

Application number(s):	21/02893/REM
Application site:	Os Parcel 4300 North of Shortlands And South of High Rock Hook Norton Road Sibford Ferris
Proposal:	Approval of reserved matters pursuant to condition 1 of planning permission 18/01894/OUT for details of layout, appearance, scale, landscaping, access, and parking for 25 dwellings

- | | | |
|--|---|---|
| <input type="checkbox"/> Listed Building | <input checked="" type="checkbox"/> Conservation Area (setting) | <input type="checkbox"/> Setting of a Listed Building |
| <input type="checkbox"/> Grade I | <input type="checkbox"/> Grade II* | <input type="checkbox"/> Grade II |

Policies

Cherwell Local Plan 2011-2031 (2015)

- Policy ESD15** New development proposals should: Conserve, sustain and enhance designated and non-designated 'heritage assets' including buildings, features, archaeology, conservation areas and their settings, and ensure new development is sensitively sited and integrated, furthermore development should respect the traditional pattern of the form, scale and massing of buildings

Cherwell Local Plan 1996 Saved Policies

- C18** Works to a listed building should preserve the building, its setting and any features of special architectural or historic interest. Alterations or extensions to a listed building should be minor and sympathetic.
- C23** Presumption in favour of retaining positive features within a Conservation Area.
- C28** The layout, design and materials proposed within a new development should respect the existing local character. 'control will be exercised over all new development to ensure that standards of layout, design and external appearance are sympathetic to the character of the urban or rural context of that development.

NPPF – Chapter 16

- Paragraph 199.** When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- Paragraph 200.** Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:
- grade II listed buildings, or grade II registered parks or gardens, should be exceptional;
 - assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly Exceptional.

Paragraph 201. Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

Paragraph 202. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Paragraph 203. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Other Relevant Policies and guidance

Planning (Listed Buildings and Conservation Areas) Act 1990

Section 16. In considering whether to grant listed building consent for any works the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

Section 72. With respect to any buildings or other land in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

Significance (50 words)

The site is not within the conservation area and although the boundary does not run directly adjacent to the site the site is on a main road into the conservation area.

Appraisal (250 words)

Due to the location of the site the development is mostly removed from the conservation area with more modern development between the site and the conservation area edge. The properties that face onto Hook Norton Road will contribute to the entrance to the conservation area however these are not considered to be harmful with regards to character and appearance. The open space to the west will soften the edge of the development and what will become the new edge of the village when viewed from the wider countryside.

It is unavoidable that the development will visually alter the appearance of Sibford Ferris and the conservation area in the wider landscape, but this is not considered to be detrimental. The significance of the heritage assets is not considered to be affected by the development.

Level of harm

No Harm

Less than Substantial Harm

Substantial Harm

Public Benefit (NPPG)

Yes

No

Comments

Recommendation

No objections

Objections

Engage in preapp

Suggested Conditions

Materials
Landscaping

Conservation Officer: Emma Harrison

Date: 16/03/2022