

# 05 CHAPTER 05 SUMMARY

## SUMMARY TABLE

5.33 The table below highlights the key points from chapter 5 that create design cues for the emerging masterplan and establish the structuring principles, which are illustrated on pages 44-45.

	Analysis	Key points	Design cue
DC 8	<p>Chapter 05 Site description</p> 	<p>Key site features including the view from Shipton Road towards the World Heritage Site, views towards Park View, the tree corridor along Upper Campsfield Road, and the southern edge along Oxford Road</p>	<p>Edge treatments will respond to their context. Retaining the tree corridors on the northern and eastern edge. View towards the World Heritage Site will remain and not be affected by the development</p>
DC 9	<p>Chapter 05 Topography</p> 	<p>The site has a relatively flat topography increasing from 85 to 92 east to west</p>	<p>The drainage strategy will need to take into account the flat nature of the site and utilise a SuDS network of drainage features</p>
DC 10	<p>Chapter 05 Heritage</p> 	<p>The site contains a number of areas of archaeological interests predominantly located on the western part of the site as well as the north-east. The SAM is one of the main constraints that the design needs to manage</p>	<p>The design should protect heritage assets and the SAM on the western part of the site. Development to be pulled back from these areas and to be safeguarded in areas of open space</p>
DC 11	<p>Chapter 05 Existing landscape</p> 	<p>Along the northern and eastern boundaries of the site lies a semi-natural woodland belt. Its southern and western boundaries are characterised by a mix of hedgerow and hedgerow trees. The north western boundary is bound by a semi mature tree belt</p>	<p>The northern and eastern woodland belt will provide a key landscape feature and will be maintained, slightly separating the masterplan from the wider context but still providing ecological benefits. The site's vegetation is an important asset that the masterplan will retain and seek to enhance through its landscape framework</p>
DC 12	<p>Chapter 05 Site edges and interfaces</p> 	<p>The site features a variety of edge conditions, including edges containing tree belts, edges bounding onto Park View development and bounding onto the Oxford Road</p>	<p>The masterplan will respond to each edge positively, and retain as they are currently. Any loss of vegetation to the eastern tree belt will look to replant these within the site</p>
DC 13	<p>Chapter 05 Site constraints</p> 	<p>A primary constraint is the SAM and areas of archeological interest. Other constraints include the setting of the WHS, and the existing trees along the north and eastern edge in terms of access</p>	<p>The masterplan should include a green open space buffer along the western and southern edge to mitigate any impact on the SAM and WHS settings. Further investigation into the impact on tree belt resulting from new access, and option to replant any tree loss into the masterplan</p>





View of site from Oxford Road looking north

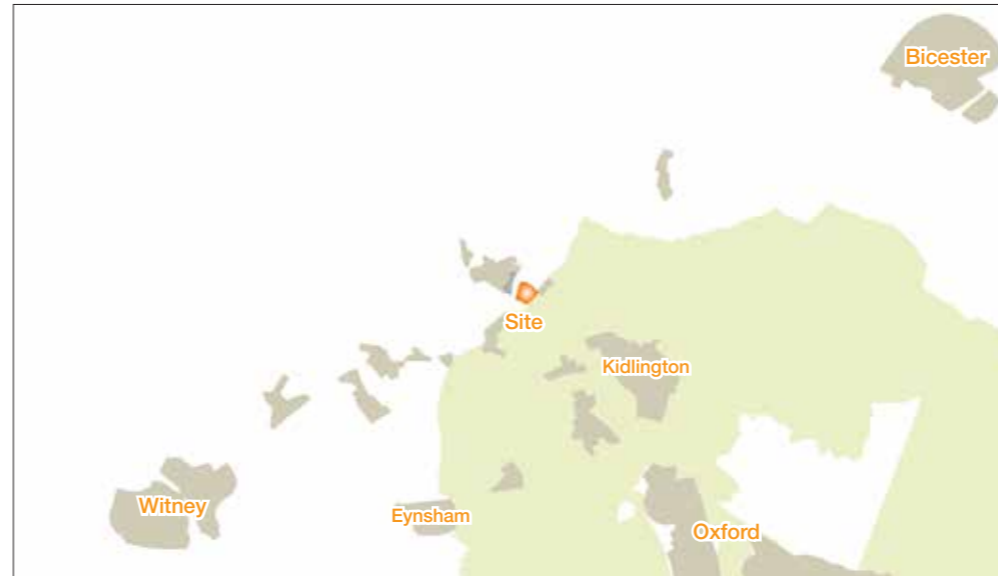


# 06 RATIONALE FOR GROWTH

## RATIONALE FOR GROWTH

6.1 This section highlights the strategic position of the site, and how Land East of Park View can deliver a highly sustainable new neighbourhood, fully aligned with the settlement pattern that has developed over time.

6.2 The series of plans shown opposite illustrate the strategic benefits and demonstrates a clear rationale for growth in this location.



### Outside Green Belt

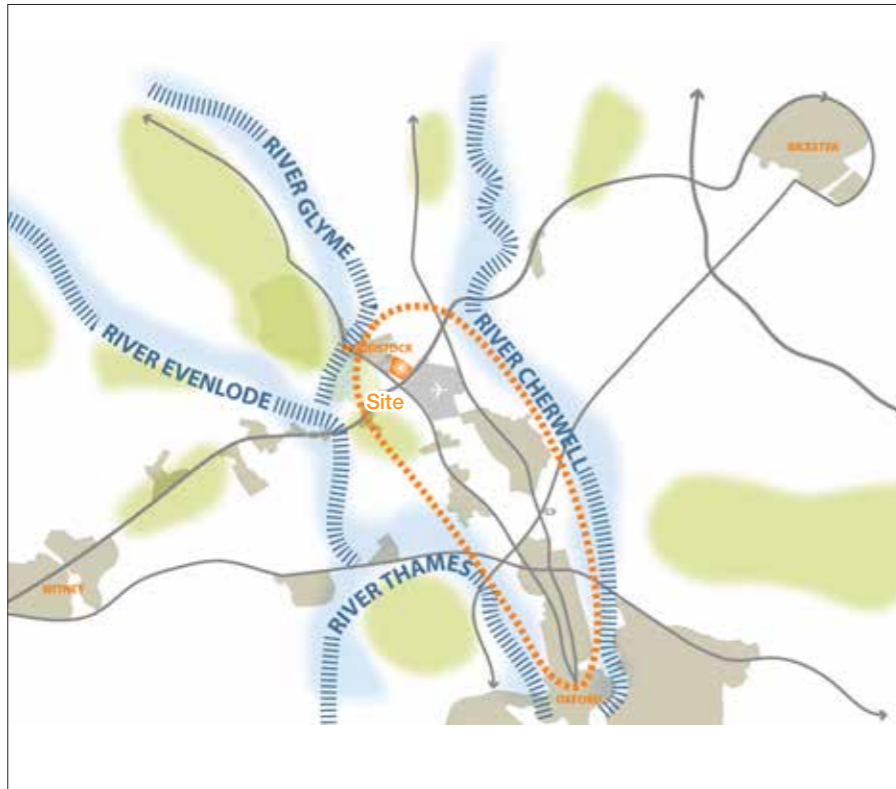
The site is ideally located being outside the Green Belt but still close to Oxford and major transport hubs.



### Central to Witney and Bicester corridor

Growth at this location follows the current settlement pattern with a necklace of smaller scale settlements along the A4095.

# 06 RATIONALE FOR GROWTH



### Replicating natural patterns of growth

Key watercourses and topography have shaped growth to the north of Oxford. The site lies within a corridor of relatively unconstrained land where surrounding growth has occurred naturally along key movement corridors.



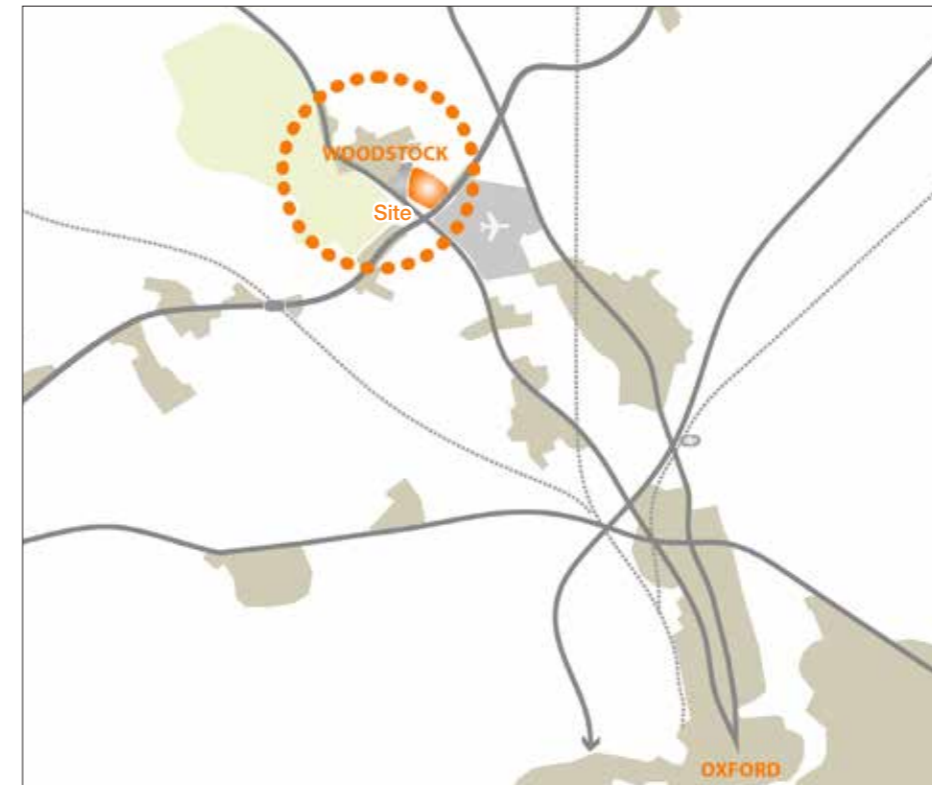
### Proximity to strategic employment sites

Major employment sites are located south of London Oxford Airport and within Oxford. Locating housing close to these major employers will help to create sustainable patterns of transport.



### Proximity to Oxford and excellent connections

The site has excellent connections to Oxford and key transport hubs including Oxford Parkway Station. There are also dedicated cycle and bus routes into Oxford along the A44.



### Benefiting from Woodstock's unique character and facilities

Sensitive development to the south east of Woodstock will benefit from excellent facilities available within the market town of Woodstock and help maintain its vibrancy.




# 07 DESIGN DEVELOPMENT

7.1 The following section outlines how the concept framework emerged through a detailed understanding of the site, with the analysis undertaken forming the structuring and spatial principles through a series of evolving concept masterplans.




**Site access**

The site's main vehicular access will be from Upper Campsfield Road/ A4095. An additional access point will come from Park View from the west and will only be used by bus and cycle.



**Views and setting**

A significant area of open space to the south and west of the site will protect and integrate a number of important assets which contribute to the landscape character and setting of the site. This includes the SAM and its historic south eastern aspect across the southern part of the site, a viewpoint of interest from Shipton Road across the site towards the wooded setting of the WHS and the 'green' gateway into the historic town of Woodstock and the WHS.



**Heritage areas**

Informed by our heritage review, the site possesses a few areas of archeological interest and the Blenheim Villa scheduled ancient monument (SAM). These are primarily located on the western part of the site which creates a north-south heritage corridor. This area will be respected with no development located in or around the corridor; instead landscaping will help retain and enhance the areas of archeological interest.




**Development blocks**

The development parcels emerge around the green corridors to form distinct areas for residential use.



# 07 DESIGN DEVELOPMENT



**Primary road and focal spaces**

The primary road for the site will come from Upper Campsfield Road and connect into the Park View. A series of spaces are created which are in keeping with Park View and produce a rhythm along the primary road, each are less than 5min walk apart.



**Green corridors**

Green corridors will run through the development area to connect to the wider surrounding landscape. These will help connect the north eastern part to the south west.



**Landscape opportunities**

The surrounding area gives opportunity for high-quality landscaping with three main areas arising. There is possibility to incorporate play space and allotments in the north east area; this green space is connected through the green corridors to the south western green space. The larger space helps retain the SAM whilst using the area for open rural parkland. The north western area will be used as an informal recreation space.



**Connectivity**

A network of pedestrian/cycle routes start to form around the development area and surrounding landscape. These will help bring sustainable routes to Park View to the west, to Oxford Road to the south which gives access to existing bus routes, and to Bladon Roundabout where a proposed Park and Ride is to be located.



# 07 DESIGN DEVELOPMENT

## MASTERPLAN EVOLUTION

7.2 The structuring and spatial principles were overlaid and tested to inform and refine the emerging concept masterplan. Importantly, this process assisted in highlighting the vision for the site, with a sense of place, connectivity and a strong green presence paramount.

7.3 These visioning elements helped to define the green infrastructure network, the proposed development zone, movement network and overall street hierarchy. Further refinement of urban blocks, density and character are illustrated in chapter 8.

7.4 For more information on the vision please refer to pages 8-9.

### Strong green presence

A landscape-led and nature focused approach will deliver extensive tree planting, green streets, edible landscapes and allotments, and a network of green corridors in a beautiful parkland setting.



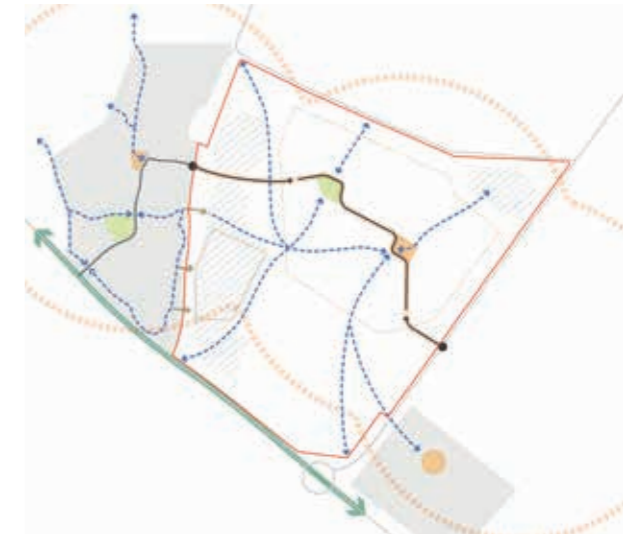
### Sense of Place

Beautifully designed homes using local materials, surrounded by nature. A dense urban core surrounding local squares. A sense of place emerges which will foster civic pride.



### Connectivity

A permeable masterplan allowing active travel choices connects to Park View and facilities at Woodstock and to Bladon Roundabout and the potential P&R. Bus link connecting with the existing transport network of Woodstock.



Evolution of concept masterplans



# 07 DESIGN DEVELOPMENT

## CONCEPT FRAMEWORK

7.5 The concept framework presents an opportunity to bring a new and distinctive community focused neighbourhood on the eastern settlement edge of Woodstock. The morphology reflects the settlement pattern and character of the town by creating a hamlet style development with a focus on a landscape and nature led-design approach. The proposals specifically aim to deliver a scheme that will not be perceived as a uncharacteristic suburban extension.

7.6 The development area respects all of the constraining aspects of the site; the archeological corridor remains preserved with the setting to the SAM retained and enhanced. The view towards the World Heritage Site is also retained from the northern part of the site at Shipton Road. Other previously identified archaeological features north and south of Blenheim Villa will be protected under proposed green landscape corridor but where access is necessary, small scale targeted excavation will add greatly to the archaeological record. This entire area of the site will be public open space and consider this a proportionate response and awareness of the boundary to the Blenheim Palace World Heritage Site on the southern side of the A44, and the arrival to Woodstock conservation area.

7.7 It will deliver a sympathetic landscape design that delivers enhancement measures to designated heritage assets, whilst increasing awareness and appreciation. The surrounding landscape around the built form of the masterplan retains a green arrival into Woodstock on Oxford Road with a large area of parkland. A series of green corridors traverse the development to allow nature and greenery to permeate through the built form, and provide the new homes with short access to areas of open space.

7.8 Perimeter blocks will be used to clearly define public and private space, as well as providing overlooking and natural surveillance through active frontages. The blocks will provide flexibility for a range of typologies, building heights and densities.

7.9 Site access is taken from a new roundabout on A4095 Upper Campsfield Road as well as from Park View. This principal movement corridor will link to Park View and lead residents to the local shops located within Park View as well as to the centre of Woodstock.

7.10 A network of pedestrian and cycle paths interconnect different areas of the site to nearby points of interest, notably the western access into Park View, the southern access to Oxford Road (and National Cycle Route), and the south eastern area near Bladon Roundabout (with potential links to the proposed Park and Ride to the east of the site).



Concept framework plan





# 08 PROPOSAL

## THE PROPOSAL

**8.1** The masterplan has carefully positioned the built development within a beautiful landscape setting to protect important landscape and heritage features, including on-site archaeology and the UNESCO World Heritage Site. It will respect and enhance the approach to Woodstock from the east along Oxford Road, with the new neighbourhood set back and contained within a major new area of publicly accessible parkland.

**8.2** It is integrated with the existing community of Woodstock and features excellent links to Oxford (including the potential new Park and Ride to the east), and active travel and public transport will be prioritised. The proposal will promote nature conservation and healthy living with significant new areas of open space including a network of green corridors through the built form and a major new biodiversity focused parkland wrapping around the development.

**8.3** The proposed scheme comprises:

- Up to 500 high-quality new homes which will include a range of house types, sizes and tenures to deliver market and affordable housing for young people, families and the elderly
- Inclusion of green corridors and dedicated cycle and pedestrian linkages through the development
- Adoption of a sensitive landscape approach resulting in notable heritage benefits with the enhanced setting for Blenheim Roman Villa
- Inclusion of a significant area of open space creating a semi-rural character with long grassland meadows and parkland tree planting
- Provision of community open space within the masterplan, including allotments
- Meeting Passivhaus principles and committing to net zero carbon.

## ILLUSTRATIVE MASTERPLAN

**8.4** The illustrative masterplan is shown opposite. It demonstrates a landscape and nature-led approach with extensive tree planting proposed throughout the development resulting in a significant net increase compared to the existing site.

1. New roundabout access from A4095 Upper Campsfield Road
2. Community square to include space for social gatherings and events
3. Community Park to include allotments, community orchard and gardens, a combined NEAP / LEAP
4. Green corridors consisting of species-rich grasslands, ornamental shrubs, tree planting, infiltration basins and swales, providing pedestrian / cycle links
5. Central public open space to include infiltration basin and a combined LEAP/LAP
6. Green links
7. Residential parcels with perimeter blocks
8. New link road, pedestrian / cycle link connecting to Park View primary street from the proposed development
9. 3 m path / cycleway connection to A44 Oxford Road
10. 3 m path / cycleway connection to Bladon Roundabout
11. 2 m path
12. Green wedges widening green corridor connections out to wider open space, softening the development edge
13. Area of open space consisting of amenity grassland for informal recreation
14. Retained and enhanced woodland belts with infill tree planting and native scrub scalloped edges
15. New woodland planting
16. A wide expanse of parkland to retain open rural feel and setting to the WHS, consisting of species-rich limestone grassland and few scattered specimen parkland trees
17. Improved setting to Blenheim Villa scheduled monument with potential for public art
18. Retained Heh Straet as 2m path
19. Small woodland groups to form sense of enclosure and soften the southern and western development edge and strengthen wildlife corridors
20. Ecological enhancements to retained native hedgerows with infill planting, hedgerow trees, native scrub edges and long grassland margins.











Shipton Road

Area of open space  
consisting of amenity  
grassland for informal  
recreation

Princes Ride

The Marlborough Church  
of England School

Park View local centre

New link road, pedestrian/  
cycle link connecting to  
Park View development

Small woodland groups  
forming sense of enclosure  
and softening development  
edge

Blenheim Estate

Oxford Road

Land East of Park View, Woodstock: an exemplar, highly energy efficient  
carbon net zero new neighbourhood to the east of Woodstock





### Strong green presence

A landscape-led and nature focused approach to the masterplan will deliver extensive tree planting, green streets, edible landscapes and allotments, and a network of green corridors in a beautiful parkland setting. Greenways will flow through the development, with a series of pedestrian and cycle routes.



### Connectivity

The well-connected masterplan allows for different active travel choices ranging from pedestrian and cycle options, connects to Park View, facilities at Woodstock and to Bladon Roundabout and the potential further P&R.



### Sense of Place

Beautifully designed homes using local materials will be surrounded by nature, and will aim to capture the essence character of a small traditional Oxfordshire hamlet.



### Sustainability

The scheme will be exemplar and at the forefront of sustainable new communities, achieving net zero across the site



# 08 PROPOSAL

## PARAMETER PLANS

### Introduction

8.5 A series of parameter plans have been prepared for which planning permission is sought. These comprise:

- Land use
- Landscape
- Access and movement
- Building heights
- Building density.

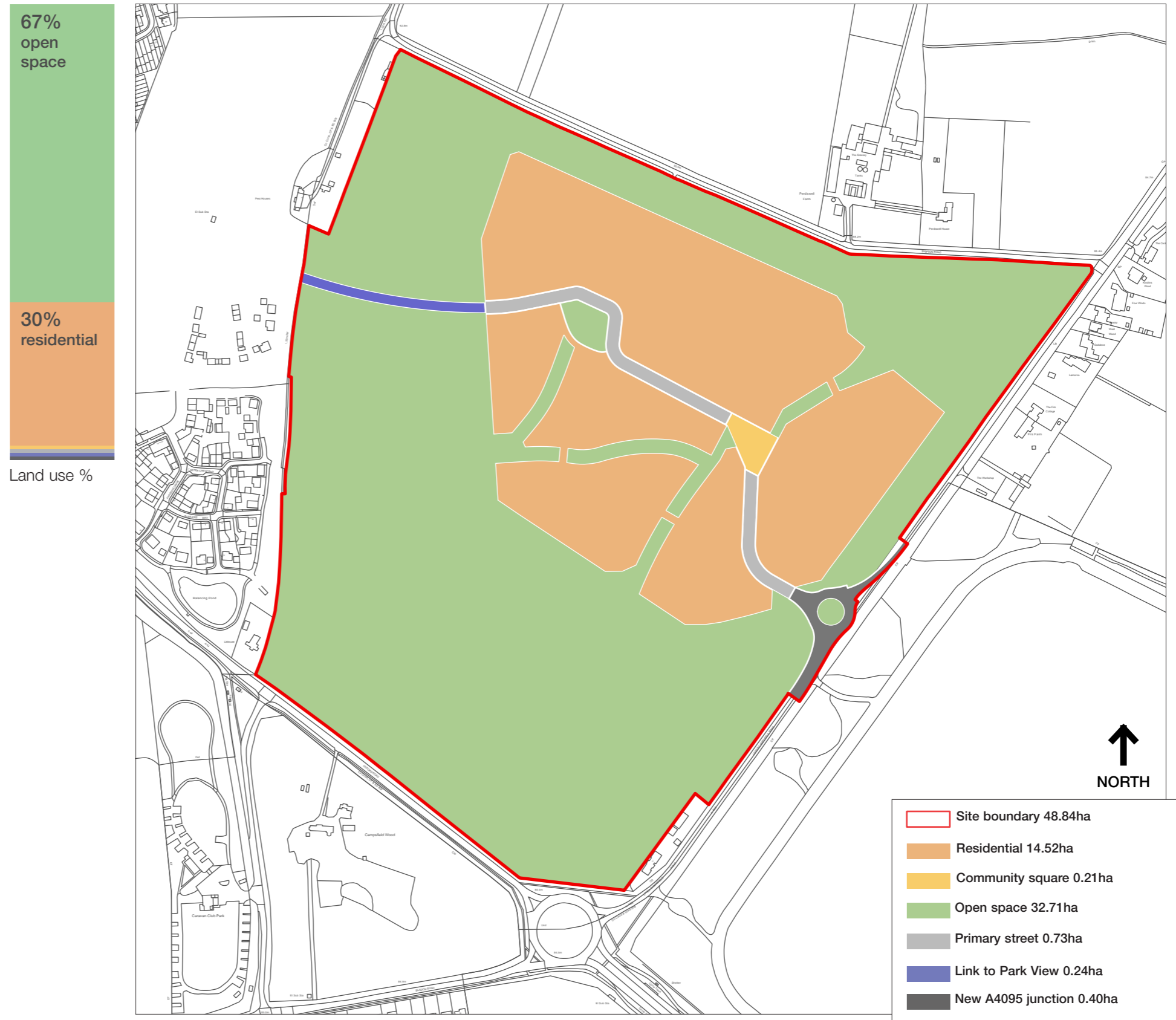
8.6 Parameter plans set the elements of the proposed masterplan that will inform and regulate the detailed design. There may be some variation in the precise location of land uses and road layouts, where this occurs it is anticipated that the original concept of the outline application will be retained.

### Land use parameter plan

8.7 The distribution of land uses is shown opposite in the land use parameter plan. The proposal is for up to 500 new homes, in addition to the provision of open space. The breakdown of land uses is as follows:

• Residential development	14.52ha
• Community square	0.21ha
• Open space	32.71ha
• Primary street	0.73ha
• Link to Park View	0.24ha
• New A4095 junction	0.40ha

8.8 The large provision of open space (67%) within the site area further reinforces that this is a nature-led masterplan, with landscape that flows into and through the built area, in addition to large areas of open space and parkland.



Land use parameter plan

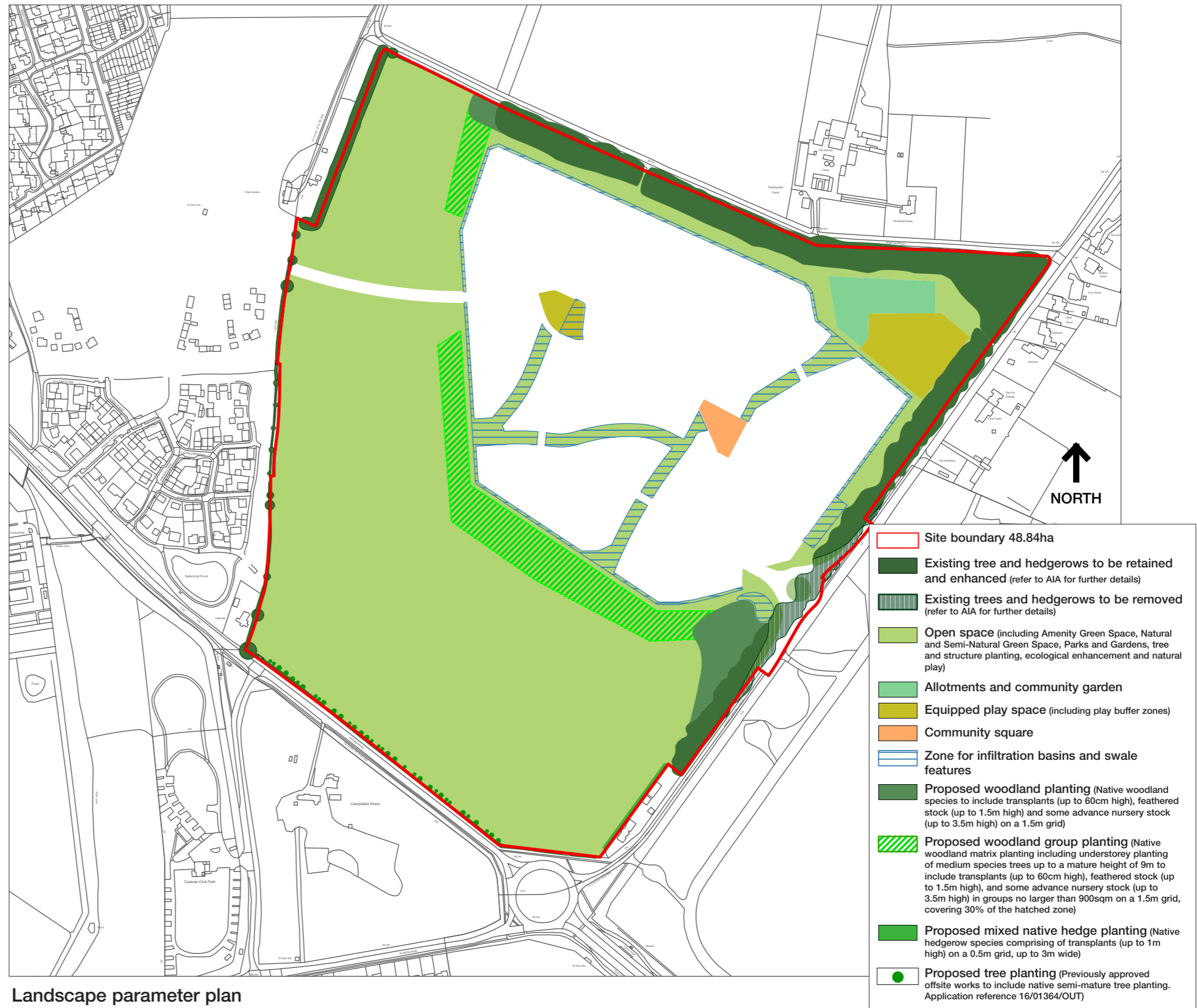


# 08 PROPOSAL

## Landscape parameter plan

8.9 The landscape parameter plan indicates the extent of the landscape areas proposed throughout the site. It will include retained vegetation, allotments, sustainable urban drainage features, informal open space, proposed woodland, hedgerows and tree planting, two areas of equipped play and natural play areas and ecological enhancements.

8.10 The landscape strategy has sought to retain and incorporate all the existing vegetation except for the removal of vegetation along the site's eastern boundary to provide access into the site. This has been minimised where possible. A key element of the proposals is the incorporation of a significant area of land to the west and south as open space, creating an important landscape setting to the SAM, WHS and approach to Woodstock. This is further supplemented by a series of green corridors through the development area linking to a key community green space in the north west corner of the site. Overall, the green infrastructure will provide easily accessible and well-connected spaces for both people and wildlife.



Landscape parameter plan