



RIDGE

RESERVED MATTERS – PHASE 2

PLANNING STATEMENT

**CROCKWELL FARM, GREAT
BOURTON**

March 2021



RESERVED MATTERS CROCKWELL FARM – PHASE 2

PLANNING STATEMENT

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1. INTRODUCTION

Statement Background

- 1.1. This Planning Statement has been prepared by Ridge and Partners LLP on behalf of our client Crockwell Farm LLP. The application relates to the discharge of reserved matters relating to planning application 19/00250/OUT. Specifically, this application relates to Phase 2 of the outline permission and provides detail on access, layout, scale, appearance and landscaping for the erection of two new dwellings approved by the outline consent. The development relates to land at Crockwell Farm, Great Bourton, Oxfordshire OX17 1QT ("the site").
- 1.2. This Statement explores the site context and relevant planning history before providing a detailed description of the proposed development. It will then set out the local and national planning policies relevant to the application proposals before setting out how the proposals are acceptable in the context of the Development Plan and other material considerations before providing a conclusion.
- 1.3. This should be read in conjunction with following:
 - Access drawings by Cotswold Transport Planning;
 - Design and Access Statement by Blake Architects;
 - Existing Floor Plans and Elevations;
 - Ground Investigation Report by Soil Technics;
 - Proposed Floor Plans and Elevations;
 - Updated Bat Survey Report by Cotswold Wildlife Surveys;
 - Updated Drainage Report by Cotswold Transport Planning;
 - Updated Heritage Assessment by Keevill Heritage; and
 - 3D Visuals.

The Application Site

- 1.4. The site benefits from an outline planning permission (LPA Ref.: 19/00250/OUT) that was granted for residential development of 3no dwellings including the conversion of an existing building to a

single residential dwelling (Phase 1) and the replacement of dilapidated buildings for 2no residential dwellings (Phase 2). Therefore, the principle of the residential development has already been accepted on the site. Phase 1 is currently being implemented following the approval of reserved matters application (LPA Ref: 20/01726) in June 2020.

1.5. For practical reasons, the outline permission is being implemented in two individual phases. Phase 1 converts a curtilage listed barn following the approval of reserved matters submitted under LPA Ref: 20/01726/REM.

1.6. This application provides details relating to the replacement of dilapidated buildings known as Buildings 5, 6, 7 and 8 and matters reserved by condition 1 which reads:

1. *“That no development shall be commenced until full details of the access, layout, scale, appearance and landscaping (hereafter referred to as reserved matters) have been submitted to and approved in writing by the Local Planning Authority”.*

1.7. The decision notice and the Officer’s report are appended to this statement as Appendix 1.

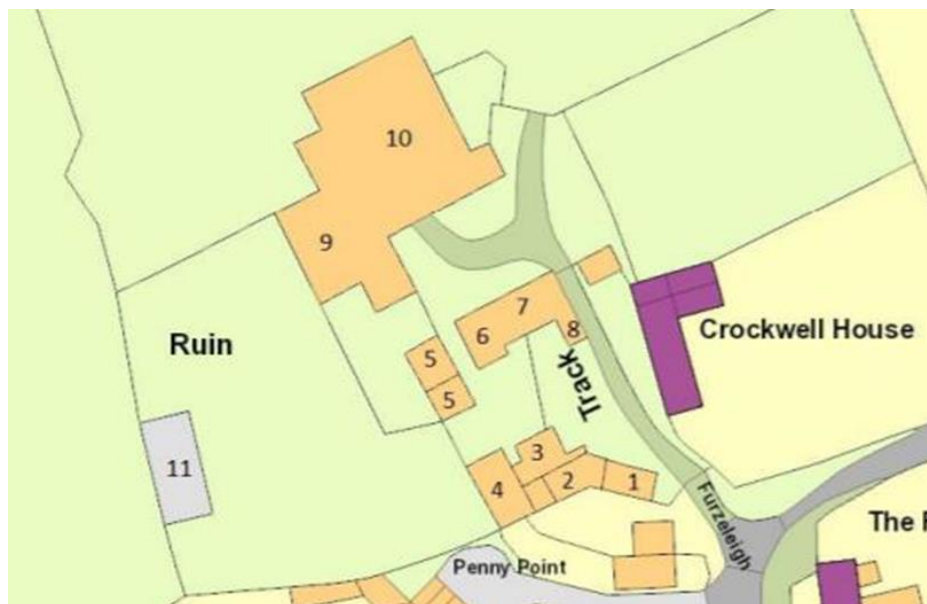


Figure 1 – Application Site

1.8. The application buildings relevant to this application include original structures that are in a poor state of disrepair. The buildings are considered to be visually intrusive upon the setting of the listed farmhouse. The existing materials, character, function and ‘design’ of buildings 7 and 8 are also harmful to the setting of the farmhouse. The secluded and isolated nature of the farmyard, however,

means that the buildings do not have any effect or impact on other nearby listed buildings (e.g., the Manor Farmhouse and The Friars).



Figure 2 – Phase 2 Replacement Buildings

- 1.9. Within the reserved matters approval for Phase 1, it was concluded that following amendments to original outline scheme, and subject to conditions, the layout and scale of the development was acceptable and would not cause harm to the character and appearance of the area. It was also concluded that the alterations to the building would cause harm to the significance of the listed building, but subject to appropriate materials and architectural detailing this harm would be minor and would be balanced out by the public benefits of the scheme namely the re-use of the listed building. The proposed development for Phase 2 is set out in Section 3 of this Planning Statement.
- 1.10. Furthermore, it was concluded that the development would provide a suitable access which would not cause harm to the safety of the highway network. Subject to conditions, the development would not cause harm to the safety of the local highway network or the amenities of neighbours. The decision notice and the Officer's report are appended to this statement as Appendix 2.
- 1.11. Following the approval of the reserved matters for phase 1, the applicant's focus is now directed to the development of phase 2 and achieving a sustainable form of development that will secure the highest standards of design whilst preserving and enhancing the historic environment.

Planning History

1.12. The planning history of the site is set out below:

- LPA Ref: 16/00609/OUT – outline residential development of 3no. dwellings – Permitted by decision notice dated 11th July 2016;

- LPA Ref: 19/00250/OUT – outline residential development of 3no. dwellings (Re-submission of approved application 16/00609/OUT) – Permitted by decision notice dated 5th April 2019;
- LPA Ref: 20/01523/DISC – discharge of pre-commencement conditions no. 5 (Means of Access) and 6 (Construction Traffic Management Plan) of outline planning permission 19/00250/OUT – Permitted by decision notice dated 6th August 2020; and
- LPA Ref: 20/01726/REM – reserved matters to 19/00250/OUT – Phase 1 of the outline permission – approval of reserved matters for conversion of the curtilage listed barn – Permitted by decision notice dated 21st October 2020.

1.13. As set out above, 20/01523/DISC formally discharges condition no. 5 and no. 6 and in turn permits the proposed access works (visibility, finishes and levels) and the proposed internal access works (finishes, kerbing and levels). The improvements to the access have begun and are therefore implemented.

2. SITE AND SURROUNDING AREA

- 2.1. The site is located within the rural village of Great Bourton, Oxfordshire, which is identified as a 'Satellite Village' within the Cherwell District. Great Bourton is approximately 3.3 miles north of Banbury.
- 2.2. The wider site comprised an area of approximately 3.4 hectares of land formerly associated with Crockwell Farm and is located to the north of the village, at the outer limit of the village at the end of Manor Road.
- 2.3. The original farmhouse – Crockwell House – is Grade II listed building (Historic England Ref: 1215873). The farmhouse and its associated gardens (located to the west of the House) do not form part of the application site. However, due to its proximity to the application site, some of the farmyard buildings on the application site are considered to be curtilage listed by association.
- 2.4. There is very little public view of the farmyard or the listed farmhouse, both are glimpsed through the gate on Manor Road, or from a distance from a public footpath to the north-west. Both views are of overgrown dereliction and ruins which frame the listed farmhouse itself.
- 2.5. The site does not form part of any statutory or non-statutory designated areas and is not located within a Conservation Area.
- 2.6. There are no Tree Preservation Orders ("TPOs") on site or in its vicinity.
- 2.7. According to Environmental Agency's maps, the site is located in Flood Zone 1 – an area with low risk of fluvial, pluvial and surface water flooding.

Access

- 2.8. The main vehicular access to the site is from Manor Road.
- 2.9. There is a public footpath that abuts the southern border of the wider site. This leads to open fields to the west as seen on Figure 4 below.

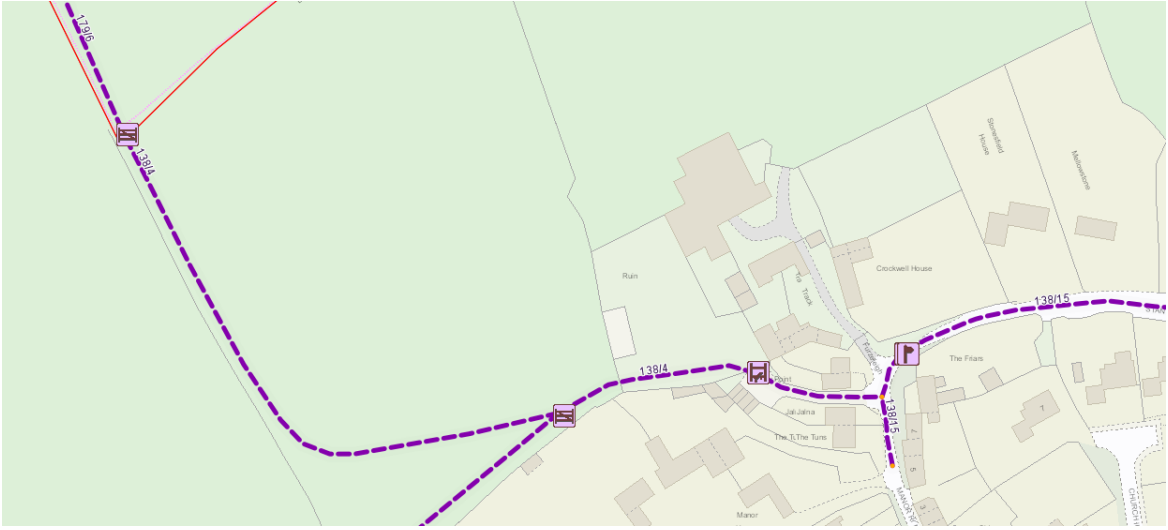


Figure 4: Public Footpath (Ref.: 138/4/20)

3. PROPOSED DEVELOPMENT

3.1. As set out previously, this application relates to Phase 2 of an extant outline planning permission LPA Ref:19/00250/OUT (see illustrative layout in Figure 6 below). This phase of development provides for the demolition of existing structures and erection of two new dwellings.



Figure 5 – Site Plan

3.2. This application is a reserved matters application that provides details of design for a pair of semi-detached dwellings known as Barn 1 and Barn 2 which replace the existing, dilapidated agricultural buildings that currently exist on site. The proposed dwellings have been designed to be sympathetic to the site and surroundings. The use of specific materials has been selected to reflect the local rural vernacular including:

- Aluminium casework windows;
- Bi-folding aluminium screens;
- Blue grey slate tile to match existing listed farmhouse;

- Conservation rooflight;
- Timber lintels;
- Heritage aluminium rainwater goods;
- Ironstone with dressing quoins to match existing farmstead fabric;
- Oak beam over opening with low level windows above;
- Proposed oak post on staddle stones;
- Powder coated matt grey flue;
- Proposed slot window on elevation facing existing farmhouse;
- Red brick infill in between oak posts on staddle stones to match existing detail found on site;
- Timber cladding; and
- Main entrance set back into building to create covered porch.

3.3. Coursed Ironstone walls are predominately used on East Elevations, facing the existing farmhouse, and oak posts with new staddle stones and brick infills – matching existing areas of brick work at the approved Phase 1 development site. The roof is proposed as blue grey slate tiles to match existing farmhouse and buildings on site.

3.4. Openings on the ground floor are full height to replicate a traditional barn vernacular, with proposed matt grey windows and rough sawn timber cladding left to grey. Whilst glass is required for domestic use, the proposed openings are minimised windows on the East facing elevations that face the farmhouse. This minimises the change to the setting of the listed building.

3.5. The design looks to retain the existing farmstead hierarchy by maintaining the yard that the listed farmhouse faces onto. This is achieved through the massing of the proposed buildings which define the open space in front of the farmhouse and the edges of the yard and reflect the traditional form that was found historically.

3.6. To retain the hierarchy, ridge and eaves heights on proposed buildings are significantly lower than existing listed farmhouse to the East. Gable widths and roof pitches are reflective of the existing

barn to the South and are of a width traditionally found this is narrower than proposed for the outline application.

- 3.7. The two proposed barns are differentiated by varying ridge heights. It is proposed that Barn B will benefit from a storey and a half whereas Barn A is single storey. The higher ridge height replicates what can currently be found on site in a historic gable (see Figure 6 below).



Figure 6 – Historic Gable

- 3.8. It is proposed that Barn B will comprise of a first-floor attic bedroom, dressing room and ensuite bathroom. The height of Barn B has been sensitively designed to ensure that it is subservient to the Farmhouse and the Farmhouse remains the most prominent feature on the site. It is clear from the elevations that the Farmhouse would maintain its prominence with Barn B being 1.55m shorter than the listed Farmhouse.
- 3.9. The floor levels of the barns follow that of the contours of the site, this is economical and traditionally how a modest farmstead would have been constructed.
- 3.10. The accompanying plans show the new dwellings sit on a similar footprint to the approved 'outline layout'. The only change to this layout sees the properties extend northwards, away from the listed building and are slightly narrower from south to north-east. This is illustrated in Figure 7 below.



Figure 7 – Proposed development and outline consent comparison

- 3.11. Internally, the properties are divided up into two four-bed dwellings with open plan kitchen, dining and snug. Bedroom windows are facing away from the adjoining property in a northern or western direction to ensure that privacy is maintain.
- 3.12. To the west, the elevations show that there is no intervisibility with the farmhouse where a lighter design of oak posts and staddle stones has been used.

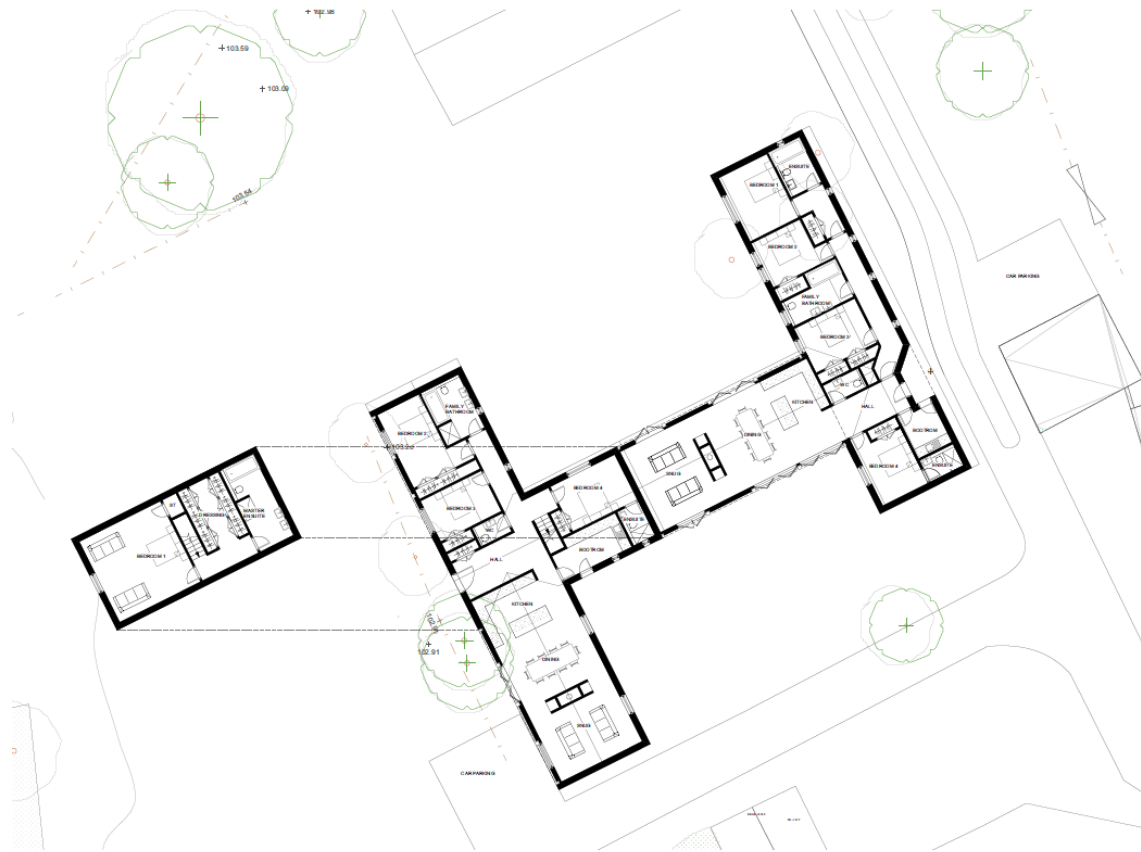


Figure 8 – Proposed layout

3.13. The proposed parking spaces are positioned to the side of the barns to ensure that there is no detrimental impact on the setting of the Farmhouse. In the outline scheme these were located in within the courtyard space. However, maintaining the character of the yard space will unequivocally enhance the setting of the Farmhouse and is therefore considered to be an improvement to the previous layout.

3.14. A Design and Access Statement forms part of the application document pack and describes the assessment and evaluation of the site and the design approach taken for the development. 3D visualisations of the proposal are also submitted to illustrate the design, massing and the scale of the proposed development.



Figure 9 – Visual 1



Figure 10 – Visual 2



Figure 11 – Visual 3

Landscape

- 3.15. The hard and soft landscaping is kept to a simple palette in this space so as not to compete visually with the house, with only subtle tree planting to preserve the agricultural appearance and make it more sympathetic to the rural vernacular.
- 3.16. The garden areas are proposed to the front and rear of Barn A and Barn B with limited boundary works to maintain the open rural setting of the farmstead as seen on the accompanying drawings.
- 3.17. The domestic boundary line to the west has been kept in the original location from the previously granted outline consent (Application No. 16/00609/OUT). This boundary is demarcated by native hedging and a post and rail timber fence with a 5-bar timber gate to retain access to the paddock.
- 3.18. The existing slope to the west is to be regraded allowing for level access around Barn B. To achieve level access to Barn A 1.2m high retaining stone wall has been proposed along the North edge of the site.
- 3.19. A permeable gravel road surface as approved for previous barn conversion application (application no.20/01726/REM) is to be used throughout.

Drainage

- 3.20. This application is also accompanied by an Updated Drainage Statement which proposes the most appropriate method of both foul and surface water drainage.

Bat Survey

- 3.21. The site was surveyed in accordance with relevant legislation and regulations. The site has been resurveyed following the expiration of the previous bat survey.
- 3.22. The report notes that the site is used by bats as a foraging site. The exception being a single Brown Long-eared Bat which uses the steel open barn to the north of the development proposal. The application site itself does not have any roosting bats. Given the presence of a roosting bat, and the low status of the roost, the site is eligible for registration under Natural England's Bat Mitigation Class Licence (BMCL) scheme.
- 3.23. Mitigation measures will include a 'toolbox talk' by a Registered Consultant ("RC") to contractors about bats and what to do if one is unexpectedly encountered, a pre-works inspection of the roof void by the RC, supervision of the destructive roof works by the RC, the latter undertaken by hand, and the provision of a Schwegler 1FD bat box or similar on a retained tree at the site in which to relocate a bat if one is discovered before or during demolition.

4. PLANNING POLICY

- 4.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 and Section 70(2) of the Town and Country Planning Act 1990 requires that planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. This section provides an overview of relevant planning policies and guidance to the proposed development.
- 4.2. The Development Plan for the Cherwell District for the purpose of 38(6) comprises as follows:
- The adopted Cherwell District Local Plan 2011 – 2031 Part 1; and
 - Saved policies of Cherwell Local Plan 1996
- 4.3. Local Plan Policy Part Two, which will deal with site allocation, has yet to be adopted. Policies relating to new residential proposals stated within the Cherwell Local Plan 1996 has been superseded by the Cherwell Local Plan Part 1, however, the saved policies are a material consideration in the decision making.
- 4.4. Other material planning considerations are the National Planning Policy Framework (“the Framework”), and the Cherwell Residential Design Guide adopted in 2018.

Cherwell Local Plan 2011 – 2031 Part 1

- 4.5. Cherwell Local Plan (Part 1) was adopted in July 2015 and contains strategic planning policies for development and the use of land. It forms part of the statutory development plan for the District.
- 4.6. **Policy PSD I** states that *“When considering development proposals, the Council will take a proactive approach to reflect the presumption in favour of sustainable development contained in the National Planning Policy Framework. The Council will always work proactively with applicants to jointly find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area”*
- 4.7. **Policy ESD 2** seeks to *“reduce carbon emissions by encouraging sustainable design and construction methods”*, this is reflected within Policy ESD 3: Sustainable Construction ensuring developments are of high-quality design and construction methods
- 4.8. **Policy ESD 3** states that *“All development proposals will be encouraged to reflect high quality design and high environmental standards, demonstrating sustainable construction methods”* for example

"Incorporating the use of locally sourced building materials" and "Re-using materials where proposals involve demolition or redevelopment".

- 4.9. **Policy ESD 10** seeks to protect and enhance biodiversity and the natural environment.
- 4.10. **Policy ESD 13** aims to protect and enhance the local landscape. Development is expected to respect and enhance local landscape character and must not cause harm to their setting.
- 4.11. **Policy ESD 15** sets the requirement for *"New development will be expected to complement and enhance the character of its context through sensitive siting, layout and high-quality design. All new development will be required to meet high design standards. Where development is in the vicinity of any of the District's distinctive natural or historic assets, delivering high quality design that complements the asset will be essential"*.
- 4.12. It also states that *"new development proposals should conserve, sustain and enhance designated and non-designated 'heritage assets' (as defined in the NPPF) including buildings, features, archaeology, conservation areas and their settings, and ensure new development is sensitively sited and integrated in accordance with advice in the NPPF and NPPG"*.
- 4.13. Furthermore, Policy ESD 15 sets out that proposals should *"respect the traditional pattern of routes, spaces, blocks, plots, enclosures"* and *"consider the amenity of both existing and future development, including matters of privacy, outlook, natural lighting, ventilation, and indoor and outdoor space and the form, scale and massing of buildings"*.

Cherwell Local Plan 1996 Saved Policies

- 4.14. As detailed above, the saved policies of Cherwell Local Plan 1996 apply and remain part of the statutory Development Plan to which regard must be given in the determination of planning applications.
- 4.15. **Saved Policy C28** aims to promote the creation of an interesting and attractive built environment that encourages design, providing that the appearance of a proposed new development is sensitive to the particular site and is in harmony with the general character of its surroundings. It states that *"control will be exercised over all new development, including conversions and extensions, to ensure that the standards of layout, design and external appearance, including the choice of external-*

finish materials, are sympathetic to the character of the urban or rural context of that development”.

This policy

- 4.16. **Saved Policy C30** aims to control design to ensure that “*new housing development is compatible with the appearance, character, layout, scale and density of existing dwellings in the vicinity; that any proposal to extend an existing dwelling is compatible with the scale of the existing dwelling, its curtilage and the character of the street scene and that new housing development or any proposal for the extension or conversion of an existing dwelling provides standards of amenity and privacy acceptable to the local planning authority*”.

Other Material Considerations

National Planning Policy Framework (2019)

- 4.17. The NPPF was updated in June 2019 and sets out how the government policies should be applied in England.
- 4.18. The presumption in favour of sustainable development is at the heart of the NPPF. **Paragraph 7** is clear that the purpose of the planning system is to contribute to sustainable development. Sustainable development is defined at **Paragraph 8** of the NPPF, and includes three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways; these being economic, social and environmental factors.
- 4.19. To deliver these objectives, **Paragraph 9** sets out that planning policies and decisions should play an active role in guiding development towards sustainable solutions, but in doing so should take local circumstances into account, to reflect the character, needs and opportunities of each area.
- 4.20. **Paragraph 10** is clear that so sustainable development is pursued in a positive way, at the heart of the framework is a presumption in favour of sustainable development. **Paragraph 11** states for decision taking, this means “*approving development proposals that accord with an up-to-date development plan without delay*”. It also details, “*where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:*
- i. *the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*

- ii. *any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*”

4.21. **Paragraph 117** states that “*decisions should promote an effective use of land in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. [...] in a way that makes as much use as possible of previously developed or ‘brownfield’ land*”.

4.22. In addition, **Paragraph 118 (c)** posits that “*decisions should give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land*”.

4.23. **Chapter 12** relates to achieving well-designed places and highlights that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve.

4.24. **Paragraph 124** states that the creation of high-quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

4.25. **Paragraph 127** sets out that it is important to ensure that developments:

- i. *Will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- ii. *Are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
- iii. *Are sympathetic to local character and history, including the surrounding built environment and landscape setting, whilst not preventing or discouraging appropriate innovation or change;*
- iv. *Establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; and*
- v. *Create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder,*

and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

4.26. **Paragraph 131** sets out that "*great weight should be given to outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings*".

4.27. **Paragraph 185** states that "*plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take into account:*

- a) *the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;*
- b) *the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;*
- c) *the desirability of new development making a positive contribution to local character and distinctiveness; and*
- d) *opportunities to draw on the contribution made by the historic environment to the character of a place"*.

4.28. **Paragraph 189** states that "*in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.*"

4.29. **Paragraph 192** highlights that local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.

4.30. **Paragraphs 193 – 202** relate specifically to the potential impacts of development on the Historic Environment.

Relevant Supplementary Planning Documents

4.31. The following are also considered to be relevant to this application and can be considered to give material weight to the planning proposal:

- 4.32. The Cherwell Residential Design Guide (CRDG) provides further explanation and guidance in relation to Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1. It is a technical guide on the design standards that are required within the Cherwell District.
- 4.33. The CRDG provides four geographical character areas, of which, Great Bourton is found within the Cherwell Valley. The Cherwell Valley is defined by linear form, reflecting growth along main movement routes, and nucleated settlements around road junctions. Great Bourton is considered to have a nucleated settlement pattern.
- 4.34. Materials are predominately ironstone from Clifton northwards and limestone southwards. Some villages have a mixture. Great Bourton is located northwards of Clifton therefore ironstone is more commonly sought. It is also common that roofs will be dark toned plain slate and tiled roof or thatch.
- 4.35. With regards to parking standards, this is to be reviewed in part 2 of the Cherwell Local Plan. A design principle that is detailed is rear courtyard parking. This can be used to reduce visual impact and must be well overlooked by properties, supply no more than 6 properties and provide a maximum of 12 parking spaces.
- 4.36. In addition, amenity space is also considered. The CRDG pg. 98 details “*the principles for amenity space*”:
- i. *Amenity space must be usable and receive sunlight for the majority of the year. Building heights, orientation and access to light must be considered to prevent overshadowing, particularly in north facing gardens.*
 - ii. *Areas must not be overlooked, lack suitable privacy, or have other primary functions e.g., car parking, refuse storage and footpaths are not amenity space.*
 - iii. *A minimum distance of 22m back-to-back, between properties must be maintained.*
 - iv. *A minimum of 14m distance is required from rear elevation to two storey side gables.*
 - v. *First floor habitable room windows must not be within 7m of neighbouring property”.*

5. PLANNING ASSESSMENT

- 5.1. The previous section of this report identifies all relevant planning policy in relation to the proposed development. This section will address this key policy issues relevant to the proposal and provide an analysis against these matters.

Principle of Development

- 5.2. The principle of residential development for site has been established via outline planning permission LPA Ref:19/00250/OUT. This application proposal follows the approval of 20/01726/REM for Phase 1 and now deals specifically with reserved matters relating to phase 2 of the consented development, relating to access, layout, scale, appearance and landscaping.

Heritage and Design Considerations

- 5.3. In line with the requirements of paragraphs 189 of the NPPF, this planning application is accompanied by an updated Heritage Statement prepared by Keevill Heritage Ltd which assesses the proposed designs relating to phase 2 of the development and how these now impact on the adjoining listed building given that the current proposal is to link the two new dwellings and add some additional height into one of the buildings.
- 5.4. The Heritage Statement concludes that the new dwellings will provide high-quality, aesthetically pleasing architecture. It also outlines that the use of a local vernacular complements its surroundings, whilst maintaining the original agricultural character of the site. The report comments that arrangement and relationship of the proposed buildings on site will provide a clear sense of the historic farmstead's form and close ties to Crockwell Farm, thus retaining a strong sense of place and the site's agricultural origins.
- 5.5. In addition to this, the Statement also concludes that the new residential character will provide a new, viable and sustainable use and character to the site, while also helping to preserve and sustain the interpretation of the farming origins to this part of the village.
- 5.6. The Statement also recognises the changes to the scale of the proposals when compared against the outline permission. This is highlighted within the accompanying drawings.
- 5.7. The additional accommodation within the attic level is considered to establish a height that would keep the buildings subservient to the grade II listed Farmhouse.

- 5.8. Furthermore, the lower height of Barn A and the north-south orientation of Barn B will mask any additional visual effects on the Farmhouse. Therefore, the conclusion is reached that the alterations do not impose any additional impact on the listed building, and do not cause any harm either to it or its setting. Similarly, there is no impact on the Grade II listed 'The Friars' or 'Manor Farmhouse' to the south.
- 5.9. Moreover, the layout of the buildings reflects the historic and later form of the farmstead. The H-shaped plan is considered to work well because it establishes distinctive courtyard areas to the north and south, reminiscent of the agricultural character whilst meeting modern standards of environmental sustainability and energy conservation.
- 5.10. It is considered that the open plan nature of the interior layout makes excellent use of the available space both individually and collectively. With regards to elevations, the Heritage Statement is supportive in that the proposals provide a clear mix of a traditional agricultural aesthetic with the requirements of residential use. In addition, the massing fully respects the farmhouse and the barns to the south and is subservient in scale and form. The new build does not compete in anyway with the existing/retained buildings on the site.
- 5.11. Finally, the plans and elevation show that the new building will be entirely in keeping with its surrounding. The new dwellings will be a great improvement on the current dilapidated and state of the site. The proposals are considered to revitalise the site as a whole and will not only preserve but also substantially enhance the Grade II listed farmhouse and its setting as set out within section 16 and paragraph 192-197 of the NPPF.
- 5.12. When considering above, the design, siting, massing and layout of the proposed replacement dwelling is entirely respectful of the nearby heritage assets and utilises materials that are reflective of the area. The setting of the listed building is unequivocally enhanced and in accordance with Policy ESD 2, Policy ESD 3, Policy ESD 15, Saved Policy C28, Saved Policy C30 and the NPPF. Further details can be found within the Design and Access Statement accompanying this planning application.

Landscape Considerations

- 5.13. The proposed development is not constrained by landscaping designations and therefore takes a more subtle approach to enhancing the existing landscape through minimal tree planting in order to

maintain the agricultural sense of place and the traditional farmyard layout and historic relationship with the Farmhouse are maintained and enhanced.

5.14. Therefore, the proposal seeks to restore the character and appearance of the traditional farm layout without causing a harm to the setting of the nearby listed building and other features of the surrounding landscape. The proposed development therefore positively responds to requirements of policy ESD13 and are in accordance with paragraph 124 of the NPPF, by way of being sympathetic to local character and history including the surrounding building environment.

Access

5.15. Full details of improvements to the means of access between the land and the highway, including position, layout, construction, drainage and vision splays have been approved by the Council under discharge of conditions application LPA Ref.: 20/01523/DISC (see Figure 12).

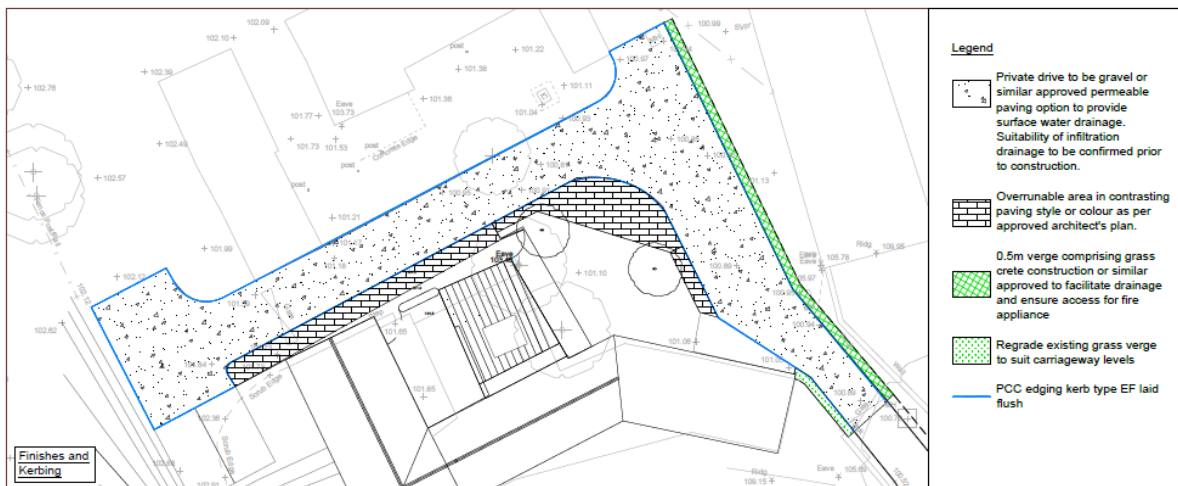


Figure 12: Access details approved under 20/01523/DISC

Flood Risk and Drainage

5.16. The site is located within Flood Zone 1 and does experience some surface water flooding. The Drainage Statement sets out that the drainage for the development will be achieved by incorporating and utilising the existing soakaways.

Ecology

5.17. The site is not located within and area of biodiversity or geological value of national, regional or local importance.

- 5.18. The proposed development will, through additional planting, assist with creation of new habitats on site. As such, the proposal responds to relevant criteria of local plan policy ESD10.
- 5.19. Given the above and the technical reports that support this application, we consider the benefits of the scheme do significantly outweigh any adverse impacts of the scheme, and therefore in line with Paragraph 11 d) of the NPPF planning permission should be granted.

CONCLUSION

- 6.1. This Planning Statement has been prepared by Ridge and Partners LLP on behalf of our client Crockwell Farm LLP to accompany a reserved matters application to discharge matters reserved by Condition no. 1. This application includes details relating to Phase 2 of the outline permission including access, layout, scale, appearance and landscaping for replacement of two former agricultural buildings to two residential dwellings at Crockwell Farm, Great Bourton, Oxfordshire OX17 1QT
- 6.2. Throughout this statement it has demonstrated that design, layout design and appearance of the materials used are entirely respectful of grade II listed Crockwell Farmhouse and its setting. It is clear throughout this statement that the proposals are in line with the requirements of saved policies C28 and C30, and adopted Local Plan policies BSC2, ESD2, ESD3, ESD 10, ESD13 and ESD15.
- 6.3. Overall, Ridge conclude that the proposal accords with requirements of relevant policies of the Cherwell District Local Plan 2011 – 2031, as well as with the saved policies of the Cherwell Local Plan 1996. As such, we respectfully request that planning permission is granted accordingly.

APPENDIX 1

19/00250/Out Officer's Report

**Barns
Crockwell House Farm
Manor Road
Great Bourton**

19/00250/OUT

Case Officer: Matthew Chadwick

Recommendation: Approve

Applicant: Ms Louise Bywaters

Proposal: OUTLINE - Residential development of 3no dwellings (Re-submission of approved application 16/00609/OUT)

Expiry Date: 5 April 2019

1. APPLICATION SITE AND LOCALITY

- 1.1. The site is located to the north of the village of Great Bourton, at the outer limit of the village at the end of Manor Road. The site is currently occupied by a number of dilapidated farmyard buildings and barns. The buildings would previously have been used as part of a working farm in relation to Crockwell House to the east; however the farm is no longer a working enterprise.
- 1.2. The site is located in close proximity to a Grade II Listed Building, Crockwell House, and the existing farmyard buildings are considered curtilage listed by association. Public Footpath 138/4/20 runs close to the southwest corner of the site and the site is in an area of Potentially Contaminated Land, most likely owing to the sites former use as a farmyard.

2. DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1. Outline planning permission is sought for a proposed residential development of 3 dwellings. All matters are reserved for this application; however, an indicative site plan has been submitted. The plans submitted for this application show the retention of the barn at the south of the site and the conversion of this building to a single dwelling and the demolition of the dilapidated farm buildings to the north and the replacement of these buildings with two single storey dwellings. These dwellings would be in a courtyard layout around the existing farmhouse.

3. RELEVANT PLANNING HISTORY

- 3.1. The following planning history is considered relevant to the current proposal:

<u>Application Ref.</u>	<u>Proposal</u>	<u>Decision</u>
16/00609/OUT	Proposed residential development of 3 no. dwellings	Application Permitted

- 3.2. The current application is identical to the previously approved scheme, which was granted consent on 11th July 2016.

4. PRE-APPLICATION DISCUSSIONS

4.1. No pre-application discussions have taken place with regard to this proposal.

5. RESPONSE TO PUBLICITY

5.1. This application has been publicised by way of a site notice displayed near the site, by advertisement in the local newspaper, and by letters sent to all properties immediately adjoining the application site that the Council has been able to identify from its records. The final date for comments was 21.03.2019, although comments received after this date and before finalising this report have also been taken into account.

5.2. The comments raised by third parties are summarised as follows:

- The development is unnecessary, given the Council's housing land supply position.
- The access is not sufficient for the development.
- The development would cause harm to the setting of Crockwell Farmhouse, a grade II listed building.

5.3. The comments received can be viewed in full on the Council's website, via the online Planning Register.

6. RESPONSE TO CONSULTATION

6.1. Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council's website, via the online Planning Register.

PARISH COUNCIL AND NEIGHBOURHOOD FORUMS

6.2. THE BOURTONS PARISH COUNCIL: **No objections**, with the principle of resubmission of the earlier application [16/00609/OUT] which is assumed to be because granted permission has expired, or the principle of redevelopment of the farm buildings site. The existing buildings are past their useful site, and as a brownfield site fall within the Cherwell criteria for building within the village perimeter.

However, we do have some reservations about the footprint of the outline proposal. The new buildings are roughly on the same footprint as the buildings 6, 7 & 8, as per the Heritage survey, they are replacing, but the level of activity associated with an independent domestic use will encroach more on the Grade II listed farmhouse that did the ad hoc development of the former farmyard buildings.

While this is very big improvement is being made to the built environment in the curtilage of the listed building we feel the opportunity should be taken to create a more open courtyard effect in front of Crockwell House by pushing the nearest new dwelling a little north, or by putting the north east wing to the back.

STATUTORY CONSULTEES

6.3. OCC HIGHWAYS: **No objections**, subject to conditions relating to further details of the access, turning area, car and cycle parking provision and a construction traffic management plan.

6.4. THAMES WATER: No comments received.

NON-STATUTORY CONSULTTEES

- 6.5. OCC ARCHAEOLOGY: No comments received.
- 6.6. CDC BUILDING CONTROL: Insufficient information submitted.
- 6.7. CDC CONSERVATION: No comments received.
- 6.8. CDC ECOLOGY: No comments received.
- 6.9. CDC ENVIRONMENTAL HEALTH: **No objections**, subject to the full contaminated land conditions.
- 6.10. OCC RIGHTS OF WAY: **No objections** and comments that the public footpaths must not be impacted on and will need to remain clear and accessible at all times.
- 6.11. CDC WASTE AND RECYCLING: No comments received.

7. RELEVANT PLANNING POLICY AND GUIDANCE

- 7.1. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.2. The Cherwell Local Plan 2011-2031 - Part 1 was formally adopted by Cherwell District Council on 20th July 2015 and provides the strategic planning policy framework for the District to 2031. The Local Plan 2011-2031 – Part 1 replaced a number of the 'saved' policies of the adopted Cherwell Local Plan 1996 though many of its policies are retained and remain part of the development plan. The relevant planning policies of Cherwell District's statutory Development Plan are set out below:

CHERWELL LOCAL PLAN 2011 - 2031 PART 1 (CLP 2031 Part 1)

- ESD10 – Biodiversity and the Natural Environment
- ESD13 – Local Landscape Protection and Enhancement
- ESD15 - The Character of the Built and Historic Environment
- Villages 1 – Village Categorisation

CHERWELL LOCAL PLAN 1996 SAVED POLICIES (CLP 1996)

- C28 – Layout, design and external appearance of new development
- C30 – Design control

- 7.3. Other Material Planning Considerations

- National Planning Policy Framework (NPPF)
- Planning Practice Guidance (PPG)
- Cherwell Residential Design Guide (2018)

8. APPRAISAL

- 8.1. The key issues for consideration in this case are:

- Principle of development
- Design, impact on the character of the area and heritage assets
- Residential amenity

- Highway safety
- Ecology

Principle of development

- 8.2. Paragraph 11 of the NPPF states that a presumption of sustainable development should be seen as a golden thread running through decision taking. There are three dimensions to sustainable development, as defined in the NPPF, which require the planning system to perform economic, social and environmental roles. These roles should be sought jointly and simultaneously through the planning system.
- 8.3. The NPPF does not change the statutory status of the development plan as the starting point for decision making. Proposed development that conflicts with the Local Plan should be refused unless other material considerations indicate otherwise (Para. 12). Cherwell District Council has an up-to-date Local Plan which was adopted on 20th July 2015 and can demonstrate a 5.2 year supply from 2017-2022 (the previous period) and a 5.4 year supply from 2018-2023 (the current period).
- 8.4. The principle of residential development in Great Bourton is assessed against Policy Villages 1 in the Cherwell Local Plan Part 1. Great Bourton is recognised as a Category B village in the Cherwell Local Plan 2011 – 2031 Part 1. Category B villages are considered to be ‘satellite villages’, that is smaller villages associated with a larger service centre. Within Category B villages, residential development will be restricted to the conversion of non-residential buildings, infilling and minor development comprising small groups of dwellings on sites within the built up area of the settlement.
- 8.5. Although the existing group of farm buildings is on the edge of the village the site is considered to be within the built limits of the village, as there are dwellings on the western side of Manor Road and the northern side of Stanwell Lane, with the site bounded to the south and east by residential land use and also land to the west which relates more to the village than the countryside. The proposed set of dwellings relate well to the pattern of development and whilst the proposed buildings would extend slightly further to the west than the existing farm buildings, this is not considered to intrude significantly further into the countryside than the existing built development in this part of the village. Furthermore, the development is identical to the previously approved scheme, which remains extant, and there has not been a significant change in policy context since this approval.
- 8.6. The proposed development is thus considered to be acceptable minor development within the built-up limits of the village and is therefore considered acceptable in principle, subject to the material considerations that shall be discussed below.

Design, impact on the character of the area and heritage assets

- 8.7. Government guidance contained within the NPPF requiring good design states that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. Further, permission should be refused for development of poor design that fails to take the opportunities for improving the character and quality of an area and the way it functions.
- 8.8. Saved Policies C28 and C30 of the Cherwell Local Plan 1996 exercise control over all new developments to ensure that the standards of layout, design and external appearance are sympathetic to the character of the context. New housing

development should be compatible with the appearance, character, layout, scale and density of existing dwellings in the vicinity.

- 8.9. Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1 states that new development will be expected to complement and enhance the character of its context through sensitive siting, layout and high quality design. All new development will be required to meet high design standards, and should respect the historic environment including Conservation Areas and listed buildings.
- 8.10. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) states that: *In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority...shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.*
- 8.11. Crockwell House is a Grade II Listed Building and the barns on the site are considered to be curtilage listed. The reserved matters application would need to be submitted alongside a listed building consent application for the demolition and conversion of the curtilage listed buildings.
- 8.12. All matters are reserved for this outline application and so details of layout, scale and appearance are for future consideration. Given that the site is within the setting of the listed building and contains curtilage listed buildings, it would normally be expected for the outline application to include assessment of layout and scale at this stage rather than as reserved matters. However, it is recognised that layout and scale were reserved matters in the extant outline consent. It is therefore necessary to determine at this stage whether acceptable details can be achieved. The indicative site plan shows the conversion and retention of the farm building at the south of the site and the demolition of the farm buildings to the north, with two new single storey dwellings constructed in their place.
- 8.13. The proposed layout of the buildings is in a courtyard arrangement, loosely following the arrangement of the existing buildings. This arrangement would result in a development that would be well-contained within the site and is considered to relate well to the existing farmhouse, Crockwell House. In a wider context, the development would relate well to development on the north side of Manor Road and Stanwell Lane and would not represent a harmful or significant intrusion of built development into the countryside. The proposal for the dwellings to be kept single storey and relatively simple in form would also be appropriate given the farmyard context and their location within the setting of the listed building, and would also provide a transition in built form at the edge of the village.
- 8.14. There are some elements of the indicative scheme that could be improved upon. In particular it is considered that the two new dwellings proposed to the north of the site would need to be linked, and forward projections would need to be avoided, to better reflect a traditional courtyard arrangement. Landscaping and parking will also need to be carefully planned so as to maintain, as far as possible, the essence of an open farmyard setting. However, these matters can be satisfactorily addressed at reserved matters stage.
- 8.15. A number of the existing buildings on the site are proposed to be demolished under this application, with some of these buildings considered to be curtilage listed. The farm buildings that are proposed to be demolished are in a poor state of repair and are of limited architectural value, with a number of modern interventions and alterations. The applicant has produced an assessment of the heritage value of the buildings, and from reading this and my observations on site it appears to me that

the significance of the buildings is primarily derived from their plan form and historic relationship to Crockwell House rather than any particular merit in the fabric and appearance of the buildings themselves. The retention of historic walls would be desirable. However, on the basis of the evidence before me I consider it highly unlikely the buildings would be structurally capable of conversion given their dilapidated state.

- 8.16. The demolition of these curtilage listed buildings would result in substantial loss or harm and as such the tests of Paragraph 195 of the NPPF must be applied and this was considered under the previous application (then Paragraph 133). It was considered that the nature and condition of these curtilage listed buildings prevents all reasonable uses of the buildings in their current form and that the buildings are no longer useful for modern agricultural working practices and were beyond economic repair. This being the case, it was considered that the second test of Paragraph 195 is also met. The limited architectural and historic value of the buildings in their own right meant that it was considered highly unlikely that grant-funding could be secured to restore these buildings, particularly given the amount of rebuilding and alteration that would be required. Finally, it was considered the application presented an opportunity to bring the site back into a use that, if the development was carried out sensitively, would enhance the setting of the principal listed building. It was therefore concluded that the proposal passed the tests of Paragraph 195 and the harm that would result was justified in this case. The scheme is still extant and I have no reason to go against this judgement.
- 8.17. The layout of the single storey buildings in a courtyard arrangement around the listed building, as shown on the illustrative layout, is considered to preserve the setting of Crockwell House and if carried out sensitively would enhance its setting. This would retain the primacy and significance of the listed building, providing that the proposed dwellings were appropriately designed in this layout.
- 8.18. Therefore, in conclusion on this matter, whilst the proposal would result in the loss of some curtilage listed buildings, taking into account the poor structural condition of these buildings and what I have judged to be their limited heritage value in their own right, it is considered that the harm that would result is outweighed by the benefits in this case and that an acceptable scheme could be achieved at reserved matters stage that would at very least preserve, if not enhance, the setting and significance of the principal listed building, Crockwell House and that would not cause harm to character and appearance of the wider area.

Residential amenity

- 8.19. Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1 states that new development proposals should consider amenity of both existing and future development, including matters of privacy, outlook, natural lighting, ventilation and indoor and outdoor space.
- 8.20. No elevations have been provided as part of this outline application and thus it is not possible to comment on whether the layout on the indicative site plan would result in overlooking or a loss of privacy. The closest dwelling to the site would be Crockwell House to the east, the farmhouse to which the former farm buildings would have related.
- 8.21. However, owing to the siting and scale of the proposed buildings it is considered unlikely that there would be an impact in this regard. Furthermore, there are no dwellings to the north and the dwellings would be sited a sufficient distance away from those to south and east of the site. As such it is considered that acceptable

details could be agreed at reserved matters stage that would achieve a good level of amenity for existing and proposed residents.

Highway safety

- 8.22. Concerns have been raised during the consultation process regarding the issues of highway safety and access. Manor Road is a narrow road which tapers to being wide enough only for one car in places. The Highways Officer has offered no objections to the scheme, subject to a number of conditions. These conditions relate to the submission of further details of the access, turning area, car and cycle parking provision and a construction traffic management plan. As this application is outline with all matters reserved, the access condition is the only one that is appropriate to be imposed at this stage, in order to ensure that safe access can be provided to the site. All other matters can be addressed at reserved matters stage.

9. PLANNING BALANCE AND CONCLUSION

- 9.1. The NPPF states that the purpose of the planning system is to contribute to the achievement of sustainable development. Paragraph 8 requires that the three dimensions to sustainable development (economic, social and environmental) are not undertaken in isolation, but are sought jointly and simultaneously.
- 9.2. The application is a resubmission of the previously approved scheme, which remains extant at this time. The proposal is therefore acceptable in principle as minor development within the built limits of a Category B village. The proposal is considered to be of a design, scale and style that is sympathetic to the context of the development and, whilst there would be harm to heritage assets as a result of the demolition of curtilage listed buildings, this harm is considered acceptable and justified in this case having regard to the tests of Paragraph 195 of the NPPF, with details of the scheme being secured at reserved matters stage. It is considered that a reserved matters scheme could achieve a development that would not cause harm to the amenities of neighbours or the safety of the local highway network.

10. RECOMMENDATION

That permission is granted, subject to the following conditions:

1. No development shall be commenced until full details of the access, layout, scale, appearance and landscaping (hereafter referred to as reserved matters) have been submitted to and approved in writing by the Local Planning Authority.

Reason: This permission is in outline only and to comply with the provisions of Section 92 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and Article 5(1) of the Town and Country Planning (Development Management Procedure) Order 2015 (as amended).

2. In the case of the reserved matters, application for approval shall be made not later than the expiration of three years beginning with the date of this permission.

Reason: This permission is in outline only and to comply with the provisions of Section 92 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and Article 5(1) of the Town and Country Planning (Development Management Procedure) Order 2015 (as amended).

3. The development to which this permission relates shall be begun not later than the expiration of two years from the final approval of the reserved matters or, in the case of approval on different dates, the final approval of the last reserved matters to be approved.

Reason: This permission is in outline only and to comply with the provisions of Section 92 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004, and Article 5(1) of the Town and Country Planning (General Development Procedure) Order 2015 (as amended).

4. Except where otherwise stipulated by conditions attached to this permission and unless otherwise agreed with the Local Planning Authority, the development shall be carried out strictly in accordance with the following documents and drawings:

3561/B Map and 3561/20E.

Reason: For the avoidance of doubt, to ensure that the development is carried out only as approved by the Local Planning Authority, and in accordance with Government guidance contained within the National Planning Policy Framework.

5. Prior to the commencement of the development hereby approved, full details of improvements to the means of access between the land and the highway, including, position, layout, construction, drainage and vision splays, shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the means of access shall be improved and retained in accordance with the approved details.

Reason - In the interests of highway safety and to comply with Government guidance contained within the National Planning Policy Framework.

6. Prior to the commencement of the development hereby approved, a Construction Traffic Management Plan (CTMP) shall be submitted to and approved in writing by the Local Planning Authority. The submitted CTMP shall as a minimum detail:

- (a) measures to protect the existing public right of way during construction work
- (b) arrangements for the access and parking of construction vehicles
- (c) arrangements for the delivery and storage of materials to the site
- (d) arrangements for the removal of waste materials from the site

Thereafter the development shall be carried out strictly in accordance with the approved CTMP.

Reason - In the interests of highway safety, and to minimise the impact of the construction phase of development on the users of the public highway, to comply with Government guidance contained within the National Planning Policy Framework.

7. The dwellings hereby approved shall be no more than single storey in scale.

Reason - To ensure the satisfactory appearance of the completed development, to safeguard the privacy of the occupants of the existing and proposed dwellings and to preserve the setting of listed buildings, to comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policies C28 and C30 of the

Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

PLANNING NOTE

1. Bats are a highly mobile species which move between a number of roosts throughout the year. Therefore all works must proceed with caution and should any bats be found during the course of works all activity in that area must cease until a bat consultant has been contacted for advice on how to proceed. Under the Wildlife & Countryside Act 1981 (as amended) and the Habitat and Species Regulations 2010 it is illegal to intentionally or recklessly disturb, harm or kill bats or destroy their resting places.
2. The illustrative layout shown on Drawing No: 3561/20E is not considered acceptable for reserved matters submission. In particular it is considered that the layout does not successfully preserve the historic farmyard setting to Crockwell House, and the form of the new dwellings (detached and with front projections) does not successfully replicate the simple form of traditional agricultural buildings. It is recommended that pre-application advice is sought in respect of a revised scheme prior to making a reserved matters submission.

Case Officer: Matthew Chadwick

DATE: 03/04/19

Checked By: Nathanael Stock

DATE: 04.04.2019

APPENDIX 2

20/01726/REM Officer's Report

Case Officer: Matthew Chadwick

Recommendation: Approve

Applicant: Mr Roger Yates

Proposal: Reserved matters to 19/00250/OUT - Phase 1 of the outline permission - approval of reserved matters for conversion of the curtilage listed barn.

Expiry Date: 25 August 2020

Extension of Time: 21 October 2020

1. APPLICATION SITE AND LOCALITY

- 1.1. The site is located to the north of the village of Great Bourton, at the outer limit of the village at the end of Manor Road. The site is currently occupied by a number of dilapidated farmyard buildings and barns. The buildings would previously have been used as part of a working farm in relation to Crockwell House to the east; however, the farm is no longer a working enterprise.
- 1.2. The site is located in close proximity to a Grade II Listed Building, Crockwell House, and the existing farmyard buildings are considered curtilage listed by association. Public Footpath 138/4/20 runs close to the southwest corner of the site and the site is in an area of Potentially Contaminated Land, most likely owing to the sites former use as a farmyard.

2. DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1. Approval of reserved matters is sought in relation to the outline consent ref. 19/00250/OUT for the conversion of the existing barn to a single dwelling. This forms part of the outline scheme which also related to the buildings in the north of the site. In the Planning Statement, the applicant has indicated that a reserved matters application for the buildings in the north of the site will be submitted in the future.
- 2.2. The reserved matters are the access, appearance, landscaping, layout and scale of the dwelling. The dwelling would be single storey in scale and would be constructed from brick walls with a corrugated metal roof. The dwelling would have four bedrooms. Two parking spaces would be provided to the west of the dwelling and a garden area would be provided to the front (north) of the dwelling.
- 2.3. The design has been amended during the course of the application to remove a protruding element to the north of the dwelling and to rectify errors in the plans.
- 2.4. This application is submitted alongside a listed building application (20/01730/LB).

3. RELEVANT PLANNING HISTORY

- 3.1. The following planning history is considered relevant to the current proposal:

<u>Application Ref.</u>	<u>Proposal</u>	<u>Decision</u>
16/00609/OUT	Proposed residential development of 3 no.	Application

	dwelling	Permitted
19/00250/OUT	OUTLINE - Residential development of 3no dwellings (Re-submission of approved application 16/00609/OUT)	Application Permitted

4. PRE-APPLICATION DISCUSSIONS

- 4.1. No pre-application discussions have taken place with regard to this proposal.

5. RESPONSE TO PUBLICITY

- 5.1. This application has been publicised by way of a site notice displayed near the site, by advertisement in the local newspaper, and by letters sent to all properties immediately adjoining the application site that the Council has been able to identify from its records. The final date for comments was **25 September 2020**, although comments received after this date and before finalising this report have also been taken into account.
- 5.2. No comments have been raised by third parties.

6. RESPONSE TO CONSULTATION

- 6.1. Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council's website, via the online Planning Register.

PARISH COUNCIL AND NEIGHBOURHOOD FORUMS

- 6.2. THE BOURTONS PARISH COUNCIL: **No objections.**

OTHER CONSULTEES

- 6.3. OCC HIGHWAYS: **No objections.**
- 6.4. CDC BUILDING CONTROL: A Building Regulations application will be required.
- 6.5. CDC ECOLOGY: No comments received.
- 6.6. CDC ENVIRONMENTAL HEALTH: **No objections**, subject to the submission of a verification report, prior to occupation, which demonstrates that remedial actions have been completed.
- 6.7. CDC RIGHTS OF WAY: **No objections.**

7. RELEVANT PLANNING POLICY AND GUIDANCE

- 7.1. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.
- 7.2. The Cherwell Local Plan 2011-2031 - Part 1 was formally adopted by Cherwell District Council on 20th July 2015 and provides the strategic planning policy framework for the District to 2031. The Local Plan 2011-2031 – Part 1 replaced a number of the 'saved' policies of the adopted Cherwell Local Plan 1996 though many of its policies are retained and remain part of the development plan. The

relevant planning policies of Cherwell District's statutory Development Plan are set out below:

CHERWELL LOCAL PLAN 2011 - 2031 PART 1 (CLP 2031 Part 1)

- ESD10 – Biodiversity and the Natural Environment
- ESD13 – Local Landscape Protection and Enhancement
- ESD15 - The Character of the Built and Historic Environment
- Villages 1 – Village Categorisation

CHERWELL LOCAL PLAN 1996 SAVED POLICIES (CLP 1996)

- C28 – Layout, design and external appearance of new development
- C30 – Design control

7.3. Other Material Planning Considerations

- National Planning Policy Framework (NPPF)
- Planning Practice Guidance (PPG)
- Cherwell Residential Design Guide (2018)
- Cherwell Council Home Extensions and Alterations Design Guide (2007)

8. APPRAISAL

8.1. The key issues for consideration in this case are:

- Principle of development
- Design, and impact on the character of the area
- Residential amenity
- Highway safety
- Ecology

Principle of development

8.2. The principle of residential development on the site was considered acceptable in outline application 19/00250/OUT. As a result, both the principle and amount of residential development on this site has been established and is no longer for consideration. Therefore, having established that the proposal is broadly consistent with that granted outline consent, the scope of consideration of this application extends solely to the "reserved matters", i.e. matters directly associated with the access, appearance, landscaping, layout and scale of the approved development.

Design, and impact on the character of the area

8.3. Government guidance contained within the NPPF requiring good design states that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. Further, permission should be refused for development of poor design that fails to take the opportunities for improving the character and quality of an area and the way it functions.

8.4. Saved Policy C28 of the Cherwell Local Plan 1996 exercise control over all new developments to ensure that the standards of layout, design and external appearance are sympathetic to the character of the context.

- 8.5. Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1 states that new development will be expected to complement and enhance the character of its context through sensitive siting, layout and high quality design. All new development will be required to meet high design standards, and should respect the historic environment including Conservation Areas and listed buildings.
- 8.6. Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended) states that: *In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority...shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.*
- 8.7. Crockwell House is a Grade II Listed Building and the barns on the site are considered to be curtilage listed. This reserved matters application has been submitted alongside a listed building consent application for the proposed works to the listed building.
- 8.8. The matters for consideration under this application are the access, appearance, landscaping, layout and scale of the development. This includes the changes proposed to the external appearance of the listed building and its setting, which are a material consideration for this application.
- 8.9. Following the design changes that have been negotiated during the course of the application, it is considered that the design of the dwelling is acceptable and is now similar to that shown on the indicative scheme on the outline application. The development would retain the simple form of the building – the scale of the building would not materially change – and the existing openings of the building have been used where possible, with new openings kept to a minimum. The ridge and eaves height of the roof of the building will not be altered under the proposals. The roof would be externally faced in clay tiles, which is an appropriate material given the context of the site.
- 8.10. The appearance and scale of the development are therefore considered to be acceptable and would retain the agricultural and simple character of the building.
- 8.11. A detailed landscaping scheme has not been submitted with the application, but some landscaping features are shown on the site plan. This drawing shows that a garden area would be provided to the front of the dwelling and would be bounded by a 1.4m beech hedge. This is acceptable in principle, subject to a more detailed landscaping scheme being required by a condition. The parking for the dwelling is proposed to the west of the dwelling. This location for the parking is considered to be acceptable and would contribute to the agricultural character of the site by not being located in front of the dwelling. Subject to conditions, the layout and landscaping of the development would be acceptable.
- 8.12. The creation of new openings in the building would result in less than substantial harm being caused to the significance of the listed building but based on the amended proposals on which this application is being determined and subject to conditions relating to materials and architectural detailing this harm would be minor. However, the proposal would bring a listed building back into use that has been derelict for a number of decades. The re-use of the listed building (as a residential dwelling) would be a public benefit of the proposal that would balance out minor harm to the listed building.

- 8.13. It is therefore considered that the development would comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the NPPF.

Residential amenity

- 8.14. Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1 states that new development proposals should consider the amenity of both existing and future development, including matters of privacy outlook, natural lighting, ventilation, and indoor and outdoor space.
- 8.15. Given the single storey scale and fenestration arrangement of the proposed dwelling, it is considered that the development would not cause harm in terms of overlooking or a loss of light on neighbouring dwellings. The dwelling would have rooflights on the southern roofslope which would result in a small amount of lightspill which would be visible from the dwellings to the south. However, given the size of the rooflights and their location relative to the neighbouring dwellings, it is considered that the impact on these dwellings would not be so harmful as to justify a reason for refusal in this regard.
- 8.16. It is therefore considered that the proposed development complies with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the NPPF.

Highway safety

- 8.17. The Highways Officer has offered no objections to the development, subject to the conditions imposed on the outline consent. Given that these conditions are imposed on the outline consent they do not need to be re-imposed to any consent given here. The development would take access from Manor Road to the southeast. Two parking spaces are to be provided to the west of the dwelling.
- 8.18. A condition requiring further details of the access was included on the outline consent. Subject to this condition, it is considered that the development would not cause harm to highway safety.

Ecology

- 8.19. A bat survey has been submitted with the application. The Council's Ecology Officer has been consulted on the application but has not provided comments at the time of writing this report.
- 8.20. The bat survey found a single Brown Long-eared Bat roosting within gaps in the rafters of the building. The bat survey states that appropriate mitigation would be needed, along with a licence from Natural England consenting to the loss of the roost. Given the presence of a roosting bat, and the low status of the roost, the site is eligible for registration under Natural England's Bat Mitigation Class Licence (BMCL) scheme. The bat survey also recommends the provision of two bat boxes.
- 8.21. A condition shall be included requiring no works to be carried out until a Bat Licence has been granted and a further condition shall be included to ensure that bat boxes are provided as part of the development. It is considered that subject to these conditions, the development would not cause harm to local ecology and biodiversity and that the proposals would comply with Policy ESD10 of the Cherwell Local Plan 2011 – 2031 and Government guidance contained within the NPPF.

9. PLANNING BALANCE AND CONCLUSION

- 9.1. The NPPF states that the purpose of the planning system is to contribute to the achievement of sustainable development. Paragraph 8 requires that the three dimensions to sustainable development (economic, social and environmental) are not undertaken in isolation, but are sought jointly and simultaneously.
- 9.2. The principle of residential development on the site was established under the granting of 16/00609/OUT and 19/00250/OUT. Following amendments to the scheme, and subject to conditions, the layout and scale of the development is considered acceptable and would not cause harm to the character and appearance of the area. The alterations to the building would cause harm to the significance of the listed building, but subject to appropriate materials and architectural detailing this harm would be minor and would be balanced out by the public benefits of the scheme namely the re-use of the listed building. The development would provide a suitable access which would not cause harm to the safety of the highway network. Subject to conditions, the development would not cause harm to the safety of the local highway network or the amenities of neighbours. The application is therefore recommended for approval.

10. RECOMMENDATION

That permission is granted, subject to the following conditions:

1. Except where otherwise stipulated by conditions attached to this permission, the development shall be carried out strictly in accordance with the application forms and the following plans and documents: Site Location Plan (3561/A Map); Proposed Site Plan (20.08.03.13 Rev B); Proposed Ground Floor Plan (20.08.02.10 Rev B); Proposed North and South Elevations (20.08.02.11 Rev B); Proposed East and West Elevations (20.08.02.12 Rev C); Estate Car Swept Path Analysis - Access and Internal Site Road (SP02) and Fire Appliance and 7.5T Box Van - Swept Path Analysis - Access and Site Road (SP03).

Reason – For the avoidance of doubt, to ensure that the development is carried out only as approved by the Local Planning Authority and comply with Government guidance contained within the National Planning Policy Framework.

2. No development shall commence until samples of the timber to be used in the louvres over the glazing screens of the development and any new tiles to be used externally to cover the roof of the development have been submitted to and approved in writing by the Local Planning Authority. The development shall not be carried out other than in accordance with the samples so approved and shall be retained as such thereafter.

Reason - To ensure the satisfactory appearance of the completed development and to safeguard the significance of heritage assets and in the interests of the character and appearance of the area and to comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

3. No development shall commence until full details of the doors and windows hereby approved, at a scale of 1:20 including a cross section, cill, lintel and recess detail and colour/finish, have been submitted to and approved in writing by the Local Planning Authority. Thereafter the doors and windows shall be installed within the building in strict accordance with the approved details and shall be retained as such thereafter.

Reason - To ensure the satisfactory appearance of the completed development

and to safeguard the significance of heritage assets and in the interests of the character and appearance of the area and to comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

4. No rainwater goods shall be used in the development unless they are either cast iron or aluminium finished and shall be painted matt black.

Reason - To ensure the satisfactory appearance of the completed development and to preserve the historic character and significance of designated heritage assets and to comply with Policy ESD 15 of the Cherwell Local Plan 2011 - 2031 Part 1, Saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

5. Notwithstanding the landscaping shown on the submitted site plan and prior to the occupation of the development hereby approved a landscaping scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme for landscaping the site shall include:-

(a) details of the proposed tree and shrub planting including their species, number, sizes and positions, together with grass seeded/turfed areas,

(b) details of the existing trees and hedgerows to be retained as well as those to be felled, including existing and proposed soil levels at the base of each tree/hedgerow and the minimum distance between the base of the tree and the nearest edge of any excavation,

(c) details of the hard surface areas, including pavements, pedestrian areas, reduced-dig areas, crossing points and steps.

The hard landscaping shall be provided in accordance with the approved details prior to the first occupation of the development and shall be retained as such thereafter.

Reason - In the interests of the visual amenities of the area, to ensure the creation of a pleasant environment for the development and to comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

6. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in accordance with BS 4428:1989 Code of Practice for general landscape operations (excluding hard surfaces), or the most up to date and current British Standard, in the first planting and seeding seasons following the occupation of the building(s) or on the completion of the development, whichever is the sooner. Any trees, herbaceous planting and shrubs which, within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the current/next planting season with others of similar size and species.

Reason - In the interests of the visual amenities of the area, to ensure the creation of a pleasant environment for the development and to comply with Policy ESD15 of the Cherwell Local Plan 2011 – 2031 Part 1, Saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

7. No development shall commence unless and until full details of a scheme for the location of bat boxes have been submitted to and approved in writing by the Local Planning Authority. The bat boxes shall be installed on the site in accordance with the approved details prior to the first occupation of the development and shall be retained as such thereafter.

Reason - To ensure that the development does not cause harm to any protected species or their habitats in accordance with Policy ESD10 of the Cherwell Local Plan 2011 – 2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

8. The development shall not be occupied until the remedial works have been carried out in accordance with those set out in Section 8.4 of the Ground Investigation Report prepared by Soiltechnics dated June 2020. A verification report that demonstrates the effectiveness of the remediation carried out must be submitted to and approved in writing by the Local Planning Authority, prior to the first occupation of the dwelling.

Reason - To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Saved Policy ENV12 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

9. Where an offence under Regulation 41 of the Habitat and Species Regulations 2010 is likely to occur in respect of the development hereby approved, no works of site clearance, demolition or construction shall take place which are likely to impact on bats until a licence to affect such species has been granted in accordance with the aforementioned Regulations and a copy thereof has been submitted to the Local Planning Authority.

Reason - To ensure that the development does not cause harm to any protected species or their habitats in accordance with Policy ESD10 of the Cherwell Local Plan 2011 – 2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

Case Officer: Matthew Chadwick

DATE: 16.10.2020

Checked By: Nathanael Stock

DATE: 21.10.2020



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