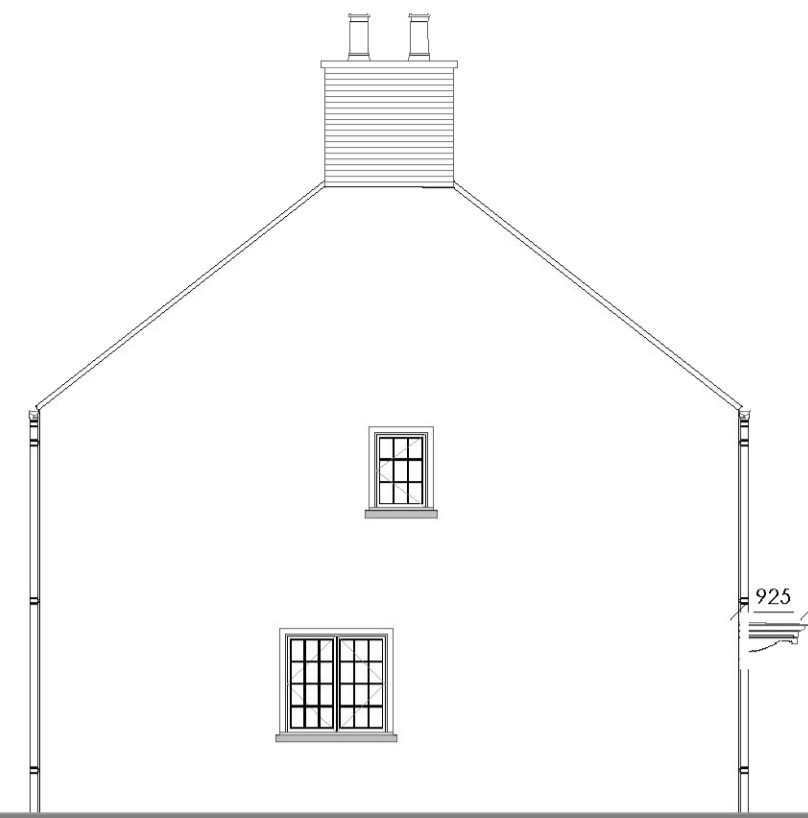
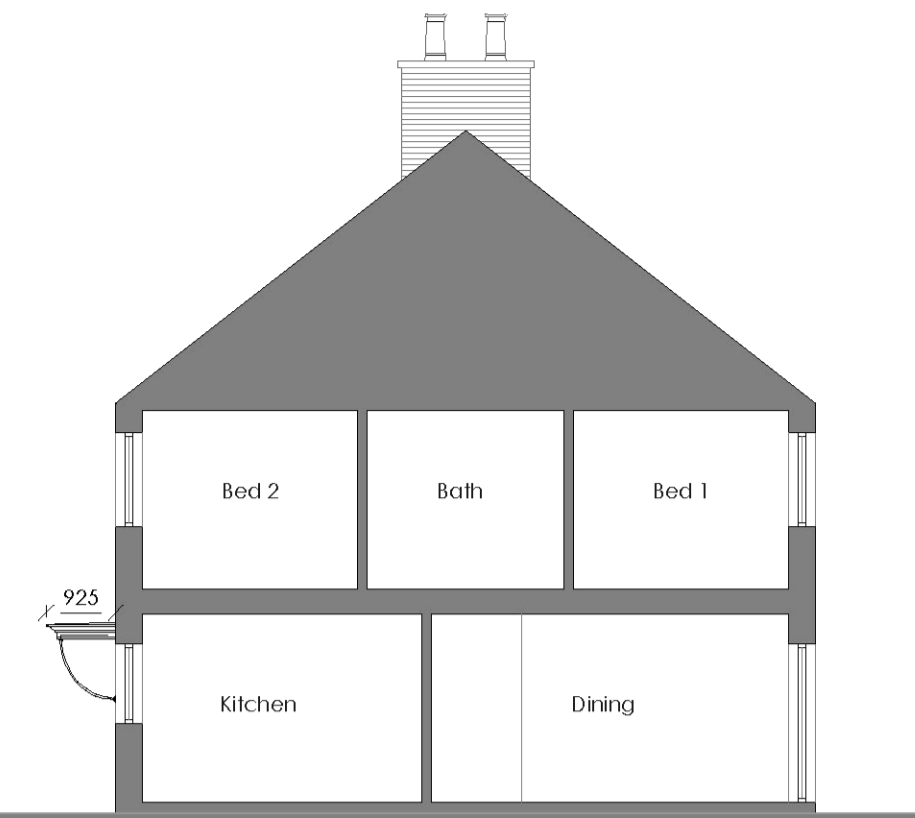




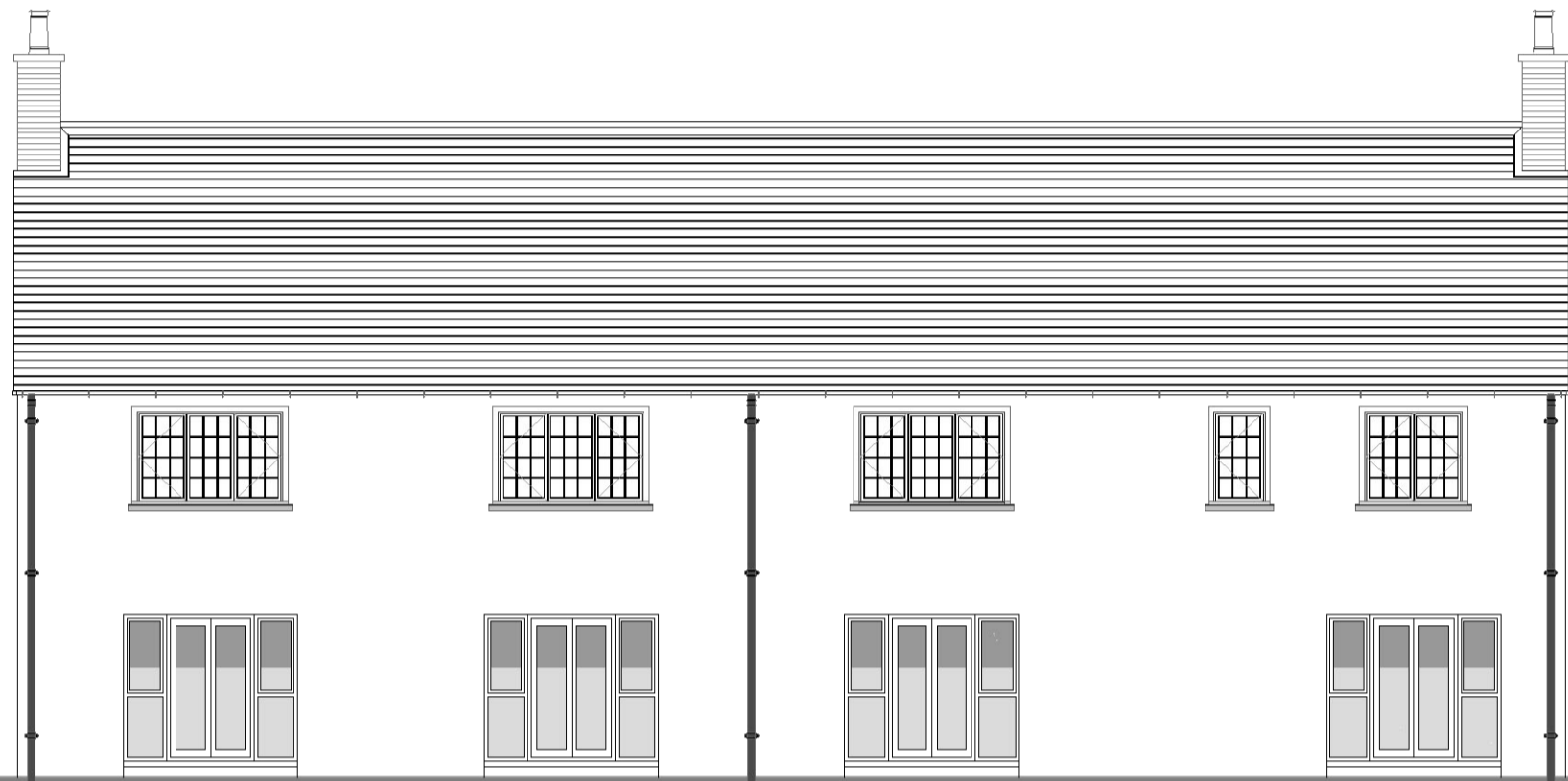
FRONT ELEVATION



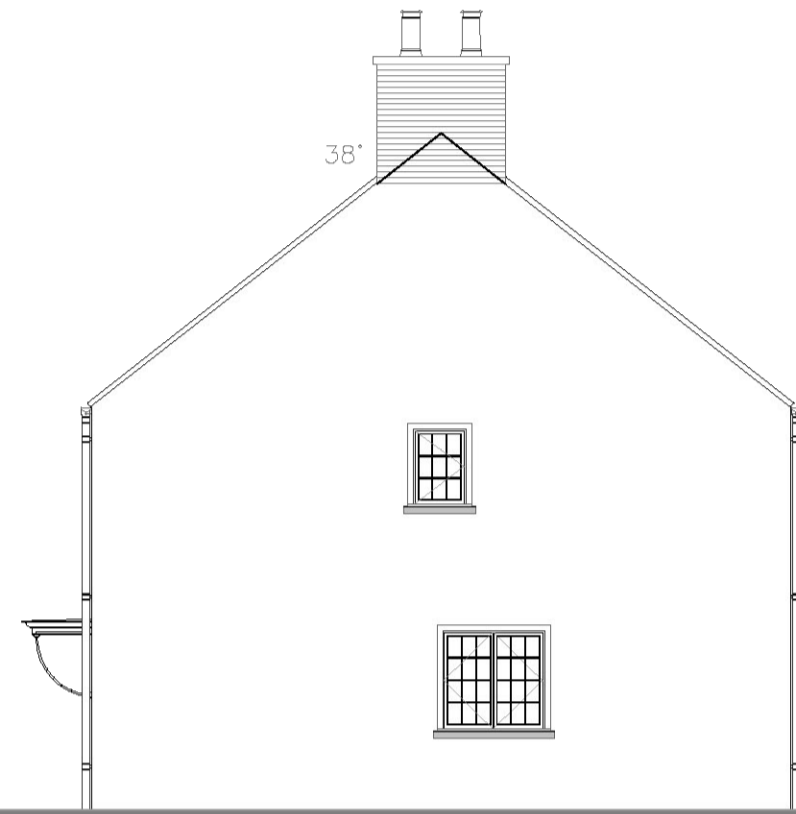
SIDE ELEVATION



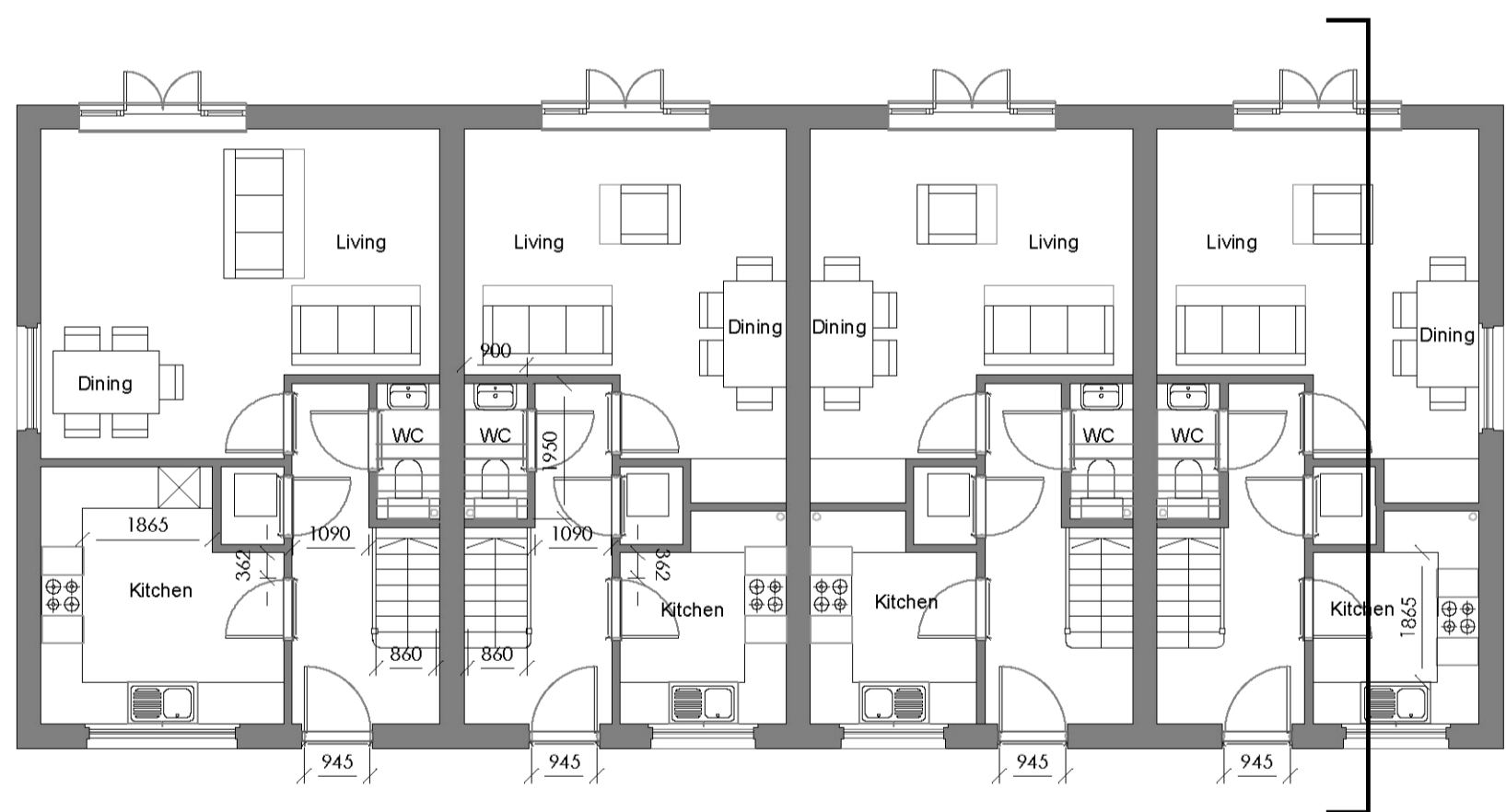
SECTION



REAR ELEVATION



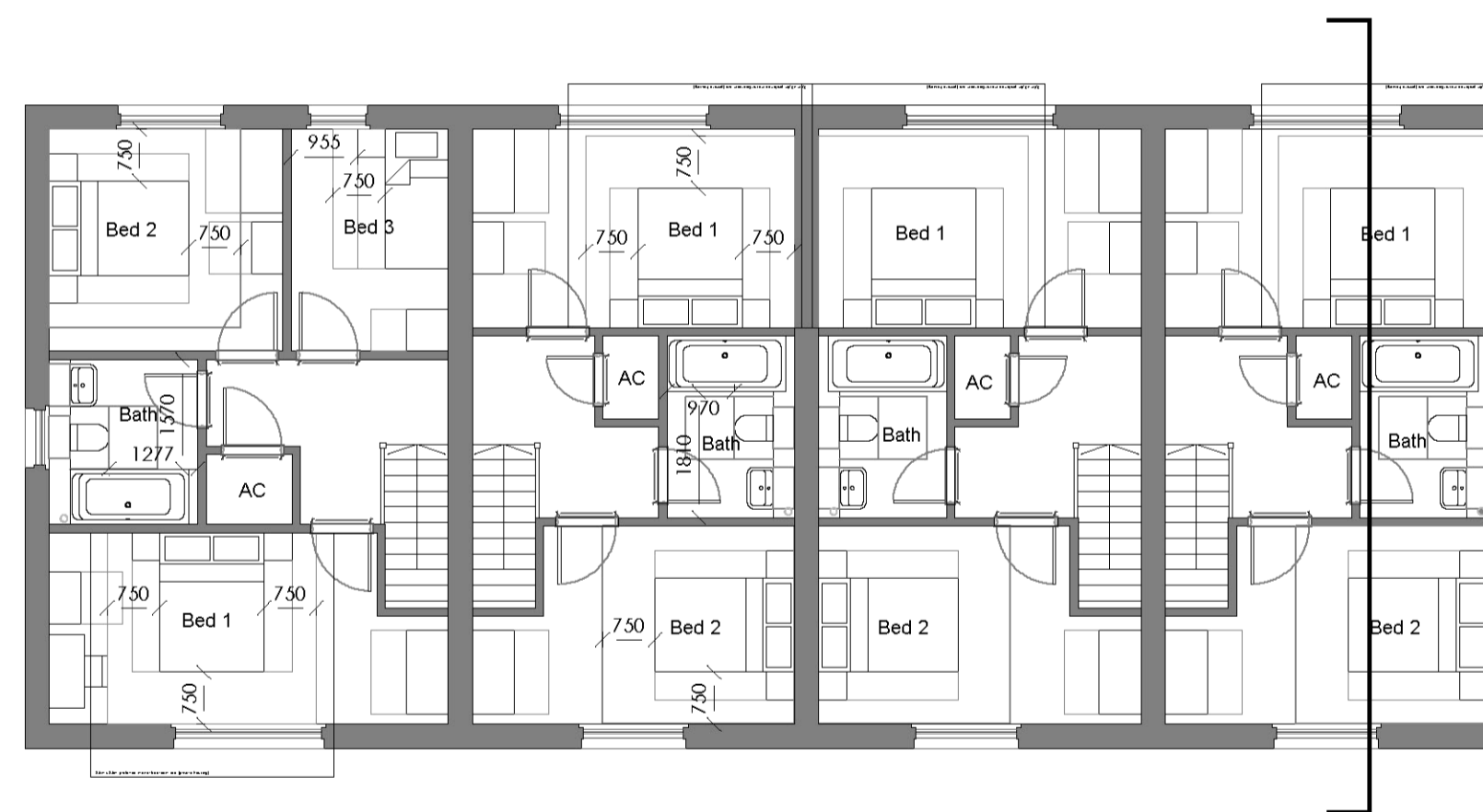
SIDE ELEVATION



GROUND FLOOR PLAN
49sq.m./40sq.m.



FUTURE PROVISION FOR M4(2) ADAPTATION



FIRST FLOOR PLAN
49sq.m./40sq.m.

NOTES:
DIMENSIONS ARE NOT TO BE SCALED FROM THIS DRAWING
ALL DIMENSIONS ARE TO BE CHECKED AGAINST ACTUAL SIZE
DIMENSIONS BEFORE ANY WORK IS FABRICATED
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REVISIONS

Rev.	Date	Description

M4(2) Checklist

Entrance

- Canopy at level entrance 900mm wide and 600mm deep.
- Dusk to dawn timer or motion detection lighting adjacent to entrance.
- Entrance door minimum 850mm clear opening.
- If a porch is included it must allow 1,500mm between the two door swings.

Circulation

- Minimum nib of 300mm to the leading edge of doors (entrance storey only).
- Step free to all rooms within entrance storey.
- 900mm unobstructed corridor widths.
- Living area to be included on entrance storey (living room, dining room or kitchen/dining).
- Stairs 850mm clear width.
- 1200mm minimum clear space in front of kitchen units and appliances.
- 850mm maximum to glazing of principal window in living room.

Bedrooms

- Main double bedroom to have 750mm clear zone to both sides and foot of bed (2m x 1.5m bed).
- Other double beds to have 750mm clear zone to one side and foot of bed (1.9m x 1.350m bed).
- Single beds and twins to have 750mm clear zone to one side of each bed (1.9m x 0.9m bed).
- All bedrooms to have clear access route 750mm from windows and doors.

Sanitary Facilities

- For 1 or 2 bedroom houses, WC within entrance storey 1,600mm x 850mm or 1050mm x 1,500mm.
- For 3 bedroom and houses, WC within entrance storey capable of taking a future level access shower, 1,450mm x 1,800mm room size.
- WC doors to open outwards.

Bathrooms

- Every dwelling to have a bathroom including WC, basin and bath on the same floor as the main double bedroom.
- 1,100mm x 700mm clear access zones in front of WC and basin and to the side of a bath.
- Provision for future level access shower within the bathroom (1 or 2 bed houses).

Client :
GADE HOMES

Job :
SIBFORD FERRIS
BANBURY

Drawing Title:
Plots 3-6
Proposed Plans and
Elevations

Scale:
1:100 @ A1

Date: Jan 2022
Drawn By: MM
Checked: MM

Drawing No: 3699.103
Revision: J

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