



BLENHEIM ESTATE

HOMES

Land East of
Park View
Woodstock

Utilities Statement





Forge Engineering Design Solutions

UTILITIES ASSESSMENT REPORT

**Land East of Park View
Woodstock**

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OX20 1PP

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List of Abbreviations / Glossary:

Term	Definition
CDC	Cherwell District Council
SSE	Scottish and Southern Energy (South)
BT	British Telecommunications
TW	Thames Water
SGN	Southern Gas Networks
ASHP	Air Source Heat Pump
PV	Photovoltaic Panels
LEAP	Local Equipped Area for Play

1. Introduction

Forge Engineering Design Solutions Ltd was commissioned by Blenheim Estate Homes, to carry out a site-specific Utilities Assessment to support an outline planning application for the erection of 500 dwellings, open space including play space, means of access from the A4095, associated infrastructure, engineering and ancillary works, at land East of Park View, Woodstock to Cherwell District Council (CDC).

2. Overview

The utility companies likely to service the proposed site were contacted to establish the following:

- The existing network infrastructure
- The capability of the existing network capacity to supply/service the proposed site without causing undue stress on the delivery of the services to the wider community
- Any requirements from utility providers for further investigations, infrastructure or equipment and associated costs
- Any requirements to relocate or protect existing infrastructure
- Any associated costs not identified elsewhere.

Table 1: Utility companies currently servicing the area

Utility	Utility Company
Electricity	Scottish and Southern Energy (South)
Telecoms and full fibre broadband	British Telecommunications Via Openreach
Clean Water Mains	Thames Water
Gas	Southern Gas Networks

The utility companies in Table 1 were consulted. Some utility providers confirmed that the planning consent and reference number were required before detailed network analysis could take place. Estimates of the number of dwellings that could be serviced were provided with full network analysis to take place post planning.

3. Development Site Information.

The site is located south east of Woodstock, a town approximately 8 miles north west of Oxford.

The proposed development site is bordered on the southern edge by the A44 and on the eastern edge by the A4095, and covers an area of approximately 486,000m² (48.6 ha). The site can be located by Grid Coordinates 445836mE, 215908mN.

The northern edge of the site is bound by Shipton Road with arable land beyond, the eastern edge is bound by Upper Campsfield Road and the southern edge by Oxford Road (A44) with Blenheim Park beyond. To the west of the site is the Park View residential development.

The site is a large arable field, with boundaries mainly of hedgerows and tree belts.

The proposed development scheme is for up to 500 high-quality new homes with open space including play space. Vehicular access will be from Upper Campsfield Road (A4095).

The proposed development housing split was undetermined at the time of consultation with the utility companies, therefore, an average of 3 bedrooms per dwelling was used to assess network capacity.

See Existing and Proposed Site Plans in Appendix 1.

4. Existing and Proposed Utilities

The locations of existing utility providers' assets and networks, in the vicinity of the proposed development, are shown on drawing FEDS-219066-300 Existing Site Plan and Utilities Layout, included in Appendix 1.

The drawing identifies that the proposed site is in the vicinity of an extensive network of existing utilities, which could be utilised to service the proposed development.

4.1. Electricity

Scottish and Southern Energy (South), the electricity provider for the proposed development site and surrounding area was consulted.

4.1.1. Existing Network

Low Voltage (LV) overhead cables are present for approximately 250m along Shipton Road in the far north east corner of the site, these then continue into Upper Campsfield Road.

Underground High Voltage (HV) cables are present in Upper Campsfield Road, to the east of the development site, from the junction with Oxford Road up to the junction with Shipton road.

Along Oxford Road, to the south of the site, there are underground HV cables as well as a LV underground service cable and overhead LV cables.

New electricity supplies have recently been installed to service the new Park View development to the west of the development site.

See Existing Site Plan and Utilities Layout in Appendix 1.

4.1.2. Network Capacity

It was anticipated that Air Source Heat Pumps (ASHP), photovoltaic panels (PV) and 7.5kW car chargers (one per two dwellings) were proposed for the development. However, details required on PV capacity were not yet available.

Information provided by SSE is purely for guidance and does not constitute an offer or quotation.

The budget estimate provides an indication only and does not include a network study.

Capacity cannot be assessed without an application for a formal quotation or a feasibility study.

The estimated costs have been calculated based on a high-level assessment. The costs have been produced with the following assumptions: SSE installing new 11KV circuit breakers at Woodstock PSS, located approximately 1712m to the north east of the development site, along with all associated works to the highway, and installing 8 no. 800KVA ground mounted transformers on site along with all associated work required for low voltage and high voltage supply. All on site excavation and reinstatement works to be undertaken by the developer.

A full network analysis would be required at the detailed design stage, when more detailed plans and accurate consumption estimates for the proposed development are available.

4.1.3. Anticipated Costs

SSE provided an initial budget estimate for the proposed development of £3,482,000 (excluding VAT).

This estimate reflects the current situation and cannot be guaranteed into the future. Before making any financial commitments based on the indicative price a firm quotation should be requested from SSE.

The estimate is subject to SSE obtaining all necessary legal consents to carry out the works as indicated, including any consent required from third parties.

See SSE responses in Appendix 2.

4.2. Telecoms and Broadband

British Telecommunications (BT) via Openreach, the telecoms provider for the proposed development site and surrounding area was consulted.

4.2.1. Existing Network

A mix of BT/Openreach overhead cables and below ground cables, below ground infrastructure and associated joint boxes are provided along Oxford Road. Overhead cables service Perdiswell Farm in the north east corner of the site along Shipton Road and continue into Upper Campsfield Road then south along this road to Oxford Road.

New telecoms and fibre supplies have recently been installed to service the new Park View development to the west of the development site.

See Existing Site Plan and Utilities Layout in Appendix 1.

4.2.2. Network Capacity

BT/Openreach has a legal obligation to provide service to any customer requiring a connection.

4.2.3. Anticipated Costs

BT/Openreach provided confirmation that sites of 20+ plots would have Fibre to the Premises (FTTP) provided free of charge. See BT/Openreach response in Appendix 3.

4.3. Clean water

Thames Water (TW), the Clean Water provider for the proposed development site surrounding area was consulted.

4.3.1. Existing Network

An existing 4", Epoxy lined, distribution main runs along Shipton Road, to the north of the development site, and joins the distribution main in Upper Campsfield Road, to the east. There is also a distribution main running along Oxford Road, to the south of the site.

There is a 16" trunk main running the length of the western border of the site, and along the southern edge of the development site.

New clean water supplies have recently been installed to service the new Park View development to the west of the development site.

See Existing Site Plan and Utilities Layout in Appendix 1.

4.3.2. Network Capacity

TW provided a Clean Water Capacity Report anticipating that there is sufficient capacity on the current network to service 49 residential properties. However, they were unable to confirm that they could meet the needs of the full development.

Further investigation via network modelling is required to confirm whether network reinforcement is necessary to deliver the capacity required.

TW indicated the nearest connection point to be an existing 6" main on Upper Campsfield Road to the east of the development site. However, TW advised that this is based on a desk study and may change after a capacity check study or site-specific survey.

TW did not anticipate that any clean water assets need to be diverted to accommodate the development proposals.

The report is valid until 13th April 2023 or for the duration of the Local Authority planning permission of which the report is used to support the application.

4.3.3. Anticipated Costs

TW advised that the Clean Water Capacity report should be used during the planning process to provide confirmation that they have assessed the site and are in the process of addressing the requirements for the development.

As off-site reinforcement works are likely to be required, TW would start modelling to assess the capacity of the existing network, free of charge, once they have received confirmation that the developer owns the land and either outline or full planning permission has been granted.

Therefore, the extent of off-site upgrading works will be assessed at detailed design stage. In the meantime, the developer could connect the initial number of properties that TW have permitted, in this case 49 residential households.

TW modelling would be carried out at TW cost.

See Thames Water: Clean Water Capacity Report in Appendix 4.

4.4. Gas

Although gas is not anticipated to the proposed development, Southern Gas Networks (SGN), gas provider for the surrounding area, was consulted to ensure all information was available should unforeseen changes be made to the proposals.

4.4.1. Existing Network

Low Pressure mains run along Shipton road and on to Upper Campsfield Road. The southern part of Upper Campsfield Road and Oxford Road are serviced by Medium Pressure mains.

New gas supplies have recently been installed to service the new Park View development to the west of the development site.

See Existing Site Plan and Utilities Layout in Appendix 1.

4.4.2. Network Capacity

Although no connections to the existing gas network are proposed, SGN provided estimates.

SGN Connections would install appropriately sized gas infrastructure from the existing MP main in Upper Campsfield Road. SGN based their estimate on the following:

- an hourly load of 30,000kW and an annual quantity of 10,300,000kWh.

Reinforcement of the existing network would be required to accommodate this development and additional lead times for the reinforcement are approximately 186 days. The budget contribution for this reinforcement is currently £0.00.

4.4.3. Anticipated Costs

Budget estimate to carry out the installation works is £481,500 (inc. VAT)

Please note this figure is a budget indication only and does not include any costs for traffic management, road closures, permits or specialist works that may be required.

Should proposals change, and gas connections be required, a more accurate quote can be requested once a full design study has been carried out. There is a charge for the study, and costs are provided once a firm quotation has been requested.

See SGN responses in Appendix 5.

5. Conclusions and Recommendations

The utility companies likely to service the proposed site were contacted to establish the capability of the existing network capacity to supply/service the proposed site without causing undue stress on the delivery of the services to the wider community, any associated costs, limitations or constraints.

Site Location:

The site is located south east of Woodstock, a town approximately 8 miles north west of Oxford.

The proposed development site is bordered on the southern edge by the A44 and on the eastern edge by the A4095, and covers an area of approximately 486,000m² (48.6 ha). The site can be located by Grid Coordinates 445836mE, 215908mN.

Existing Site:

The northern edge of the site is bound by Shipton Road with arable land beyond, the eastern edge by Upper Campsfield Road and the southern edge by Oxford Road (A44) with Blenheim Park beyond. To the west of the site is the Park View residential development.

The site is a large arable field, with boundaries mainly of hedgerows and tree belts.

Proposed Site:

The proposed development scheme is for up to 500 high-quality new homes with open space including play space. Vehicular access will be from Upper Campsfield Road (A4095).

The proposed development housing split was undetermined at the time of consultation with the utility companies, therefore, an average of 3 bedrooms per dwelling was used to assess network capacity.

Assessment of Existing and Proposed Utilities:

The Utility Providers consulted during the assessment were Scottish and Southern Energy (South), Southern Gas Networks, British Telecommunications Via Openreach, and Thames Water.

Electricity:

SSE provided a budget estimate for the proposed development of £3,482,000 (excluding VAT). However, a full network analysis would be required at the detailed design stage to confirm the costs.

Telecoms and Broadband:

British Telecommunications (BT) via Openreach have a legal obligation to provide service to any customer requiring a connection, and sites of 20+ plots have Fibre to the Premises (FTTP) provided free of charge.

Clean Water:

Thames Water (TW) provided a high-level analysis Clean Water Capacity Report anticipating that there is sufficient capacity on the current network to service 49 residential households.

Further investigation via network modelling is required at detailed design stage to confirm whether network reinforcement is necessary to deliver the capacity required.

The Clean Water Capacity report should be used during the planning process to provide confirmation that TW have assessed the site and are in the process of addressing the requirements for the development.

TW would start modelling, free of charge, once they have received confirmation that the developer owns the land and either outline or full planning permission has been granted.

Gas:

Although no connections to the existing gas network are proposed, SGN provided a budget estimate of £481,500 (inc. VAT). SGN based their estimate on the following:

- an hourly load of 60kW and an annual quantity of 20,600kWh per dwelling

Should proposals change, and gas connections be required, a more accurate quote can be requested once a full design study has been carried out. There is a charge for the study, and costs are provided once a firm quotation has been requested.

Summary:

From the consultation with the utility providers, it was identified that further analyses and/or upgrading works were required by Scottish and Southern Energy (South), Thames Water and British Gas to ensure that sufficient capacity could be made available to service the proposed development without detriment on the existing wider community.

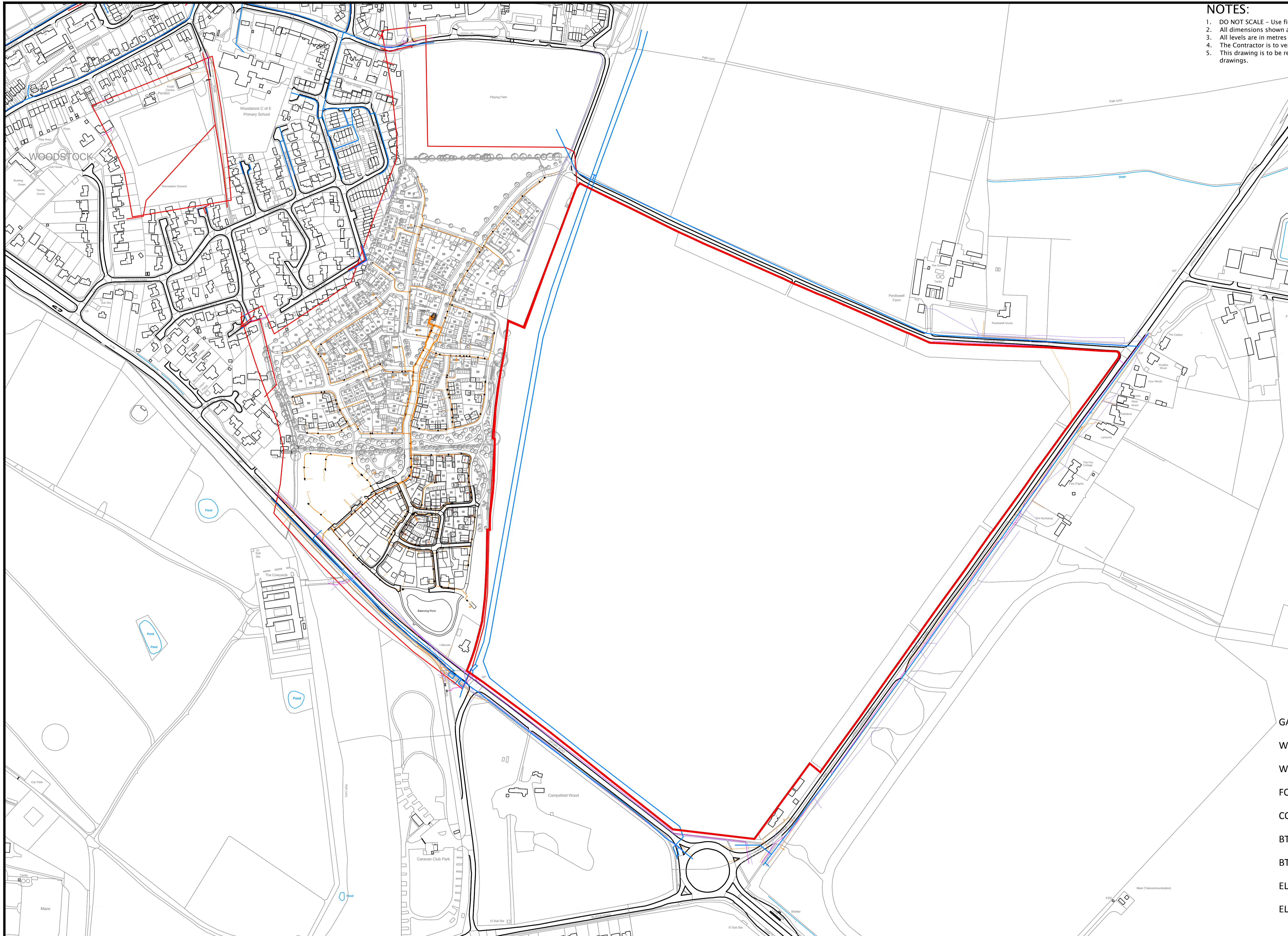
It is anticipated that it would be possible to service the site following further network analysis.

However, full network analysis would be required at the detailed design stage when more detailed plans and accurate consumption estimates for the proposed development would be available.

APPENDIX 1

NOTES:

1. DO NOT SCALE – Use figured dimensions only.
2. All dimensions shown are in millimetres unless otherwise stated.
3. All levels are in metres above ordnance datum unless otherwise stated.
4. The Contractor is to verify all dimensions on site before commencing work.
5. This drawing is to be read in conjunction with all Engineers and Architects drawings.



- GAS —
- WATER —
- WATER PROPOSED - - -
- FOUL SEWER —
- COMBINED SEWER —
- BT —
- BT OVERHEAD - - -
- ELECTRICITY —
- ELECTRICITY OVERHEAD - - -

Client:
Blenheim Estate Homes

Project:
Woodstock Utility Assessment

Project Ref:
FEDS-219066

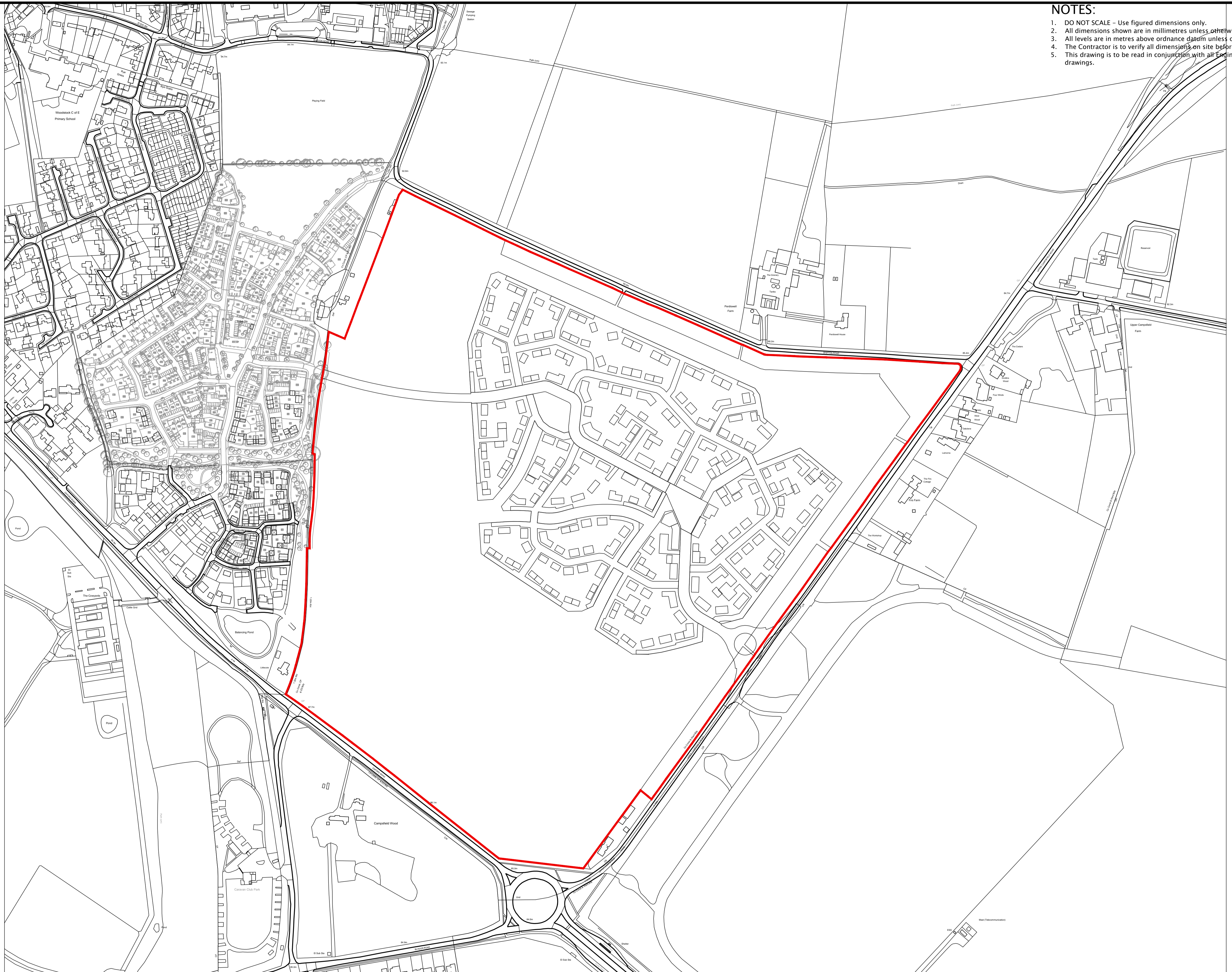
Title:
Utilities Plan – PR10 Land East of Park View

Drawn by: DKP	Checked by: SLD	Size: A1
Date: 16.06.22	Scale: 1:2500	
Dwg.no: 219066-100	Rev: B	

Forge Engineering Design Solutions
 Forge House
 30 Digging Lane
 Fyfield, Abingdon
 Oxfordshire, OX13 5LY
 tel: 01865 362 780
 info@f-eds.co.uk
 www.f-eds.co.uk

NOTES:

1. DO NOT SCALE – Use figured dimensions only.
2. All dimensions shown are in millimetres unless otherwise stated.
3. All levels are in metres above ordnance datum unless otherwise stated.
4. The Contractor is to verify all dimensions on site before commencing work.
5. This drawing is to be read in conjunction with all Engineers and Architects drawings.



Client:
Blenheim Estate Homes

Project:
Woodstock Utility Assessment

Project Ref:
FEDS-219066

Title:
Master Plan – PR10 Land East of Park View

Drawn by: DKP	Checked by: SLD	Size: A1
Date: 16.06.22	Scale: 1:2500	
Dwg.no: 219066-101	Rev: B	

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www.f-eds.co.uk

APPENDIX 2

From: Miles, Stuart <Stuart.Miles@sse.com>
Sent: 13 May 2022 10:01
To: 'sarah@f-eds.co.uk'
Subject: Job Ref: EWK414/1/BUDGET*** Your Ref: 219066, LAND EAST OF PARK VIEW, WOODSTOCK, KIDLINGTON, OX20 1QN
Attachments: EWK414_001_20220513_DESIGNDOCUMENT.pdf; EWK414_001_20220513_QUOTELETTER.pdf
Flag Status: Flagged

Dear Sarah,

Ref: EWK414/1BUDGET

Please find attached Budget Estimate.

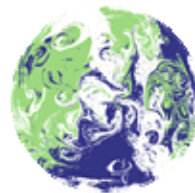
The budget estimate has been calculated based on a high level assessment, my local knowledge and experience. It is my best estimate of the costs you would incur for this proposal and is intended for budgetary proposes only. Please do not base any financial decisions on this estimate.

Please be aware that due to the coronavirus pandemic we expect that the charges set out in your Offer may change due to the cost of putting in place the restrictions and measures required to comply with social distancing and ensure that the works are undertaken safely and in accordance with the relevant government guidance.

Best Wishes,

Stuart

Please ensure that SSEN's Job Reference Number is included in the subject line in all correspondence.



Stuart Miles
Connections Designer
T: 01225 701580
Internal: 28280
E: Stuart.Miles@sse.com
Martigny House, 61 Spa Road, Melksham, SN12 7NU


Please note that any enquiries or applications for a new connection or changes to existing connection must be sent to connections@ssen.co.uk to ensure they are looked at by our Connections and Engineering Team who can process this for you.

www.ssen.co.uk

Our reference: EWK414/1

FORGE ENGINEERING DESIGN SOLUTIONS LTD
SARAH DREW
FORGE HOUSE
30 DIGGING LANE
FYFIELD
ABINGDON
OXFORDSHIRE
OX13 5LY

Southern Electric Power
Distribution
Connections and Engineering
Walton Park
Walton Road
Cosham
PO6 1UJ

 01225 701580



 Stuart.miles@sse.com

 www.ssen.co.uk

Date: 13 May 2022

Dear Sarah,

New supply at: 219066, LAND EAST OF PARK VIEW, WOODSTOCK, KIDLINGTON, OX20 1QN.

Thank you for your recent enquiry. I am pleased to provide you with my budget estimate for the new electricity connections at the above development. My initial proposals will be subject to our obtaining all necessary legal consents to carry out the work as indicated, including any consent required from third parties.



In the region of
3,482,000.00

This budget estimate has been calculated exclusive of vat. and does not constitute an offer of terms

You should be aware that this estimate reflects the current situation and cannot be guaranteed into the future. Before making any financial commitments based on the indicative price above, please contact me to request a firm quotation



The budget estimate has been calculated based on a high level assessment, my local knowledge and experience, the information you have provided and the assumptions listed overleaf. It is my best estimate of the costs you would incur for this proposal and is intended for budgetary proposes only.

No site visits or network studies have been carried out to produce the above costings. Please Note, if this quotation goes formal, these checks may identify reinforcement works that have not been included within this quotation.

The cost is for indicative purposes only and does not constitute an offer of terms by us.

I trust the information I have provided is of assistance and if I can help further please do not hesitate to contact me. Alternatively, you may find answers to any questions you may have on our web site www.ssen.co.uk.

Yours sincerely,

Stuart Miles
Connections Designer

These budget costs are based on the following:

SSEN to:

- * Install 2 x 11KV Circuit Breakers at Woodstock PSS
- * Install Approx. 1,742m of 240mm XLPE Dual Circuit (Total 3484m)
- * Excavation in highway for 1712m (Dual Circuit)
- * On-site LV Works including 8 x 800KVA Ground Mounted Transformer
- * On-site HV Works

All On-site Excavation and Reinstatement by client

Safety

We ask you to take note of the following:-

In accordance with the Health & Safety Guidance Note GS6, you are required to take every precaution to ensure that cranes, tipper lorries, scaffolding, ladders and other plant employed on your works are kept at a safe distance from overhead electric lines and their supports and that such supports are not disturbed by excavations. Goal posts with height restriction will need to be placed at appropriate locations for vehicles passing underneath Scottish and Southern Energy Power Distribution's overhead lines.

In accordance with Health & Safety Executive Guidance Note HS (G) 47 care will also be necessary when digging in proximity to underground cables, particular if mechanical excavators are used.

Overhead lines, underground cables and other electrical plant must be regarded as being "live". Before commencing work in proximity to such plant written notification must be given to Scottish and Southern Energy Power Distribution.

If during the course of your works, any cable should be damaged by you/or your contractors, then this fact must be reported to our Emergency Service Centre on 08000 72 72 82 (Southern Electric Power Distribution plc) immediately. The cost of any repairs will be fully rechargeable.

Locating cables on site

To obtain the latest copies of our cable records please send a plan of the area in question together with your contact details to:

Mapping Services

Scottish and Southern Energy Power Distribution
P O Box 6206
BASINGSTOKE
RG24 8BW

Tel: 01256 337294

Fax: 01256 337295

Requesting details of any Scottish and Southern Energy Power Distribution plant and cables in the area. You must excavate hand-dug trial holes to establish the actual positions of all cables before any mechanical excavation works commence.



PoC 2 x 11KV Circuit Breakers
WOODSTOCK 33/11

Owen Mumford

Old Woodstock Line Nature Reserve

The Marlborough Church of England School

Woodstock Open Air Pool

Union Street Car Park

Medivet 24 Hour Woodstock

EWK414 POS
SITE

Google Earth



APPENDIX 3

From: andrew.hutchinson@openreach.co.uk on behalf of developerportalcontactus@openreach.co.uk
Sent: 27 April 2022 10:13
To: sarah@f-eds.co.uk
Subject: RE: New development Land East of Park View, Woodstock

Hi Sarah,

I can confirm that 20+ plots is free of charge. If you haven't already, please register the site on our developer portal.

This is the link to our Developer Portal: <https://www.developers.openreach.co.uk/developerportal/index>. Please be aware, this will not work on **Internet Explorer**, as **Microsoft** no longer support it. You can use **Google Chrome**, **Microsoft Edge** & **Firefox**.

When you follow the link to the Developer Portal, click Company Sign Up in the top right hand corner of the screen. A window will open and ask for you to fill in some contact details. You will also need to fill in here whether you are a consultant on behalf of a developer, so please let us know if this is the case. Once all Company Address details and User Contact Details are filled in you will be awaiting the authorisation of your account. **This can take up to two working days**. During this time you will receive an email to verify the new account. Please complete this as soon as you receive the email as this does time out after a few days. Once verified, you can set up your password, login to the portal and register your site.

If you wish to create a User and add this an existing Company, go to the Developer Portal home page and click User Sign Up. Fill out your details and submit. This request will be sent to the Super Admin on the Company Account, to approve your access and ensure you can get logged in to register your sites.

You will find some useful support videos on the Developer Portal Home Page.

Useful resources & support

To find out more about our Network Services, visit www.openreach.co.uk/networkservices

Find out more from the training materials below.



Videos

Support videos

- Register my site 04:00
- View my site 01:08
- User sign up 01:31
- Company sign up 01:46
- EDC 01:28
- Plot call off 00:49
- Council addressing 01:09
- Site reparenting (Consultant)

Once the sign up process has been completed and authorised, you can select the **Register My Site** function, once you login to the Portal. You will see this on your tabs section at the top. Then select the site type you wish to register (e.g. Single Commercial, 2-19 Residential/Mixed etc.). Fill out all relevant details for the site, including Address, Grid Reference, Unit Breakdown, Contacts and Plans. We must see all units numbered and clearly marked on Site/Floor Plans, as well as the Site Boundary with existing units and road names for the Location Plan.

APPENDIX 4

From: DEVELOPER.SERVICES@THAMESWATER.CO.U <DEVELOPER.SERVICES@THAMESWATER.CO.UK>
Sent: 14 April 2022 16:30
To: sarah@f-eds.co.uk
Cc: 'Info@f-eds'
Subject: Clean water capacity concerns – DS6094373 Land East of Park View, Woodstock OX20 1QN
Attachments: Capacity Report Land East of Park View, Woodstock OX20 1QN.pdf; IPS_1B-#1507485-v1-TWUL_Underwriting_Agreement_Template_-_Water_only__Sept_21.doc

Flag Status: Flagged

Your reference: DS6094373

Your site address: Land East of Park View, Woodstock OX20 1QN

Mrs Sarah Drew
Forge Engineering Design Solutions Limited
Forge House
30 Digging Lane
Fyfield
Abingdon
OX13 5LY

14th April 2022

We need to do further investigation

Dear Mrs Drew,

Unfortunately, our capacity check shows our clean water network can only partially supply your development.

Our assessment concludes that we have sufficient capacity to supply the first 49 properties. However, we're currently unable to meet the needs of your full development consisting of 500 residential houses and some small commercial/community spaces.

We'll need to carry out modelling to confirm whether reinforcement of our network is necessary to deliver the capacity you require, which we'll undertake at our cost.

What do I need to do?

We've attached your **capacity report**, which you should include when making your local authority (LA) planning application to show we've assessed the site and are in the process of addressing your requirements.

We'll start modelling once you let us know that you own the land and either have outline or full planning permission. Just email me your land registry documents and planning application reference number.

What if I don't have this?

If you have a rapid build programme, we understand that you may need us to start modelling before you own the land or have planning permission. In this case we ask you to share the risk with us by underwriting the cost of modelling. This means if you haven't achieved first occupancy on the site within five years, you agree to pay the cost of the modelling work. We don't ask you to pay anything upfront.

Please call me if you would like to discuss this. You'll find a sample underwriting agreement attached.

What happens next?

We may be able to confirm capacity as soon as we've finished our investigative modelling work. If we need to upgrade our network, we'll design a solution and build the necessary improvements.

We estimate this would take:

Modelling: 6 months

Design (if required): 6 months

Reinforcement (if required): 6 months

Total: 18 months

Can I speak to someone?

As your dedicated contact for your clean water pre-planning enquiry, I'm here if you need a hand. Just call me on the number below.

Yours sincerely,

Claire Gould
Developer Services – Network Co-Ordinator
07747 640 806
Claire.gould@thameswater.co.uk

Original Text

From: sarah@f-eds.co.uk
To: developer.services@thameswater.co.uk <developer.services@thameswater.co.uk>
CC: 'Info@f-eds' <info@f-eds.co.uk>
Sent: 12.04.22 12:50:13
Subject: 219066 Land east of Park View, Woodstock, Oxfordshire

Dear Sir/Madam,

Please see attached pre-planning enquiry application form, letter and drawings.

If you need any further information please don't hesitate to contact me.

Kind regards,

Sarah

Sarah Drew AATQB

Forge Engineering Design Solutions Ltd

T: 01865 362 780

sarah@f-eds.co.uk

www.f-eds.co.uk

Forge House, 30 Digging Lane,
Fyfield, Abingdon,

Oxfordshire
OX13 5LY

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Your reference: DS6094373

Your site address: Land East of Park View, Woodstock OX20 1QN

Mrs Sarah Drew
Forge Engineering Design Solutions Limited
Forge House
30 Digging Lane
Fyfield
Abingdon
OX13 5LY

Clean water capacity report

Status: Capacity concerns

Date: 14th April 2022

Validity: Valid until 13th April 2023 or for the duration of your Local Authority planning permission when this report is used to support your application.

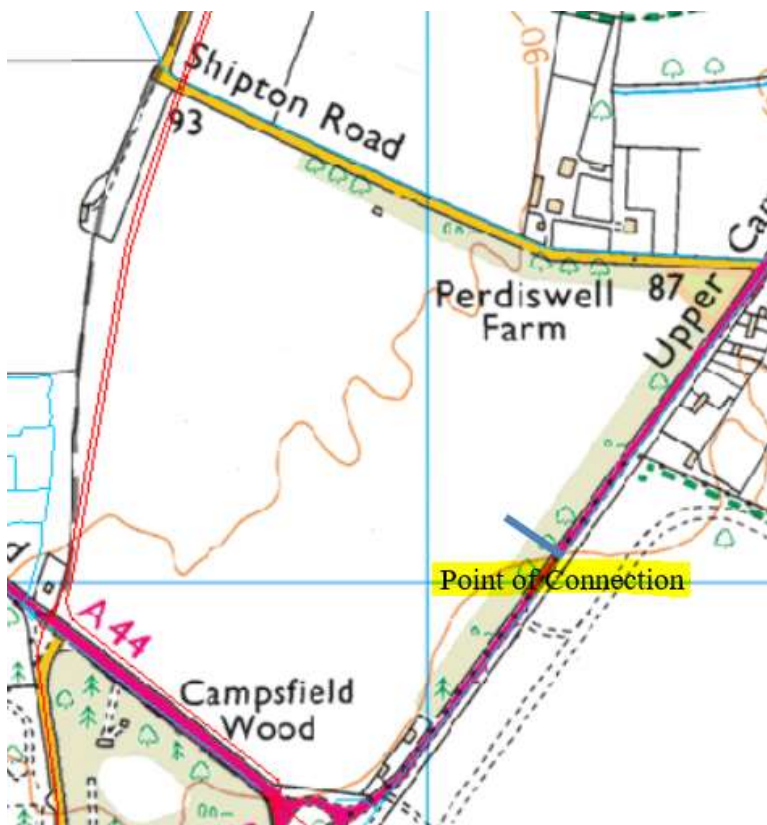
We confirm that there will be sufficient capacity on our clean water network to serve the following properties on your development: 49 residential houses.

However, we're unable to confirm capacity for your whole development consisting of 500 residential houses and some small commercial/community spaces without further investigation. How to make a request for us to progress with network modelling activity is listed in the accompanying email.

Please be aware that this report is based upon the details and drawings provided. If there are any subsequent changes to these, then the contents of this report will become invalid and a new assessment will be needed.

Please note that the below POC is based on desktop study and it might change after capacity check study or site-specific survey.

Nearest point of connection / Your preferred point of connection



6" main on Upper Campsfield Road.



Contaminated land

If your site is on contaminated land, any new water pipes laid should be barrier pipe which is more expensive. If you think this is not the case you will need to provide a soil report when applying for new mains and services.

Diversions

From our records we don't anticipate that any clean water assets need to be diverted to accommodate your proposals.

Building water

It's important that you apply for a building water supply before you start using water on site even if you believe your supply is already metered. We need to ensure your account is properly set up and you have the correct meter for your supply or fines maybe imposed. Apply [here](#).

Fire hydrant and sprinkler demand

Please note that we cannot confirm whether a fire hydrant or sprinkler demand can be accommodated on a new connection. You'll need to contact an independent consultant or specialist company for hydrant testing for fire-fighting purposes. Valve operations must be carried out by our Network Service Technician which can be booked on 0800 316 9800.

Asset location search

If you need help in identifying the location of existing water mains and sewers, you can get this information from any property search provider. We have a Property Searches team who will carry out an asset location search, which provides information on the location of known Thames Water clean and/or wastewater assets, including details of pipe sizes, direction of flow and depth (for which a fee is payable). You can find out more [online](#) or by calling us on 0845 070 9148.

APPENDIX 5

11 May 2022

Our Ref: 2294821

Your Ref: 219066

SGN Connections
St Lawrence House
Station Approach
Horley
Surrey
RH6 9HJ

Sarah Drew
Forge Engineering Design Solutions Ltd
Forge House
30 Digging Lane
Fyfield
Abingdon
Oxfordshire
OX13 5LY

Customer Service **0800 912 1700***

Dear Miss Drew,

New Connections at Land East of Park View, Oxford Street, Woodstock, Oxfordshire. OX20 1TH

Thank you for choosing us to give you a budget indication for new connections at the above site, and please find our estimate below.

Work to be carried out

SGN Connections to install appropriately sized gas infrastructure from existing MP main in Upper Campsfield Road to suitable locations for 500 new build domestic properties. SGN Connections to carry out all the necessary excavation and reinstatement work in public. Customer to carry out all the necessary excavation and reinstatement work in private land. No meter/meter box work is included.

Your budget indication is £481,500 (inc VAT)

Please note that this figure is a budget indication only, it is based upon an hourly load of 60kW and an annual quantity of 20,600kWh per property along with any other information you've given us, and doesn't represent an offer to carry out the work.

We won't be able to give you a more accurate quote until a full design study has been carried out, and there's a charge for this. We'll be able to tell you how much the study will be once you ask us for a firm quote.

Reinforcement of the existing network will be required to accommodate this development. Additional lead times for the reinforcement are approximately 186 days. The budget contribution for the reinforcement is currently £0.00, which is included in the above budget indication. This is based upon current network model data which is subject to change. Upon receipt of an application for a firm quote, we will evaluate the actual work required and let you know if reinforcement is required and what the associated costs are.

An onsite easement and land transfer would be required for these works and has been included with the costing for this budget indication.

It is assumed that the onsite works are being carried out on behalf of the site freeholder and as such no Third Party easements or permissions will be required. If this is not the case then it is your responsibility to inform SGN at the time of a Firm quotation request so that the correct Third Party easements can be applied and indemnity forms can be issued for your completion.

Please Note: This budget indication does not include any costs for traffic management, road closures, permits or specialist works that may be required. Upon request of a Firm application this will be investigated fully.

Please Note: It is SGN's policy to locate gas meters externally wherever possible. Internal meter positions should only be considered as a last resort if no external locations are available. Upon submitting an application for a firm quote, please identify suitable external locations at ground level for the meter boxes, or specify the reasons why internal meter locations are required.

Please Note: This budget indication doesn't allow for any diversion of our existing infrastructure if we find it's necessary. You can get further detail on this by calling our customer service line on the number at the top of this page and asking to speak with the Mains Diversions and Isolations team.

If you have any further questions, please feel free to contact me by calling our customer service team on the number at the top of this letter and asking to speak with the undersigned.

Yours sincerely

Alex Flynn
Design Assistant

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