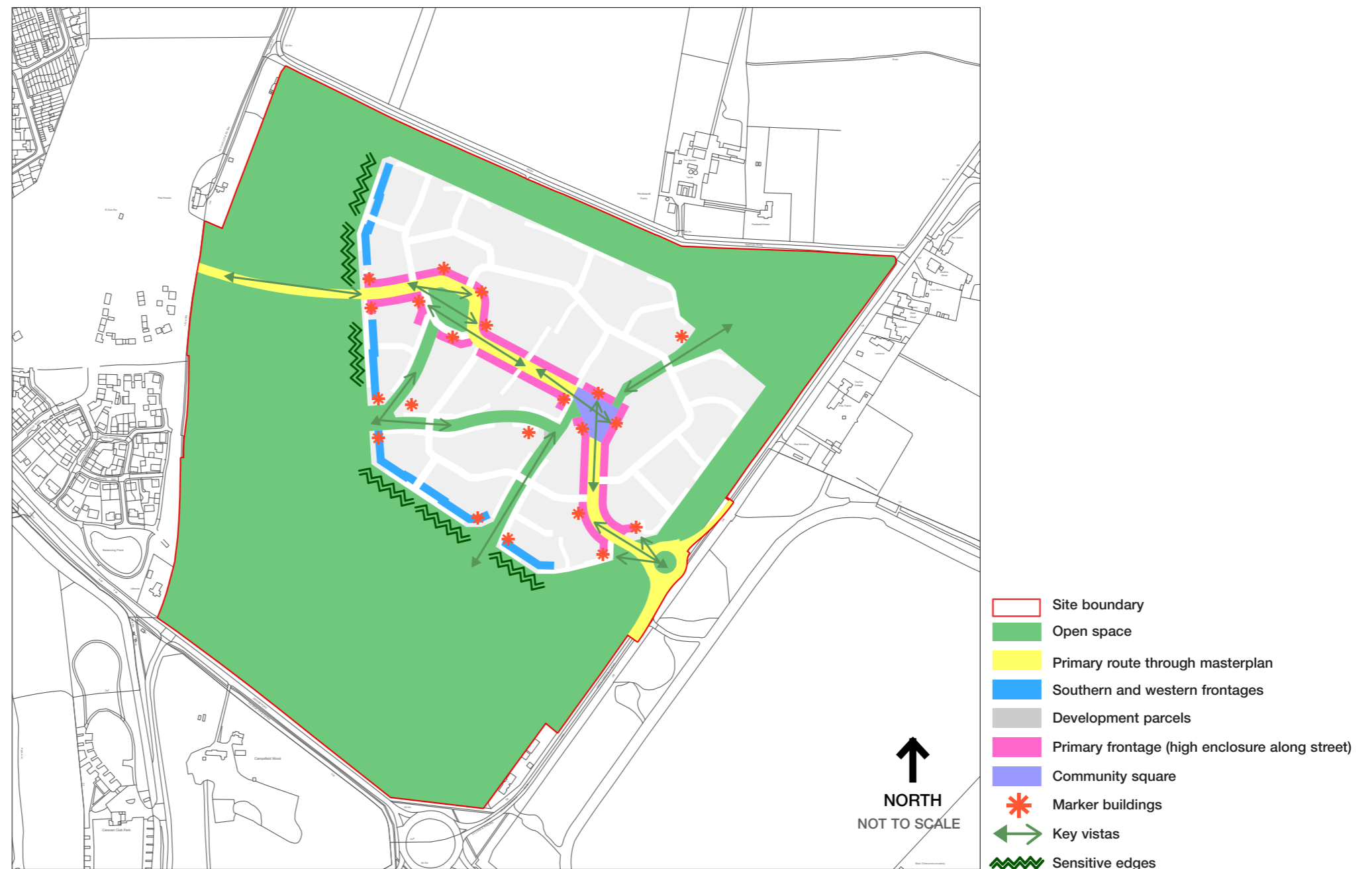
8.24 Buildings should generally front the street and should be used, along with boundary treatments, to enclose spaces and define public/private areas. This will help create a pedestrian scale environment. The level of enclosure will vary depending on the street type, for example

the primary street should feature a higher level of enclosure. All blocks and plots will retain a strong boundary on elevations facing streets and public spaces. Prominent blank elevations onto the public realm are not acceptable. Buildings on street corners will be appropriately designed to 'turn the corner' to avoid prominent blank or largely empty building elevations. Building typologies and proposed materials are explained on page 58.

8.25 Visual interest is of utmost importance and will be provided through variation in frontage widths, occasional changes in building line and a varied skyline/roofscape (including use of chimneys). In addition, key views will be aligned to focal spaces, for example the variety of views that lead into/out from the centre of the site along the primary route and green corridors. Marker buildings should create local identity, providing reference

points to enhance legibility, wayfinding and to mark key spaces. They should be distinguishable from the prevailing urban form, achieved through material change, orientation or scale.

8.26 Street design is responsive to hierarchy, character and location, and illustrated on page 68. Character and formality is illustrated on page 73.



Urban principles plan

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BLOCK FORM

8.27 The Cherwell Residential Design Guide provides reference for the arrangement of plots, buildings and street form.

8.28 Private and public spaces should be well defined, and facades fronting the public realm should be active to encourage social interaction and provide natural surveillance of the space. This arrangement creates a perimeter block with buildings fronting and providing a frame to the street and open spaces.

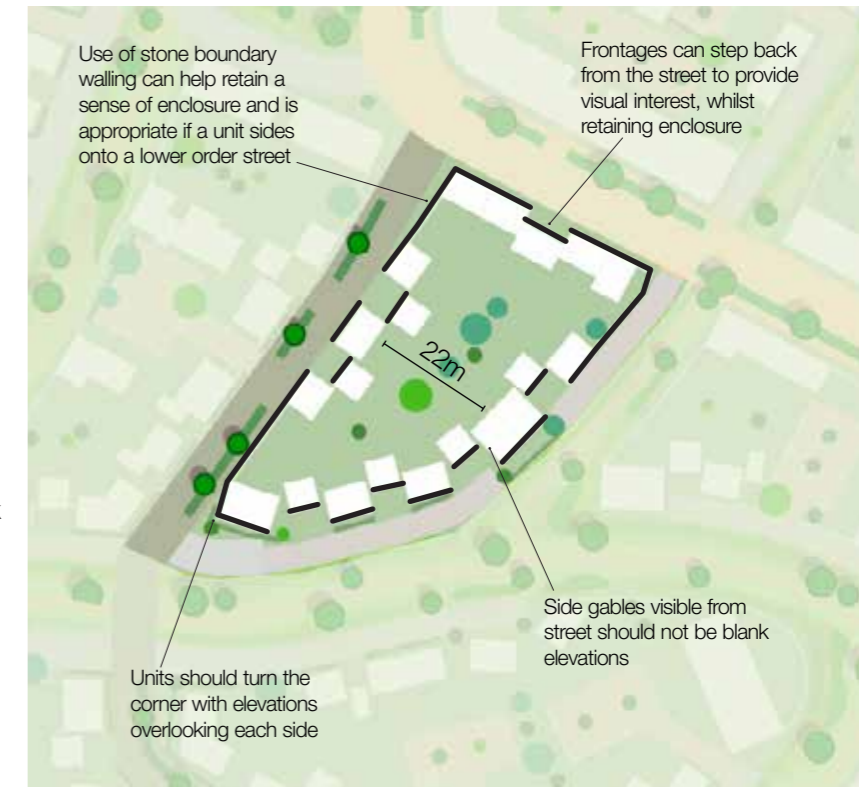
8.29 The illustrative masterplan features a variety of sizes and shapes of blocks, but they all can be classed as perimeter blocks. The key difference is where a perimeter block includes rear courtyard parking, as set out opposite.



Illustrative masterplan perimeter blocks

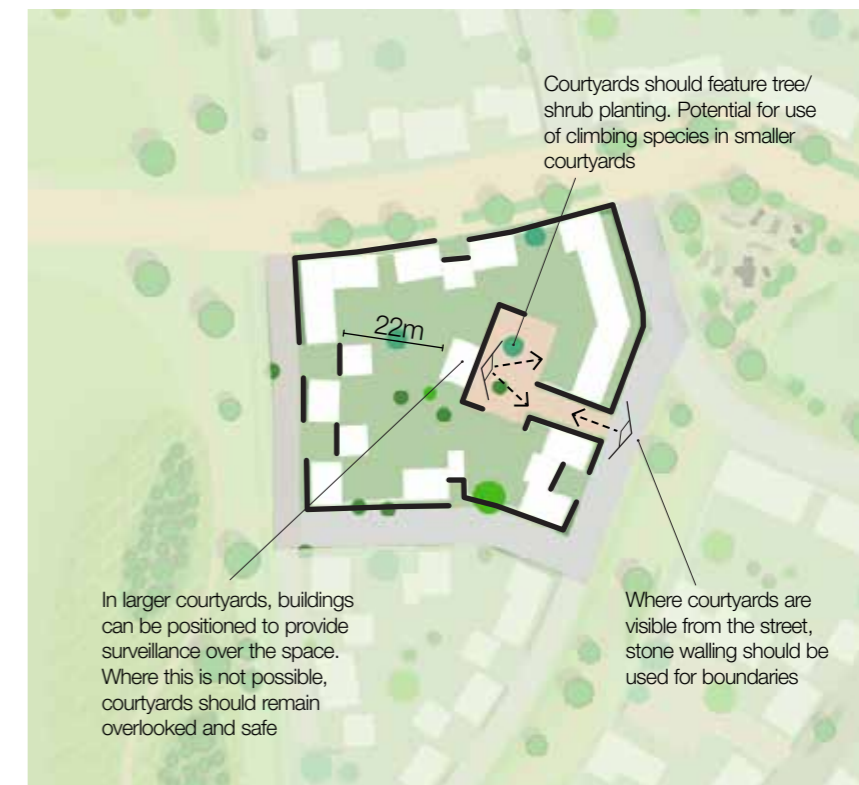
8.30 ① Perimeter block key features:

- Clear definition of public and private space, achieved through building position and boundary treatment. Taller boundary walls can also be used to reinforce the block form, enclose the street and restrict views to private spaces
- The principal frontage of the proposed building should face the street
- Blank building facades should be avoided
- Division between public and private space can be reinforced through boundary treatments (see page 58)
- Well positioned garages should be 6m from back of pavement
- Minimum back-to-back distances should be 22m
- Buildings and/or roofs should be orientated for solar efficiency.



8.31 ② Perimeter block with rear courtyard parking key features:

- Follows the same principles as a standard perimeter block
- Considered use of boundary materials and shrub/tree planting within courtyard to help create an attractive space
- Parking courts should be overlooked by the properties they serve, and where possible, include units within the courtyard to help with surveillance
- They should serve no more than 6 properties
- Visitor parking should be provided within the street
- Access to parking courts should be via a lane, or through narrow carriage arches when street enclosure is higher, such as along the primary street
- In some more informal locations the parking court could feature as part of a mews, with 2 connecting lanes to streets.



08 PROPOSAL

TYOLOGIES

8.32 Streets should feature a harmonious composition of buildings that contribute to the overall legibility and character of the place.

8.33 Simple traditional building forms based on a rectangular plan should be used, as these reflect the local character and can be grouped together to form a continuous street frontage accommodating a range of building sizes. Detached and terrace house types should be the predominant form, with a lower percentage use of semi-detached units. Where apartments are used they should be designed to be subtly integrated into the street form.

8.34 Wide frontage, narrow plan and narrow frontage, deep plan units can be used, but both should feature simple facades with either formal/classical proportions, or more informal/vernacular proportions. Narrow frontage homes with a gable can be used on occasion, where gables are used they should be narrow when visible from the public realm. Bespoke house types should address important landmark/marker locations. Where an elevation “turns the corner” on a primary street, it should be formed of a group or terrace of buildings. On a crescent or angled/cranked street, the building elevation can either be angled/cranked. For more information please refer to the Cherwell Residential Design Guide.

8.35 In terms of roof design, homes should generally feature a steep pitched roof of around 40 degrees, with ridgelines aligned parallel to the street. Hipped and pyramid roofs should be avoided. In addition to the building providing a definition between public and private, enclosure by walls, fences, hedges and other threshold features are appropriate. Front garden walls should be around 90cm high in the same material as the front wall of the house, unless it is render where brick or stone should be used. Fences should not be used where clearly visible from the public realm, and where rear and side garden walls separate the public realm from private spaces, these should be at least 1.5m high and should be in the same material as the front external wall.



8.36 Occasional use of dormer windows, when kept in alignment with windows below. Chimneys should be positioned on roof ridgeline.



8.37 Façade should be simple with either vernacular or classic proportions depending on character area. Use of simple porches.



8.38 Terrace homes help provide a near continuous built frontage to the street, in line with the principles for perimeter blocks. Where parking is provided in courts, lanes or carriage arches should be used to provide access.



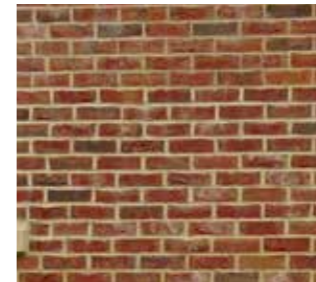
8.39 Apartment buildings should be indistinguishable from individual houses and subtly integrated into the street. They should be designed to resemble a larger detached or townhouse properties/terrace, with a formal façade.

MATERIALS

8.40 The use of materials should be in response to the local character. The majority of the masterplan should have a simple palette of high-quality materials. Natural local stone and slate will be used in key locations and entrances into the site and form around 50% of the masterplan area. Where stone is used it should not be reconstituted or artificial. Natural stone may be used as a way of reinforcing the character of key spaces, and for marker buildings. However, the use of materials should create visual harmony across the street and avoid a pepper-potting approach.

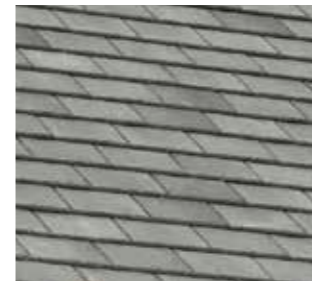
Walls

8.41 Use of Cotswold limestone, soft toned red brick (to match Banbury or Bicester brick), along with occasional whitewashed brickwork. Limited use of light colour render may be used.



Roofs

8.42 Plain dark toned slates or plain red clay tiles.



Boundaries

8.43 Walling should be of the same material as the main building, either stone or brick. Use of hedges and metal railings may also be appropriate. Prominent boundaries visible from the public realm, including views of parking courtyards, should be taller stone or brick walled.



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3D illustrative sketch view looking west

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LANDSCAPE STRATEGY

Landscape Framework

8.44 The aims of the landscape framework are:

- Retain and enhance the open semi-rural approach into historic Woodstock and the important setting to the world heritage site of Blenheim Palace and scheduled ancient monument
- Retain and enhance important landscape features such as the woodland tree belts along the northern and eastern boundaries
- Mitigate any potential effects on the local landscape character and people's experience of the surrounding landscape
- Create an attractive and verdant landscape setting for the new homes creating a distinct and identifiable place to live and visit
- Provide a variety of open spaces to meet the needs of the new and existing communities that supports positive and multi-functional landscape
- Create a strong and well-connected green network of open spaces to support wildlife, enhance biodiversity and amenity value of the site
- Create an accessible open space with new footpaths and cycle links, providing connectivity through the site, to Woodstock, Park View, the local school and the wider countryside
- Ensure sufficient space is given to new tree planting to enhance the development setting and soften the built form
- Ensure that drainage proposals are carefully integrated into the green network and deliver benefits for biodiversity.

8.45 To achieve these aims, the landscape framework has been defined by a series of interlinking green spaces. These key spaces have been identified as:

1. Parkland
2. Development edge and gateway
3. Community park
4. Greenways
5. Greenlinks.

8.46 The arrangement of these spaces is explained further on the following pages.



Landscape framework plan

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Parkland

8.47 A significant area of green infrastructure is proposed along the site's southern and western boundary. It will create an identifiable and high-quality landscape setting to Blenheim Palace WHS and that will also create a clear sense of arrival to the historic town of Woodstock.

8.48 The design intent is to create an open informal parkland setting through a 'light touch' approach, using a simple layering effect of an expansive area of wildflower meadow, which merges into long grassland margins, to swathes of native scrub planting alongside the existing hedgerows on periphery of the parkland to the south and west, with large specimen trees scattered throughout the landscape.

8.49 The site's western hedgerow is to be reinforced with new infill planting of mixed native species. To the south of the parkland, the existing hedgerow is to be supplemented with new hedgerow tree planting in accordance with the mitigation measures set out as part of the Park View development.

8.50 A strong belt of small woodland groups along the southern development edge will filter and soften views of the development and provide a transitional zone between the parkland and development.

8.51 The Blenheim Villa scheduled ancient monument is a key heritage asset within the parkland. No physical remains are visible above ground however, there is an historic south eastern aspect associated with the SAM. This has been sensitively integrated by providing an open, natural setting with only a few scattered individual trees throughout the eastern extents of the parkland. The heritage section sets out further enhancement opportunities.

8.52 A series of footpaths and cycleways will cross the parkland providing connections to Woodstock and the transport corridor of the A44.

8.53 In the north-west corner of the parkland, the proposals include an amenity and recreational resource in the form of a local park. It will comprise an area for an informal kick about space, seating, tree and shrub planting and a community orchard.



Parkland area

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Development edge and gateway

8.54 This linear green space on the site's development edge frames the housing and provides a sense of enclosure within a wooded setting which is defined by the existing retained woodland belts. It creates an important green corridor which links people and wildlife to the wider landscape proposals.

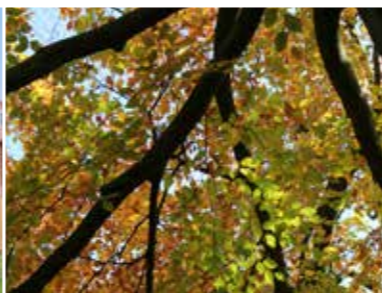
8.55 It will be an informal naturalistic landscape with opportunities for localised natural, explorative and imaginative play. A series of footpaths will wind through the space helping to create an accessible open space network with the wider landscape proposals.

8.56 The existing woodland belts will largely be retained and enhanced, with the exception of the tree removals required to accommodate the new junction. The enhancements will support existing and new habitats, whilst improving its landscape structure. This will be achieved through infill tree planting and scalloped edges, with layers of native scrub planting and long grassland margins to promote ecological diversity. A new block of woodland planting will be provided adjacent to the new junction to mitigate the tree removals and to help to define a new setting for the gateway into the site.

8.57 The woodland belt provides a degree of separation between the site and the wider landscape setting, limiting visibility of the development from the wider landscape towards the WHS. The natural gap in the woodland belt along Shipton Lane will remain open, to retain an uninterrupted view across the proposed parkland towards the WHS.



Development edge and gateway plan



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Community Park

8.58 This will be a vibrant and intensively used space focused around the community. It will contain an area of allotments, combined Neighbourhood Equipped Area of Play and Local Equipped Area of Play, community garden and a community orchard. It will be a space focused around growing, social interaction and community events. This area will include new tree and shrub planting, seating and a series of footpaths.



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Greenways

8.59 The greenways will create a strong landscape structure through the development area (approximately 15m wide) providing important spaces for both people and wildlife. The greenways alignment has been derived by the key movement routes across the site from the western and southern points of interest, towards the community park and linking to the primary road infrastructure and development edges.

8.60 A key focal green space is proposed within the greenway adjacent to the primary street. The space will be overlooked by the development and will contain a combined Local Equipped Area of Play and Local Area of Play. Opportunities for long grassland meadows, pockets of wildflower meadows, tree and shrub planting will enhance the local biodiversity and the greenways role as a wildlife corridor. Natural play and small attenuation features will also weave through these greenways.



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Green links

8.61 Whilst the final design and alignment will be established at the reserved matters application stage, the green links will create an additional layer of incidental open spaces connecting the larger green corridors with the surrounding open spaces. They will principally be movement corridors but could further support biodiversity and enhance the character and appearance across the development.

8.62 These will be smaller, intimate, human scale spaces providing low key routes, seating, shrub and tree planting to support wildlife and long and short grass margins.

