

- The existing tree resource should be reviewed within the context of climate change and the ability of species to adapt to future stresses and conditions. This will be echoed in new tree planting with species carefully considered to ensure climate resilience.
- Design of the green corridors and edges, as well as the development will be in accordance with BS5837, with development located outside of the root protection areas.
- The design of open spaces around existing trees should be carefully considered, including no-dig construction methods, and the positioning of seating away from mature trees due to the potential risk of limb loss of the trees; and

- 3.92 The existing trees present within the site, and along site boundaries, enables residents and visitors to benefit from the instant impact of the mature landscape features. These trees have been considered in the design of the Framework Plan, and should be given space and designed into “places” to reflect their significance across the scheme. Inherited views to existing trees will contribute to the street tree palette, in addition to new tree planting.
- 3.93 Both native and non-native species should be used to help plan a tree resource for the future that can adapt to the pressures of climate change and potential bio-security that may threaten species as seen with Ash Dieback and OPM - Oak Processionary Moth.
- 3.94 The extent of removals will be subject to the future detailed design stage within the relevant reserved matters applications following detailed drainage strategy and associated surveys.



Existing Trees and Hedgerow Strategy



To reflect the Biodiversity Strategy, native trees and shrubs should be planted on the site particularly within woodland, the country park, the nature reserve, and ecological buffers and corridors but also as a proportion of other plantings.

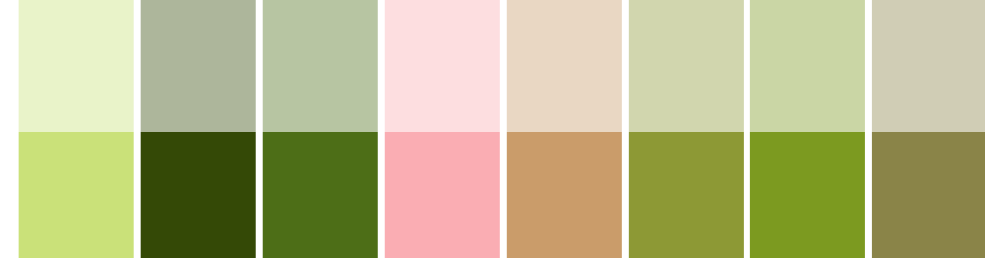
Development Principle 9 (a) – Tree planting within NW Bicester SPD

NEW PLANTING STRATEGY

- 3.95 The new planting Strategy for the Himley Village shall contribute to the place making and be implemented through the tree, shrub and grassland planting along with street tree strategy (refer to the Street Hierarchy) and residential palette (refer to the Character Areas Section of the Design Code).
- 3.96 The tree and planting strategy will help to reinforce the sense of place, balancing aesthetics, function of tree & planting species to provide a successful scheme that is sustainable, and considers the climate for the future in line with the ecotown principles. Overall the new planting strategy will help provide visual interest, contribute to the enhancement of existing landscape whilst helping to create inviting places all year round and contribute to a connection with nature that in turn provides wellbeing benefits.
- 3.97 Key considerations for the new planting within the different landscape typologies include:
- Form, height and shape of tree species, noting mature canopy size and shape;
 - Consideration of local character, to provide tree planting in line with the local vernacular and character and maximise biodiversity;
 - Seasonal attributes to maximise the sensory qualities of tree planting, eg. blossom, autumnal colour (as well as leaf fall) or fruiting species to provide visual changes within the landscape;
 - Key attributes such as species suitable for urban settings to minimise pollution, as well as planning for sustainability and longevity considering bio-security and climate change; and
 - Considerations to provide wildlife benefits, ie. to maximise biodiversity pollen and nectar resource or through foraging and habitat corridors.
- 3.98 Distribution of species and planting specification across the palettes will aim to provide a balance between instant impact and longevity with smaller planting stock to help ensure establishment whilst mitigating vegetation loss and provide trees for the future. Tree planting methods will aim to reduce the risk of vandalism as well as bio-security risk through over provision of single species and consider climate resilience in species choice.
- 3.99 The form and composition of the planting in terms of the mix of species with a balance of deciduous and evergreen trees/plants together with plants that flower throughout the year or provide year round architectural form shall be considered at the detailed design stage.

DESIGN PRINCIPLES & PARAMETERS

- 3.100 The following design principles are to be taken into account for site wide tree planting:
- Species should be chosen in order to provide diversity, biodiversity enhancement whilst being fit for purpose as well as longevity. New planting will prioritise the use of native species to maximise biodiversity gain, refer to the adjacent indicative species list. **However species should be specified carefully to ensure suitability for it's location, longevity of tree stock whilst considering the biosecurity of species through diversity (and the avoidance of over-reliance on single species planted en masse) and species that are climate resilient.**
 - New trees are to be positioned in accordance with the minimum planting distances to reduce and prevent direct damage to services and structures from future tree growth. Tree planting should have priority over services & utilities. Services and utilities shall be protected by the use of root barriers, the tree pit design for the proposed trees shall be confirmed at the detailed design stage.
 - The design and installation of all hard surface tree pits should be in accordance with BS8545:2014 'Trees from nursery to independence in the Landscape', and consider best practice guidance for tree planting from the Tree Design & Action Group (TDAG).
 - Planting is to follow best practice guidance for sustainability in choice of plant species, mix, planting specification and future resource requirements, including water uptake, but also the technical requirements of the National House Building Council (NHBC) Chapter 4.2 - building near trees.
 - The mature size of trees will be considered to ensure maximum future canopy to provide visual amenity and ecosystem services. Native species will be chosen where suitable for the intended location, with consideration to biodiversity enhancement, with cultivars of species chosen where specific growth habit and appearance are required noting the move to climate resilient planting and future shading implications.
 - Trees to be secured by either above ground stakes or underground guying with trees provided with suitable non-compacted soil volumes to achieve their future potential. Root cells should be provided where required to provide additional rooting volume where constrained.
 - The sustainability of tree accessories should be given weight eg. using hessian spacers and ties. Biodegradable products should be used, but where plastic items are used they should be recycled.



Grassland Mixes

3.101 Grassland mixes will be chosen to accommodate the requirements and to suit the site conditions including level of activity, biodiversity enhancement, function and their management requirement. The grassland species include:

- *Mix 1 - High activity amenity areas :10% small leaved timothy, 45% smooth stalked meadow grass, 25% chewings fescue, 15% creeping red fescue, 5% browntop bent.
- *Mix 2 - General amenity grass: 20% perennial rye grass, 15% small leaved timothy, 40% smooth stalked meadow grass, 20% blend of chewings, 5% fescue & creeping red fescue.
- *Mix 3 - for pitches (football, rugby): 10% 4 turf tetraploid ryegrass, 30% perennial ryegrass variety 1, 30% perennial ryegrass variety 2, 30% strong creeping red fescue.
- Meadow grass - Emorsgate Seeds EG5: for use in areas of informal/semi natural open space and around the amenity green space;
- Wildflower meadow grass - Emorsgate Seeds EM4: for use in informal / semi-natural open space;
- Woodland wildflower mix - Emorsgate Seeds EW1: for use in shady locations such as alongside hedgerows/woodland;
- Wildflower meadow for wetland - Emorsgate Seeds EM8F: for use within the attenuation basins.

* Mixes included from the CDC Landscape Technical specification extracted from Appendix 4 of the S106.

Natural and Semi-Natural Planting Palette

3.102 Native and ornamental varieties of native species will be preferred in order to help improve biodiversity and maintain the ecological value of the habitat. Tree species in particular will be selected in terms of their naturalistic crown form and large parkland form.

3.103 Native shrub and scrub planting along with hedgerow infill planting and under storey planting will be used to reinforce the existing landscape framework and provide ectotones to enhance the existing edges within the site.

Formal Planting Palette

3.104 Ornamental grass and herbaceous /shrub planting will be used where appropriate to add texture, form and colour to the more formal public open spaces for example within the Himley Village Green, and the Neighbourhood Centre.

3.105 Here, tree species will be selected to maintain more formal crown shape using more fastigate forms with strong foliage colours to create seasonal colour and blossom to add visual interest.

Wetland Planting Palette

3.106 Wetland shrubs and aquatic planting within the area of the proposed attenuation basins, to be selected from native species.

3.107 Swale meadow planting to be used across the attenuation area and swale features to add seasonal interest with a variety of colours and textures.

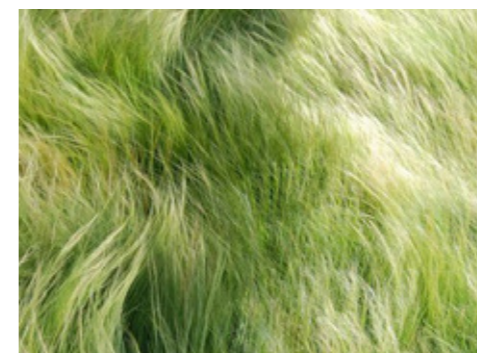
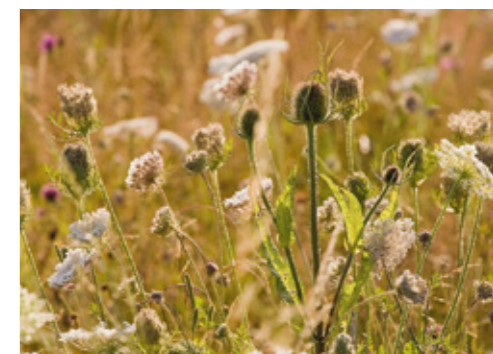
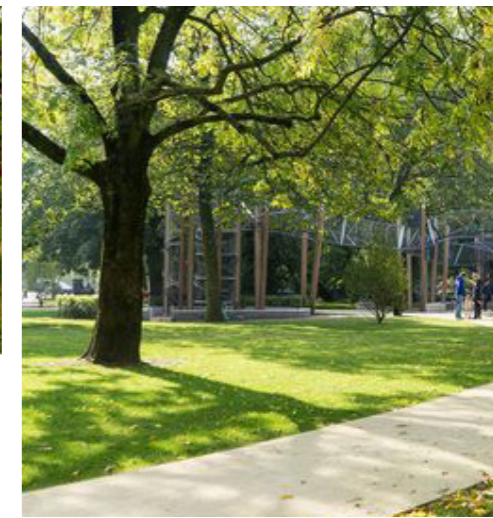
3.108 Aquatic, marginal and structural shrub planting used to mark the change in level at the edge of the basin.

3.109 Proposed trees mark the outer extent of the basins - species to be selected from wetland tolerant tree species.

Edible Species

3.110 Species that provide edible fruit to benefit the new (and existing) community as well as providing a nectar and pollen resource for wildlife will be used. Species will provide a mix of fruit from Apples, Pears and Plums - all easily recognisable (such as the Discovery Apple, Victoria Plum and Conference Pear) as well as fruiting bushes within the edible landscapes such as blackberries, gooseberries and elderberry.

3.111 Each of the fruit tree varieties should be self-pollinating (or mixed across pollinator groups to help ensure success),be medium to smaller growing species with edible fruit and good disease resistance to help ensure the edible landscapes are adopted by the new community.



STREET FURNITURE & HARD SURFACING

- 3.112 The hard landscape and public realm is a key component of place making whilst providing functional elements such as street furniture, signage and wayfinding elements. The type, form and style of the street furniture for the public realm and public open spaces shall be chosen to match the character and the function of the space.
- 3.113 The routes within the landscape shall form a hierarchy of movement routes that promote walking and cycling and consider journeys within the scheme and into the wider area. Footpath and cycle way surfacing shall depend on the type of route, its use and formality within the movement network. The adoption status of the route shall be considered in the specification of the surface type along with the finish to aid future maintenance as well as legibility within the movement network.
- 3.114 Boundary treatments shall be determined at the detailed design stage, and shall be specified in accordance with their function in terms of limiting access, or defining boundaries between the public and private realm along with the character of the space.
- 3.115 The street furniture palette shall provide aesthetically pleasing elements of furniture within the public realm which create a uniform and cohesive material palette for the scheme.
- 3.116 The indicative palette includes items such as bollards used to deter access, cycle stands will be positioned at key locations to help encourage cycling and an array of seating for the public open spaces and public realm areas.
- 3.117 The configurations of seating and the street furniture palettes shall depend on the location (as shown on the adjacent plan), and the requirement within active formal spaces or informal routes and green corridors. The palettes have been categorised into Type A, Type B and feature - to be used in key locations and subject to the detailed design of the spaces.
- 3.118 The wayfinding and signage palette will need to be considered to ensure continuity across Himley Village and the wider Allocated Site and provide a co-ordinated approach with the aim to reduce clutter within the streets, and public open spaces, whilst being multi-functional to provide place making and brand reinforcement for the eco-town. There is also the potential to integrate public art where applicable.





- A - Asphalt surfaces - for formal footpaths / cycleways
- B - Asphalt with aggregate
- C - Fixed gravel footpaths
- D - Self binding gravel footpaths
- E - Block paved feature areas
- F - Wayfinding bollards
- G - Place marker signage
- H - Wayfinding / interpretation board
- I - Wayfinding fingerpost
- J - Timber knee rail
- K - Post and rail fencing
- L - Estate railing
- M - Hedgerows
- N - Dog waste bin
- O - Litter bins in key locations to include recycling options
- P - Cycle stands to provide legible places for users to store bikes
- Q - Retractable bollards to help deter unauthorised access
- R - Simple timber bollard

Configuration of seating to provide options for users ie. individual seats, seating for up to 3 persons and group gathering seating subject to location



“Home grown produce – If managed properly an allotment can produce enough food to supplement a family’s weekly shop, with fresh fruit and vegetables over the year. This could be quite a substantial cost saving;”

Development Requirements 7 - Healthy lifestyles

Extract from the Vision set out within NW Bicester SPD

EDIBLE & PRODUCTIVE LANDSCAPES

3.119 The edible and productive landscape at Himley Village comprise a range of open spaces and include Allotments, Community Gardens and Community Orchards as well as edible species scattered through out the open spaces. The edible and productive landscapes aim to maximise the accessibility of productive landscapes for users and provide ecological benefits via the series of green spaces rather than limiting this to the traditional provision of allotments. The edible and productive landscapes for Himley Village have been developed in line with the ecotown principles and planning requirements as well as officer and stakeholder discussions.

3.120 In terms of quantum, the S106 stipulates that **Allotments** are required to cover *“[no] less than 1.63ha within the site ... that is ‘suitable for the growing of fruit, vegetables, trees, flowers either in pots or in communal areas’ ”* and that their layout should in accordance with the Allotment Specification - Appendix 3 of the S106.

3.121 The extract of the Allotment Specification is included below:

- Level hard surfaced footpath, cyclepath access to each allotment site.
- The individual allotment size is to be no larger than the ‘10 pole plot’, the standard for England and Wales. This equates to 250 square metres, and usually rectilinear in shape.
- Smaller plot sizes will be encouraged.
- Paths are to be a minimum of 1.4m wide and suitable surfaced to allow for disabled access.
- If provided, haulage ways to be 3 metres wide.
- No built structures without approval of the managing body.
- Suitable clean water supply to every site.
- Topsoil to comply with BS3882:2007 Specification for topsoil and requirements for use, and easily cultivated to a depth of 450mm.
- All pernicious, agricultural weeds are to be eradicated.
- Fencing and gates to be provided and capable of being locked. Secure cycle parking to be provided.
- Availability of allotment holders car parking to be agreed.

3.122 The key landscape design and place making principles for the edible and productive landscapes also have regard for the general best practice guidance and (and criteria set out by the National Society of Allotment and Leisure Gardeners (NSALG)) as set out below:

- General characteristics (signage, informal surveillance from neighbouring properties, condition of boundary fencing/walls, hedgerows dense and bushy)
- Accessibility (adequate parking, accessible from adjacent street, wide access routes within site, well-drained surfaced paths suitable for wheelchairs, general accessibility for wheelchairs)
- Facilities (water supply, communal storage facilities, trading shed, arrangements for composting, toilets on site or nearby)
- Amenity value (contribution towards appearance of neighbourhood, relationship to adjacent or linked spaces, value as a visual screen or buffer, value as a noise buffer, relationship with adjacent buildings)
- Recreational value (informal recreation value, general attractiveness).

3.123 Traditionally, the size of an allotment plot is 250 sqm (10 rods), over time this plot has become unmanageable for some allotment users. “Given the deficit in allotment space in the urban areas and the fact that there is a waiting list in each urban area” as identified by the Cherwell Open Space Strategy (2020) it is considered more practical to provide more smaller plots than full sized plots at 250m². Hence the ability to divide and subdivide the traditional plots into half and quarter plots has been used within the Landscape Masterplan to help maximise the opportunity for the new community to gain access to allotment plots. However, there is flexibility within the layout of the allotments to be joined to provide a full plot size as required.

3.124 Each of the allotment, community garden and community orchard sites are designed to be accessible for residents where users can utilise the green corridors to walk or cycle to the allotments as well as visit the adjacent greenspaces which offer more formal and informal recreation opportunities. The edible spaces are scattered throughout the greenspaces to reinforce the multi-functional and productive landscapes within the public open spaces.

3.125 As per the accessibility standards within Policy BSC 11 Allotments are to be within a 10 minute walk (800m) and have minimum size of provision of 0.2 ha.

3.126 Key landscape design and place making principles for the allotments are:

- Plot sizes where appropriate shall be 250 sq. metres (10 rods), 125 sq. metres (5 rods) or 62.5 sq. metres (2.5 rods) where space is limited, with plots further sub divided where necessary. Consideration of raised beds to provide accessible planting beds for users.
- Pedestrian, and vehicle access provided where appropriate, with gravel surfaced car park and cycle stands to encourage walking and cycling to the allotments. Inclusion of disabled parking. Car park to be softened with fence and hedgerow. Gates to enable a secure space.
- Water troughs provided throughout with internal grassed paths between the allotment plots, with a hoggin path to provide a surfaced route through the space.
- Allotments to be bounded by native hedgerow and tree planting with a fence to ensure security and safety from adjacent land uses.
- Tree planting within the allotments boundary hedgerow shall feature edible varieties to maximise the productive landscape, and maximise biodiversity with nectar and fruiting species encouraged.
- Plots and allotment infrastructure to avoid root protection areas of existing retained trees.
- The allotments sites will be provided with areas for parking.

3.127 Community Orchards – will be recognisable and distinct by their landscape design which shall utilise formal grids of fruiting trees with an understorey of wildflowering grassland / flowering grassland and formal and informal (mown) paths. The location of the Community Orchards complements the adjacent Himley Farm which is retained but excluded from the Application Site. The landscape buffer required to Himley Farm allows for the siting of the Community Orchard which is considered to be a complementary land use.

3.128 The boundary of the community orchard will be clearly defined with a hedgerow which will be laid to provide a clear visual and physical boundary. Additional enhancements like bug hotels and log piles will also be created within the Community Orchards to provide users with a direct link with nature.


3.129 Edible landscapes – the provision of niche edible landscape spaces within green infrastructure network beyond the designated allotments and community orchards sites will provide additional fruiting species which are accessible to all. These spaces will be integrated within the design for the public open spaces which shall be borderless to enable fruit to be picked ad hoc by users as well as provide a benefit for wildlife. The edible landscapes will comprise small groupings of fruit bushes and trees along with signage to denote the edible species and help to provide a connection with nature for users whilst acknowledging the benefits to wildlife with the fruiting, nectar and pollen species. The spaces shall be located beside both formal and informal routes across the site as shown on the Edible and Productive Landscape Strategy Plan.

3.130 Community Gardens have the ability to provide smaller doorstep spaces for the community in which they are located, and further provide edible spaces similar to the ones at Elmsbrook to the north of Himley Village. These smaller spaces are less formal than traditional allotments sites which are easily distinguishable by their secure boundaries and geometric layout. Community gardens shall be small in size and have raised beds that can be adopted by users at a more manageable scale than allotment plots. The boundary of community gardens shall be low to enable passive surveillance and help remove the potential social barriers attached to allotments.



Community Allotments at Elmsbrook

3.131 The distribution of the edible and productive landscapes are shown on the adjacent strategy plan which shows broad accordance with the approved parameter plans. As per discussions with CDC and the advice of the Design Review Panel the locations of the allotments, their distribution and quantum is required to meet the needs of the S106 and local policy, thus this has been rationalised within the Landscape Strategy for Himley Village

-  Green Infrastructure
-  Allotments
-  Community Orchards
-  Community Garden
-  Edible Landscapes



Edible and Productive Landscape Strategy Plan



HIMLEY SPORTS PARK

3.132 Himley Sports Park provides formal sports provision (pitches) totalling 12.18ha in size within the northern part of the site as highlighted within the S106. The Sports Park provides the formal pitch provision within the two parcels (known as Area 1 and Area 2) separated by an existing hedgerow with overall space also providing for informal recreation and amenity through the MUGA (multi-use games area) and the combined LEAP / NEAP. The grouping of these uses, along with the built element of Community Pavilion and associated car park aims to create a sport and recreation destination within the ecotown.

Connectivity of the Sports Park to the North

3.133 The existing northern boundary of the Sports Park comprises a hedgerow, both full and fragmented in places with a further tree belt to the north that overlaps Areas 1 and 2. Due to the wider Bicester 1 Allocation the section of more open hedgerow shall be retained without reinforcement planting as to provide a visual link to the Sports Park. The new scattered tree planting and grassland creation parallel to the northern boundary shall provide some visual and physical separation whilst allowing for a degree of intervisibility as to ensure connectivity with the wider ecotown site.

3.134 The siting of the Sports Park off the primary route (in close proximity to the proposed bus stop) and the continuation of the green corridor to the west will provide connectivity into the wider ecotown site via in addition to its position on the pedestrian and cycle network.

Northern & Eastern Green Edge

3.135 The woodland plantation provides a verdant edge to the Sports Park with a new defined path proposed to allow users within the woodland whilst helping to minimize disturbance to nature. The exact route of the (2m wide) pedestrian path will be determined as to avoid tree trunks at the detailed design stage and in line with ecological and arboricultural recommendations. The route should also provide for a potential link to the north as to connect into the wider Bicester 1 Allocation and surrounding PRow Network.

3.136 The area of scrub along the northern boundary will be retained in situ and integrated into the planting proposals.

3.137 The landscape design principles for the Sports Park are as follows, with the adjacent plan to show how the space could be laid out.

- Pitches to be laid out in accordance with best practice guidelines, including run off and buffer spaces between pitches within Area 1 and Area 2. As demonstrated on the plan overleaf the pitch layout provides a range of sports in line with FA pitch dimensions and cricket pitch design. The orientation and siting of the pitches provide summer and winter provision as per best practice guidance.
- No manhole covers or other hardware are to be located within, or closely located to the edge of the sports pitches.
- Gradients across the line of play to meet sport requirements ie. the playing surface should be no steeper than 1:80 - 1:100 along the line of play and 1:40 - 1:50 across the line of play.
- Existing trees and new tree planting around the periphery of the Sports Park are to be maintained to ensure user safety including no overhanging branches that could limit the use of the pitches.
- The existing hedgerow and field ditch that dissects the two parcels of the Sport Park is to be retained insitu to provide a naturalistic edge to the space, with supplementary scattered tree planting. Mown paths shall provide informal routes in addition to the 3m shared pedestrian / cycleway which forms part of the site's movement network.
- Landscaping is used to define the boundaries of the space in combination with the retained field boundaries that provide verdant boundaries to the sports park along with the woodland plantation along the site's eastern edge. The edges of the space will be naturalistic in character with the playing field areas transitioning from amenity sports grass to long mown grass with mown paths. The direction and routes of the mown paths have the ability to evolve over time in line with use. Around the edge of the space fruiting trees will be planted within the naturalistic edge as part of the edible landscapes providing benefit to users and wildlife should the fruit be eaten by wildlife.
- Landscaping and/or street tree planting will break up the area of parking around the Community Pavilion and help to reinforce the sense of arrival for users from the Primary Street.
- Seating opportunities and bins shall be provided for users to help provide natural surveillance over the pitches and spaces within the Sports Park. To prevent and discourage dog fouling within the Sports Pitch there will be adequate provision of dog bins and signage.

- Vehicles including caravans, motorbikes and cars will not be permitted onto the sports pitches except for maintenance and emergency vehicles.
- The LEAP / NEAP aims to provide a destination play space for users.
- The MUGA provides a surfaced space for play and shall include sports markings for a range of sports (to be confirmed at the detailed design stage).

Pitch Provision

- Pitches to be arranged in optimum orientation for play and maximise play to Sport England's guidelines.

Community Pavilion

3.138 The Community Pavilion (total area of 0.2ha as required by S106, Schedule 4) is located off the Spine Road in the northern part of the site within the Sports Park as set out within the approved parameter plans.

3.139 Specific design principles (extracted from the S106) that relate to the Community Pavilion include the below points (noting this is not an exhaustive list).

- The requirement to be DDA compliant in design and achieve BREEAM Very good with the capability of achieving Excellent, in line with the Cherwell Local Plan (July 2015) and NW Bicester SPD (February 2016).
- Appendix 11 of S106 Community Pavilion brief sets out the requirement for the building (eg. overall size of 550m² GIA) and is to include the following accommodation and spaces: reception / foyer area, Cafe / bar (with kitchen), main communal / social space, administrative office with secure storage. Changing rooms, showers and lockers will be provided unisex, disabled toilets - to include baby changing facility as well as a first aid room with defibrillator.
- High speed fibre broadband, Wi-Fi and networking should be provided along with a plant room for electrical and mechanical equipment.
- There will also be secure, covered storage for bicycles, mobility scooters and pushchairs.
- The external works area is to be 1250m² in size and shall comprise 25 standard parking bays with 1 disabled bay, 2 mini-bus bays, cycle parking to accommodate 40 bikes and drop off zone.












Sports Park Plan

04

General Urban Design Principles



- KEY**
-  Views maximised to landscape features
 -  Landmark Buildings
 -  Key Corners
 -  Important Frontages
 -  Tree Lined Streets
 -  Village green
 -  Primary swale
 -  Secondary swale
 -  Swales through open space

Urban Design Principles Plan

GENERAL URBAN DESIGN PRINCIPLES

- 4.1 The following section sets out and establishes general Urban Design Principles (illustrated on the plan opposite) that are to be used to inform the detailed design of any future Reserved Matters Applications, alongside the above-mentioned units of character.

Key Frontages

- 4.2 Key Frontages are identified that will be particularly prominent and critical to the appearance of the development. Particular attention should be paid to the massing, materials and architectural detailing of buildings framing key open spaces and streets, to ensure these buildings have frontages that would contribute towards creating a unique and memorable experience of distinctive quality and character.
- 4.3 Edges facing areas of open space will be particularly important and critical to the appearance of the development. They will be prominent when development is viewed across areas of open space. Consideration should be given to the massing of the proposed development to ensure that the proposals 'sit' within the landscape.
- 4.4 The visual linking of the built environment with areas of open space and landscape features will help to enhance a verdant residential character, through the visual inheritance of open space and landscape features.

Legibility and Wayfinding

- 4.5 Landmark buildings, key corners and a clear hierarchy of routes and intersections are considered to increase the legibility of the development. Legibility refers to the degree to which people can understand and identify with the built environment. Building and layout design, planting and views will be utilised to form visual focal points and create identifiable routes.

Landmark Buildings

- 4.6 Landmark building locations are identified where they frame and/or terminate key views, vistas or nodal points. These buildings should be designed to be distinctive from the adjacent built form and can be designed utilising variations in materials, colours, frontage treatment and architectural styles.

Key Corners

- 4.7 Prominent corners of the development are key to aiding legibility and wayfinding and should provide animation and surveillance to the street, with both sides of the development facing the public realm.
- 4.8 Key corners identified on the Urban Design Principles Plan frame the key views identified, however the precise number and location of these are subject to detailed design during any Reserved Matters Application.

Development Block Principles

- 4.9 Block structures have been established within the Framework Plan. The following parameters and principles can be established to inform their detailed design:
- Streets and spaces should positively address existing elements of green infrastructure, with existing tree and hedgerow planting incorporated into public open space wherever possible.
 - Development should utilise a back-to-back perimeter block structure, allowing positive building frontages onto all streets and spaces and enclosing rear gardens;
 - Lower category roads should serve smaller groups of dwellings, with an obvious change in the street character signalling the transition to a semi-private environment;
 - All routes provided should be necessary and serve a specific function or destination, reflecting desire lines to key community facilities, including off site facilities;
 - The proposals should encourage transport via sustainable modes, with the provision of safe and secure routes for both pedestrians and cyclists integrated into the proposals;
 - High-quality leisure routes should be provided throughout the site, encouraging healthy and active lifestyle choices close to dwellings;

- The internal street network should provide a series of connected "loops" within the site, providing a choice of routes and access options wherever possible;
- Generally the interior areas or the block will contain rear gardens, however there may be instances where the incorporation of rear parking courts to serve groups of terraces is necessary. Where these occur they should only serve a limited number of dwellings, be well surveyed, and incorporate soft landscaping to soften the built environment;
- Buildings should be orientated to front streets, ensuring private rear gardens are not exposed;
- The exterior of development blocks will be defined by the fronts of dwellings and exposed side elevations must be active;
- Development blocks will be orientated to ensure that key views out of the development towards existing landscape features are maximised as much possible;
- Particular consideration should be paid to the detailed layout of dwellings to ensure that streets and spaces are actively overlooked and benefit from natural surveillance, in particular areas for formal play;
- On plot parking provision, in the form of detached/integral garages or hard surfaced parking areas, should generally be located behind the building line; and
- The ownerships and responsibilities for external spaces should be clearly identified, and the proposals should facilitate an ease of maintenance and management.

- 4.10 Key building groups and frontages will be set out in the following forms:
- Formal - generally more continuous and consistent, consisting of apartments, terraced houses and semi-detached/linked properties - located along the primary route and around key open spaces;
 - Intermediate - less formal frontage still maintaining a consistent building line and frontage, consisting of terraced houses and semi-detached houses, with some detached units at key corners of development blocks; and / or
 - Informal - very informal and less consistent building line, consisting of semi-detached and detached houses.

URBAN FORM AND MORPHOLOGY

- 4.11 The way that buildings relate to one another is one of the most important aspects that can be used to define an areas character. The proportion, massing, shape and layout of buildings are important elements of character. Other cues such as defining building lines, eaves heights, ridge heights, alongside the rhythm/spacing between buildings will be important in establishing formal or informal Identity Areas.
- 4.12 The key aspects of urban morphology will therefore be addressed for each Identity area and include:
- Urban form (relationship of building to one another);
 - Building typology (terrace, detached etc);
 - Density (generally higher in development core and lower where transition to wider landscape);
 - Building lines (consistent or varied);
 - Height/Enclosure;
 - Roofscape (roof form, consistent or varied eaves/ridge heights);
 - Scale and proportion of the buildings and its fenestration (important for both urban form and detail);
 - Building details;
 - Building materials;
 - Landscape Design; and
 - Parking.

AFFORDABLE HOUSING

- 4.13 In accordance with the Section 106 Agreement 30% of the dwellings provided (rounded up to the nearest whole dwelling) should be Affordable Housing.
- 4.14 Of this, 70% of affordable dwellings should be Affordable Rented/Social Rented, with a maximum clusters size of 10 dwellings.
- 4.15 30% of affordable dwellings should be Intermediate/Shared Ownership Housing, with a maximum clusters size of 15 dwellings.
- 4.16 All affordable housing should be designed to comply with the following criteria as set out in the Section 106 Agreement:
- All affordable housing dwellings should meet the Nationally Described Space Standards (NDSS), or similar equivalent in the case of Intermediate/Shared Ownership units
 - Carbon Neutral, as defined in 'eco-towns – A supplement to Planning Policy Statement 1'
 - 50% of off the Affordable Rented/Social Rented Housing shall be designed to Part M4 (Cat 2) standards
 - Affordable housing comprising wheelchair adapted bungalows shall be designed to Part M4 (Cat 3) standards
 - All affordable housing will be designed to be 'tenure blind', to ensure that affordable housing is indistinguishable from open market dwellings. A cohesive approach to detailing and external appearance across the site will help to maximise social integration, avoiding the stereotyping of dwellings and residents. The principles will also extend to external areas, including parking provision and hard/soft landscaping.

CRIME PREVENTION

- 4.17 The design proposals for the site are based on an understanding of best practice guidance and reference has been made to the relevant documents, including:
- Secured by Design: Homes 2019;
 - Secured by Design: New School 2014;
 - Secured by Design: Commercial Developments 2015;
 - Secured by Design: Self Build 2019;
 - CDC New Residential Development Design Guide SPD 2012;
 - Safer Places: The Planning System and Crime Prevention 2004; and
 - Manual for Streets 2007.
- 4.18 Within the detailed design proposals care should be taken to ensure that development contains clearly defined public and private areas that relate well with one another and create no ambiguity of ownership. In addition, the development should enable residents to take pride in their surroundings without the fear of crime, which in turn will create a sense of shared ownership and responsibility.
- 4.19 Lower category roads should serve smaller groups of dwellings, with an obvious change in the street character signalling the transition to a semi-private environment and all routes provided should be necessary and serve a specific function or destination, reflecting desire lines to key community facilities, including off site facilities.
- 4.20 Landscape design (including the planning and maintenance of spaces) is essential in achieving an environment that creates a sense of place and community safety. Well-designed public lighting will increase the opportunity for surveillance at night and will be integrated into future reserved matters submissions.
- 4.21 Natural surveillance from residential development, in the form of doors and windows overlooking streets, pedestrian routes and public open spaces will create activity throughout the day and evening and will contribute towards the creation of a safe environment for all users, whilst discouraging criminal activity by increasing the risk of detection.



HIMLEY VILLAGE, BICESTER

BUILT FORM GUIDANCE

- 4.22 Across Himley Village various types of development will be utilised to deliver homes and the supporting facilities and services.
- 4.23 The development will be a high-quality scheme and will use building materials that reflect the local vernacular, with key buildings that provide legibility through additional architectural and visual interest.

Street Scene Overview

- 4.24 Architectural elements within each building must relate to the requirements of the overall street scene. In particular, all parts of buildings visible from the public realm must be considered as complete architectural compositions, where they collectively form the street scene and impact of the public realm. Guidance includes:
- Create obvious main frontages: street frontages are required to be active. Within residential areas activeness equates to movement at building entrances and visibility through fenestration. Blank façades to any street frontage undermine this principle;
 - Treat visible gable end elevations as part of the street scene: windows should be provided to principal elevations, and amended to suit an end/side condition as necessary; and
 - Dwellings should be orientated to ensure that living space fronts onto street.

Tenure blind dwellings

- 4.25 The proposed development should be designed to be 'tenure blind', to ensure that affordable housing is indistinguishable from open market dwellings.
- 4.26 A cohesive approach to detailing and external appearance across the site will help to maximise social integration and avoid the stereotyping of dwellings and residents.

Mixed use development

- 4.27 Community buildings should be designed to reflect their social importance and status.
- 4.28 Employment buildings shall be flexible and robust to suit a range of end users.

Residential development

- 4.29 Residential development will be designed in accordance with the following design principles;
- Be designed to relate to the street hierarchy and sense of place within the layout;
 - Have defensible space at the front of dwellings;
 - Have clear and appropriate boundaries between private and public areas; and
 - Not feature blank façades facing public spaces and streets.

Apartments

- 4.30 Flats and apartment blocks should be located in key locations, including landmark building locations and key corners, or in locations where the additional height is appropriate to the setting and scale of the surrounding development or open space. Apartments will be designed with regard to the following key principles:
- Particular attention should be given to larger apartments having sufficient attractive setting and visually appropriate setbacks;
 - Single aspect apartments should be avoided;
 - If apartments are located over retail and/or employment uses they must have a separate dedicated residential entrance;
 - Space for individual postboxes should be provided in a secure internal area;
 - Bin and cycle stores for apartments should not be attached to the main block, and should be provided in a standalone ancillary building within the curtilage;
 - All ground floor windows should benefit from defensible space outside them to ensure the privacy of residents is maintained; and

Corner turner dwellings

- 4.31 Dwellings located on corners should positively address and provide active frontages to both streets that they front, with both façades designed to the same level of architectural merit.
- 4.32 As well as a variation in the materials and a potential increase in storey heights, the use of bay windows could help to define corner turned dwellings. Rear garden boundaries that are exposed to the street and/or publicly accessible spaces should be enclosed by brick walls.



Corner turning dwellings enhanced by bay windows and/or change in materials and their application

Architectural Design

4.34 The aim for the development proposals is to create a varied, identifiable character through modulation of structural form, rather than rely upon superficial decoration in isolation. Standard house type elevational treatments often minimise opportunities to express the structure of the buildings reducing the façade to a flat plane which then requires relief with decorative details. The architectural design approach encourages details that include:

- Eave depths wide enough to allow shading and modelling on walls: well projected eaves can provide both strong definition of the structures with light and shadow on the façade providing visual interest (rather than arbitrary decoration);
- Simple projections of structure such as bay windows to achieve modulation and shading. Similarly, ground floor and/or double height bays can provide visual interest to landmark buildings; and
- Door and window reveals are encouraged (approximately 30-50mm) to give a sense of depth to openings in the elevations, emphasising the relationship of solid and void.

Materials

4.35 Preference should be given to a limited palette of materials. The range of facing materials used in existing buildings in Bicester and the surrounding area are relatively similar to one another and should be the basis for the selection of finishes within the new development. In general:

- 3 – 4 finishes should be the maximum in a single elevational composition;
- Materials should not be deployed just for the reasons of variety, but used to express the geometry of the building design, for example to projecting elements, at breaks in the elevation etc; and
- Where buildings are intended as a focus or marker within the development proposals their main architectural elements (i.e. entrances, projecting elements) should be emphasised to create a feature.

Fenestration

4.36 Within each building or group, the main architectural elements form a hierarchy of parts, which should reflect the relative importance of their functions. This applies particularly to the composition of windows and doors within an elevation, making a link between the internal functions of the building and its external environment, including:

- Emphasising entrances – the entrance is the most important part of the front elevation and requires more than just a door to express its significance. Setbacks, recesses, canopies and steps in the façade can all modulate the elevation to emphasise and provide shelter to the entrance;
- Define windows in principal rooms – principal rooms such as lounges and main bedrooms may warrant larger or more prominent windows than other functions like kitchens and bathrooms; and
- Arrange windows for comfortable surveillance – this is particularly important at entrances so that occupants have views over entrance paths and doors, and can be achieved through distinctive details such as corner windows and projecting bays;



HIMLEY VILLAGE, BICESTER

05

Character Area Guidance



- KEY**
- CA1 Spine Road
 - CA2 Green Edge
 - CA3 Core Housing
 - CA4 Himley Green
 - CA5 Water Gardens
 - CA6 Himley Meadows
 - CA7 Eastern Edge
 - CA8 Western Edge
 - CA9 Himley Farm
 - CA10 Mixed Use Neighbourhood Centre and Care Home
 - CA11 Primary School

Urban Design Principles Plan

05 Character Area Guidance

- 5.1 The character of the proposed development will vary across the site and is affected by the existing site and surrounding conditions, proposed land uses, existing and proposed green/ blue infrastructure and the proposed movement network.
- 5.2 There will be a variety of spaces and places created across the site and this section of the Design Code provides Character Area specific design guidance to aid the detailed design proposals.
- 5.3 The following Character Areas are proposed across the site, and area illustrated on the plan presented here:



CA1



CA2



CA3



CA4



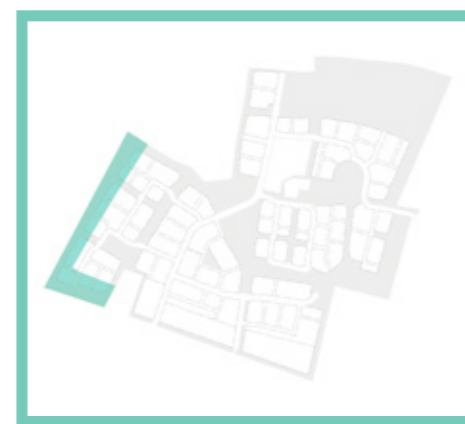
CA5



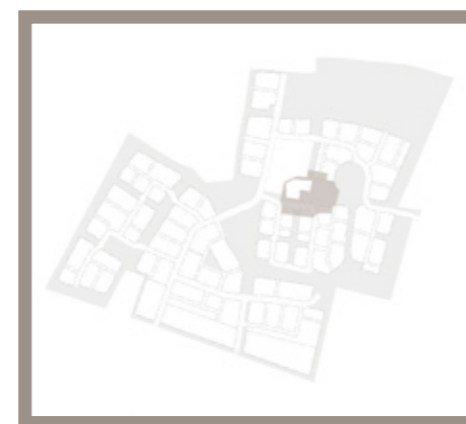
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CA7



CA8



CA9



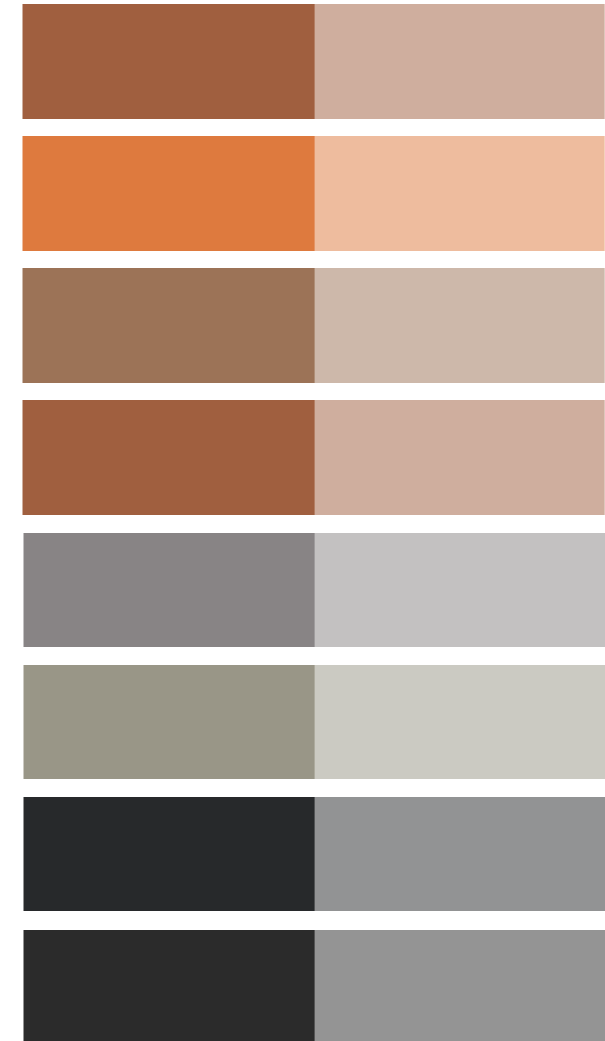
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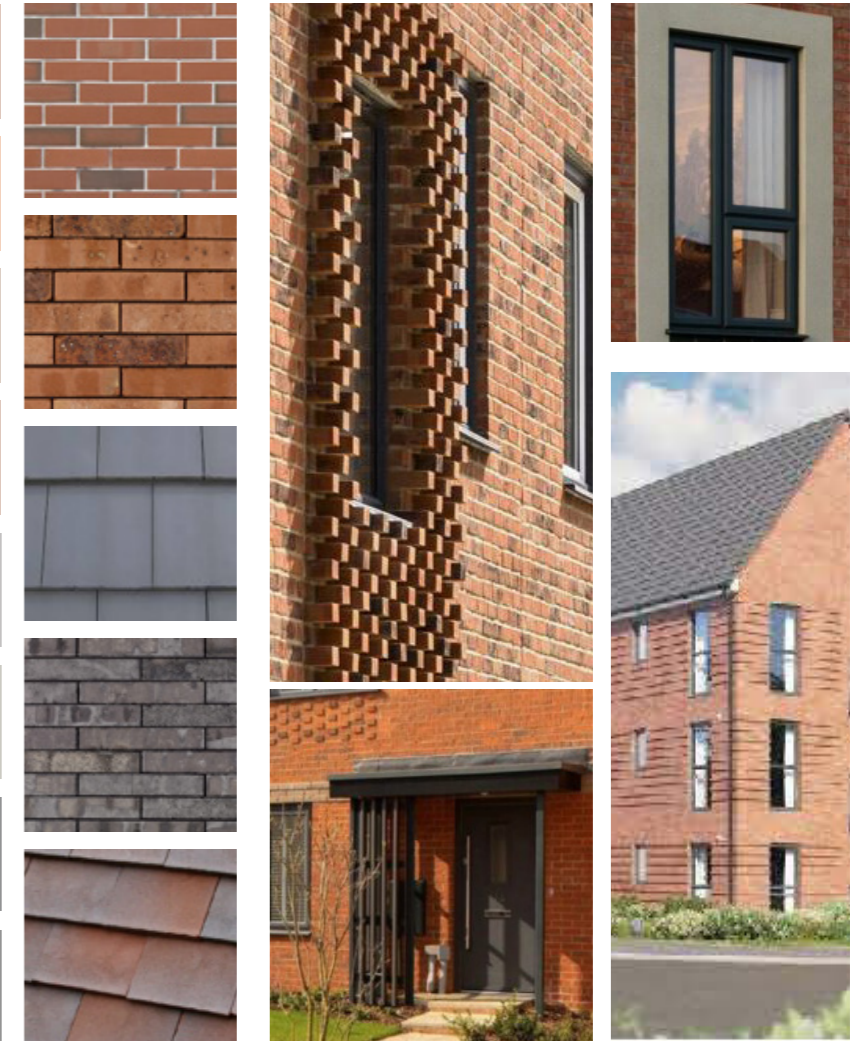
CA11



CODE CATEGORY	DEFINITION
URBAN FORM	<ul style="list-style-type: none"> • Arranged in back to back perimeter blocks with a strong sense of public-private realm definition. • Access via shared private drives, with minimal direct access. • The area will be more formal and less informal min development. • Dwellings will provide a clear presence and frontage onto streets and public realm. • Set on the widest street(s) across the development. Defined by large verges for drainage attenuation. • Development should create strong and formal consistent frontages. Strong sense of rhythm in the street scene, created through repetitive use of detailing and materials.
BUILDING TYPOLOGY	<ul style="list-style-type: none"> • Detached and semi-detached housing. • Corner turner buildings are required at key junctions. • Greater percentage of apartments near to, or adjoin the spine road.
BUILDING LINES	<ul style="list-style-type: none"> • Building lines should be consistent between groups of buildings but may vary along the length of the street. • Variations allowed from main dwelling frontage for gable and bay projections.
HEIGHT/ ENCLOSURE	<ul style="list-style-type: none"> • Predominantly 2.5-3 storey. • Limited to 2 storey where buidings turn to secondary streets/shared surfaces. • 2.5-3 storey needed at key building locations and overlooking focal spaces.
ROOFSCAPE	<ul style="list-style-type: none"> • Eaves and ridge lines will typically be consistent between groups of buildings but may vary along the length of the street. • Roof pitches should vary depending on the building typology. • Dormer windows will break up the roof line.



Proposed Colour Palette

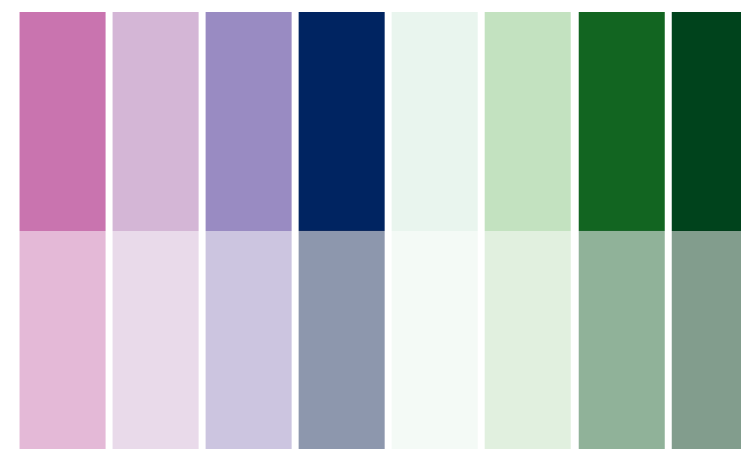
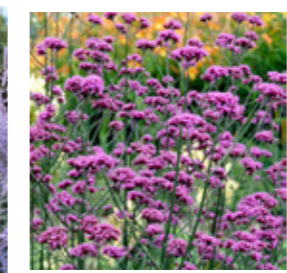
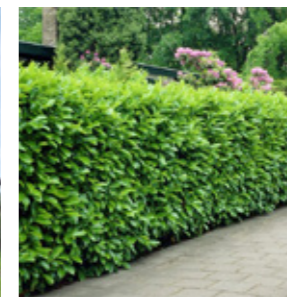


Proposed Materials Palette



Key Design Principles

- Widest street(s) in the development
- Space for large scale avenue tree planting (formal)
- Drainage attenuation alongside
- Red brick(s) with dark grey brick panels and slate effect roofing, stone lintels and cills
- Anthracite grey windows and detailing
- Other character areas materially 'touch' the corners and highlight transition points



Architectural Influences

Landscaping Palette



CODE CATEGORY	DEFINITION
URBAN FORM	<ul style="list-style-type: none"> Semi-formal linear development overlooking green corridors / open spaces. Less formal frontage with greater variation in built form to create a greener and more permeable transition from green spaces to the main spine routes. Direct access to dwellings provided from shared surfaces, lanes and private drives (single sided development).
BUILDING TYPOLOGY	<ul style="list-style-type: none"> Detached and semi-detached dwellings.
BUILDING LINES	<ul style="list-style-type: none"> Varied set backs to allow for more informal frontages and allow for greener planted curtilages. Variations allowed from main dwelling frontage for gable and bay projections.
HEIGHT/ ENCLOSURE	<ul style="list-style-type: none"> 2 storey only.
ROOFSCAPE	<ul style="list-style-type: none"> Greater variation in eaves and ridge lines. Roof pitches should vary depending on the building typology.



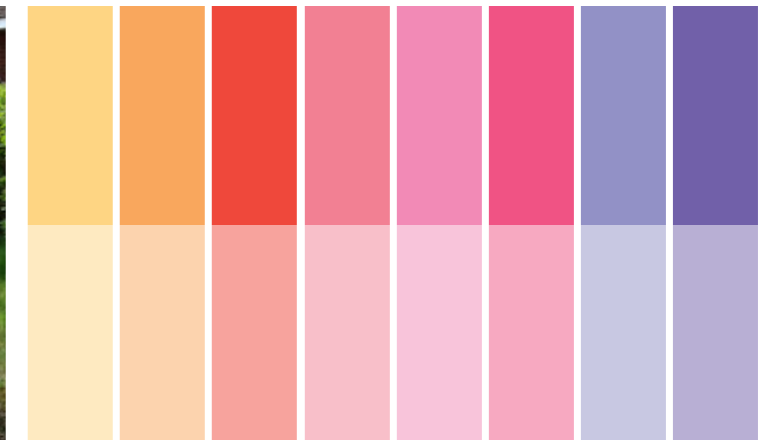
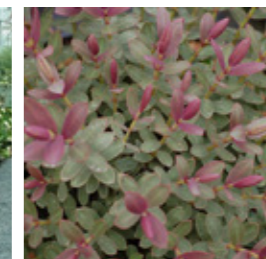
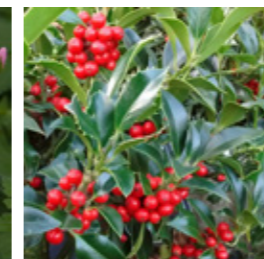
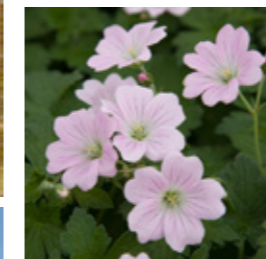
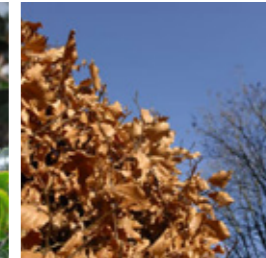
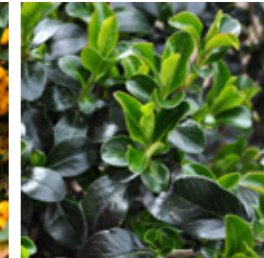
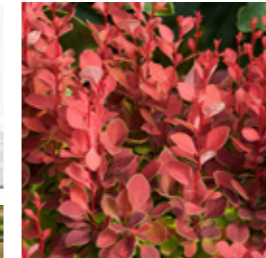
Proposed Colour Palette

Proposed Materials Palette



Key Design Principles

- Most varied materiality- red brick, sand coloured brick, and coloured board cladding (green theme)
- Warm grey windows and detailing etc
- Single side development
- Lower category lanes and private drives
- Tree planting informal/multi stemmed species
- Landscaping will be informal in style, with semi/evergreen hedgerows to frame on-plot key junctions
- Defensive planting or native hedgerows to be used at POS edge
- On-plot/incidental open space to be designed using informal shapes
- Garden trees and specimen shrubs will have a relaxed form and typically be flowering, multi-stems can be utilised
- The colour palette will be wide and plant shapes will be informal



Architectural Influences

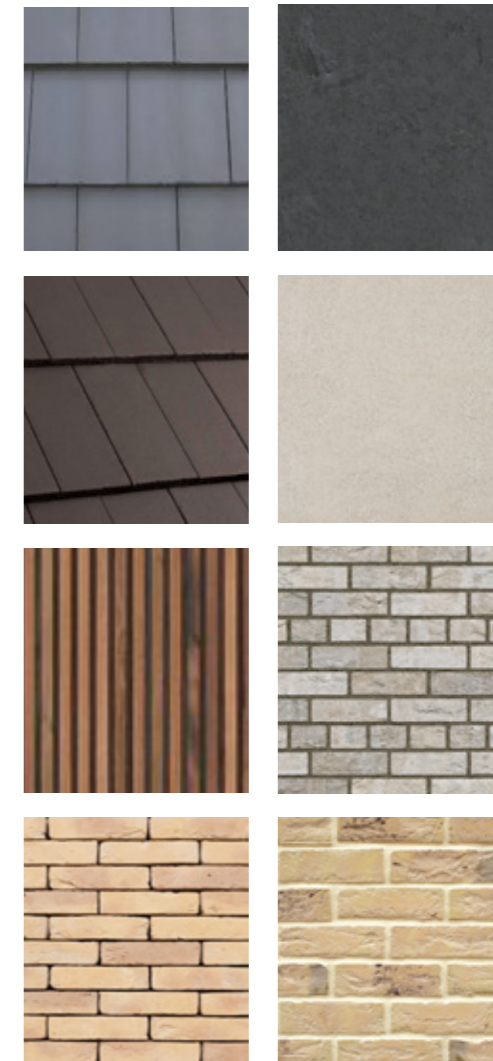
Landscaping Palette



CODE CATEGORY	DEFINITION
URBAN FORM	<ul style="list-style-type: none"> • Back to back perimeter block developments with active frontages overlooking the internal movement networks. • Predominately shared surface / tertiary routes. • Varied parking solutions; either on plot, frontage parking or courtyards. • Development should create strong and formal consistent frontages. Strong sense of rhythm in the street scene, created through repetitive use of detailing and materials.
BUILDING TYPOLOGY	<ul style="list-style-type: none"> • Predominantly semi-detached, small group terraces. Limited detached units.
BUILDING LINES	<ul style="list-style-type: none"> • Consistent building lines and set backs to ensure clear building lines are achieved. • Minimal variations allowed from main dwelling frontage for gable and bay projections. • Main frontages to be consistent between groups of dwellings on internal streets.
HEIGHT/ ENCLOSURE	<ul style="list-style-type: none"> • Predominantly 2 storey with limited use of 3 storey buildings at key locations.
ROOFSCAPE	<ul style="list-style-type: none"> • Consistency in eaves and ridge line required within groups of buildings. • Roof pitches should vary depending on the building typology. • Dormer windows will break up the roof line.



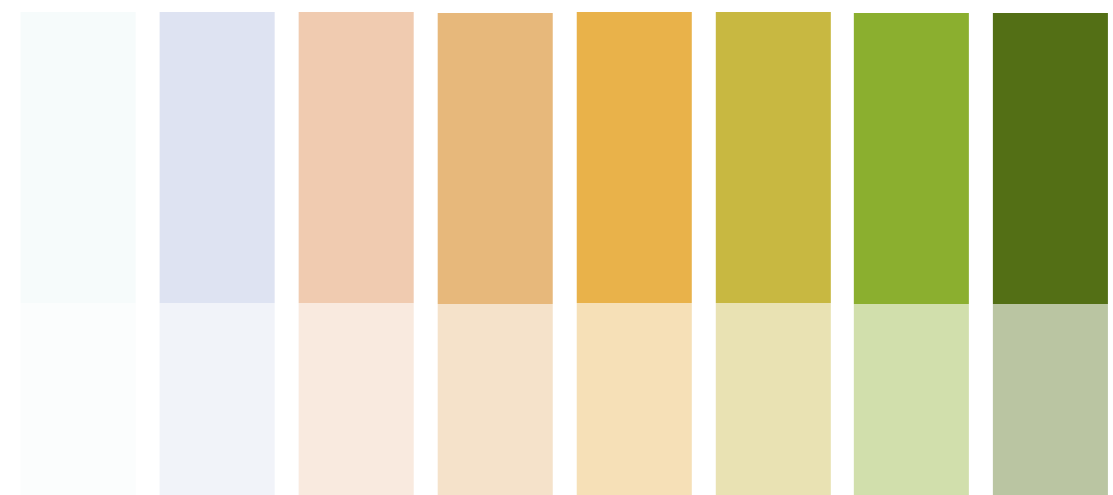
Proposed Colour Palette



Proposed Materials Palette



- Key Design Principles**
- Detached, semi-detached and terraces
 - Sand coloured brick and brown/russet roof tiles
 - Anthracite grey windows and detailing etc
 - More typically, shared surfaces than other character areas
 - More varied street surfacing and block paved gullies
 - Feature themed street tree planting (semi formal)
 - Hedgerows to form boundaries along primary routes and at key junctions, either single species or a mix of species
 - On-plot/incidental open space to be designed using geometric shapes, balance and symmetry, with the inclusion of softer more traditional shapes of planting beds
 - Garden trees and specimen shrubs will have a semi-formal shape and typically be flowering Expanded colour palette focusing on pastel shades species will be chosen as more traditional cottage garden style.

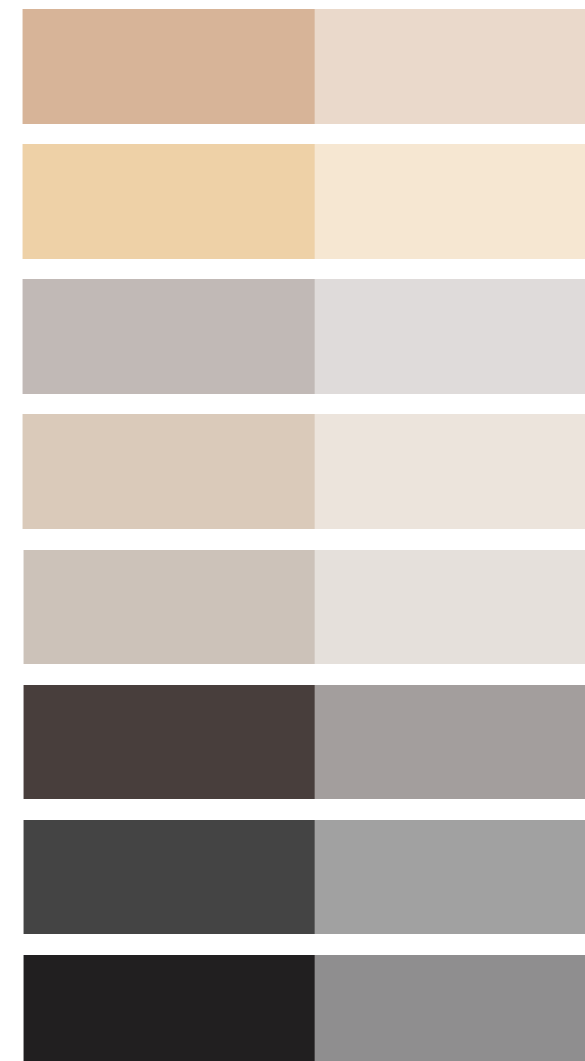


Architectural Influences

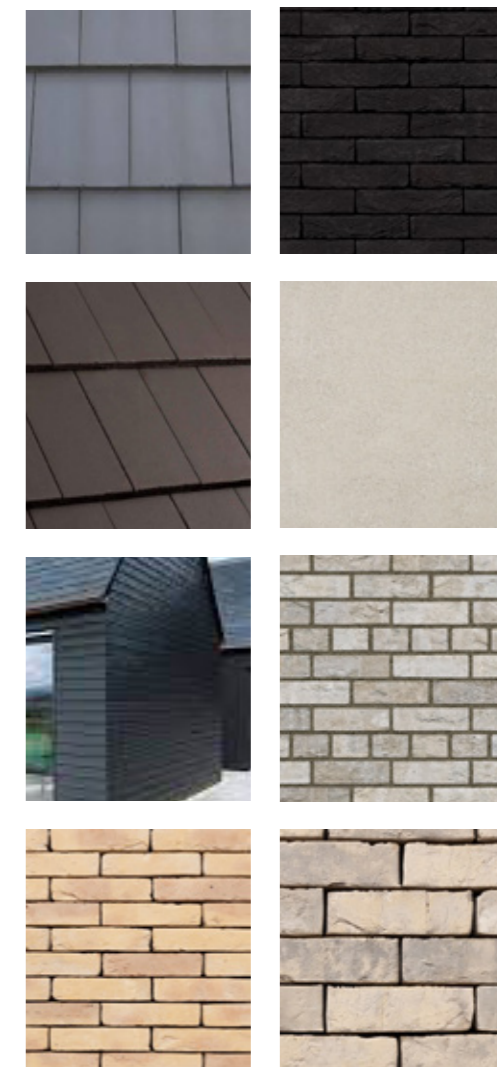
Landscaping Palette



CODE CATEGORY	DEFINITION
URBAN FORM	<ul style="list-style-type: none"> Semi-formal linear development. Strong sense of rhythm, materiality and repetition in the street scene. Development will have a strong sense of identity through limited use of materials and detail. Less formal frontage with varying set backs and greater variation in built form. Direct access to dwellings provided from internal street network.
BUILDING TYPOLOGY	<ul style="list-style-type: none"> Detached and semi-detached dwellings.
BUILDING LINES	<ul style="list-style-type: none"> Set backs to allow for more rural frontages, with native planting within deeper frontages. Limited build outs for bay windows and gables. More generous setbacks to allow for deeper, greener planted frontages.
HEIGHT/ ENCLOSURE	<ul style="list-style-type: none"> Predominately 2 storey. 2.5 storey at key views only.
ROOFSCAPE	<ul style="list-style-type: none"> Greater variation in eaves and ridge lines. Roof pitches should vary depending on the building typology.



Proposed Colour Palette



Proposed Materials Palette