

McLaren.Excell

Chancel Cottage

17/00005/F & 1700006/LB

Planning Conditions

December 2017

Introduction

The following document looks to outline how we intend to satisfy all of the Planning and Listed Building conditions outlined in Planning conditions documents 17-00005-F and 17-00006-LBC.

Herein the table below summarises each condition and how they will be fulfilled, including supporting information and details where appropriate.

Where conditions do not require further details to be submitted and explicitly approved, we have summarised how we intend to fulfil the condition. We would request that the Council advise if you disagree with our intended approach.

In some cases conditions require further details to be submitted and approved by the Council. Where available, this information has been provided. In other cases, further information will follow. We have clearly indicated where we have provided the information requested by the Council and as such should be considered a formal application for approval.

Condition Description	Planning Permission Condition Ref: 17/00005/F	Planning Permission Condition Ref: 17/00006/LBC	Requires Explicit Council Approval	Formal Application for Discharge included Herein	Comments
Development commencement date	Condition 1	Condition 1	No		
Development in accordance with plans and documents	Condition 2	Condition 2	No		
Works to match original adjacent works	n/a	Condition 3	No		
Details of internal alterations and methods	n/a	Condition 4	Yes		Further info to follow with input from Structural engineer
Details of external construction works	n/a	Condition 5	Yes	Yes	
Stone sample panel	Condition 3	Condition 6	Yes		To be discharged once contractor is on site
Doors, windows and glazing details 1:20	Condition 4	Condition 7	Yes	Yes	
Details of how extension will attach existing	Condition 5	Condition 8	Yes	Yes	To follow with input from structural engineer
Schedule of externally facing materials	Condition 6	n/a	Yes	Yes	
Roof of development to be covered in natural stone slates	Condition 7	Condition 9	No		
Measures to strengthen (structural details)	n/a	Condition 10	Yes		To follow with input from structural engineer
Details of design and finish of rooflights	n/a	Condition 11	Yes	Yes	
Details written and photographic record	n/a	Condition 12	No		
Means of access between land and highway	Condition 8	n/a	Yes	Yes	
Specification of the turning area and 2.no parking spaces.	Condition 9	n/a	Yes	Yes	

Condition 1- REF : 17/00005/F + 17/00006/LBC [DOES NOT REQUIRE EXPLICIT APPROVAL]

The works to which this consent relates shall be begun not later than the expiration of three years beginning with the date of this consent.

Reason: To comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

An official commencement date for construction is yet to be finalised, however the works are likely to start early 2018. We will formally notify the Cherwell Conservation and Planning departments when a date for commencement has been decided upon. This date will be within the statutory commencement time frame and therefore the condition will be fulfilled.

Condition 2 : 17/00005/F + 17/00006/LBC [DOES NOT REQUIRE EXPLICIT APPROVAL]

Except where otherwise stipulated by condition, the development shall be carried out strictly in accordance with the following plans and documents: Application forms, Report on the condition of Chancel Cottage, Repairs Method Statement, Structural Engineer's Report and drawings numbered: (059_1_100 PL1, 059_1_102 PL1, 059_1_103 PL1, 059_1_104 PL1, 059_1_105 PL1, 059_1_106 PL1, 059_1_107 PL1, 059_1_108 PL1, 059_1_109 PL1, 059_1_110 PL1, 059_1_111 PL1, 059_1_113 PL1 (Existing Plans), 059_1_202 PL2, 059_1_203 PL2, 059_1_204 PL2, 059_1_205 PL2, 059_1_206 PL2, 059_1_207 PL2, 059_1_208 PL2, 059_1_209 PL2, 059_1_210 PL2, 059_1_211 PL2, 059_1_212 PL2, 059_1_213 PL2, 059_1_214 PL2, 059_1_302 PL2, 059_1_303 PL1, 059_1_304 PL1, 059_1_305 PL1, 059_1_306 PL1, 059_1_307 PL1, 059_1_308 PL1, 059_1_309 PL1, 059_1_310 PL1, 059_1_311 PL1, 059_1_312, 059_1_313 PL1 and 059_1_314 PL2) (Proposed Plans).

Reason- For the avoidance of doubt, to ensure that the development is carried out only as approved by the Local Planning Authority and to comply with Government guidance contained within the National Planning Policy Framework.

The works will be carried out in accordance with the above approved documentation.

Condition 3 : 17/00006/LBC [DOES NOT REQUIRE EXPLICIT APPROVAL]

Except where indicated otherwise on the approved drawings or as required by any condition(s) attached to this consent, all new external and internal works and finishes, works of making good and dimensions and profiles of joinery shall match the existing original adjacent work in respect of materials used, detailed execution and finished appearance.

Reason: To safeguard the special architectural or historic interest, character, appearance and integrity of the Listed building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

The above condition was discussed with Cherwell conservation representative Jenny Ballinger on 06/12/2017 at Chancel Cottage. All integral original joinery such as timber framed windows, door architraves, doors and stairs will all be sympathetically restored internally and externally to match their original condition. The following elevation guide expresses how each window will be restored. All unoriginal joinery will be removed in line with the approved information stated in condition 2. It was agreed that there exists no original joinery items in the property to be retained or made good other than those mentioned above.



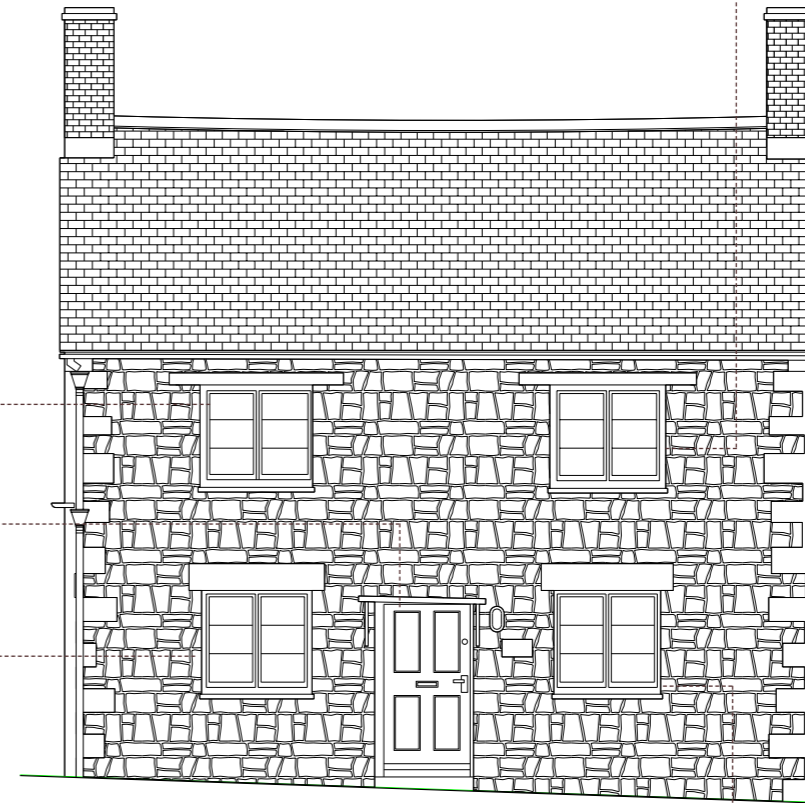
Existing Bedroom Room Window
(First floor, front facade)

- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Stone lintel to be re pointed and re-rendered using lime mortar to match existing condition.



Existing Bedroom Room Window
(First floor, front facade)

- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Stone lintel to be re pointed and re-rendered using lime mortar to match existing condition.



Existing Front Door
(Ground floor, front facade)

- Existing timber door to be:
- Protected during the course of the works.
 - Ease and adjust door and make good to frame as required.
 - Entire door to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Stone canopy to be refurbished and retained.



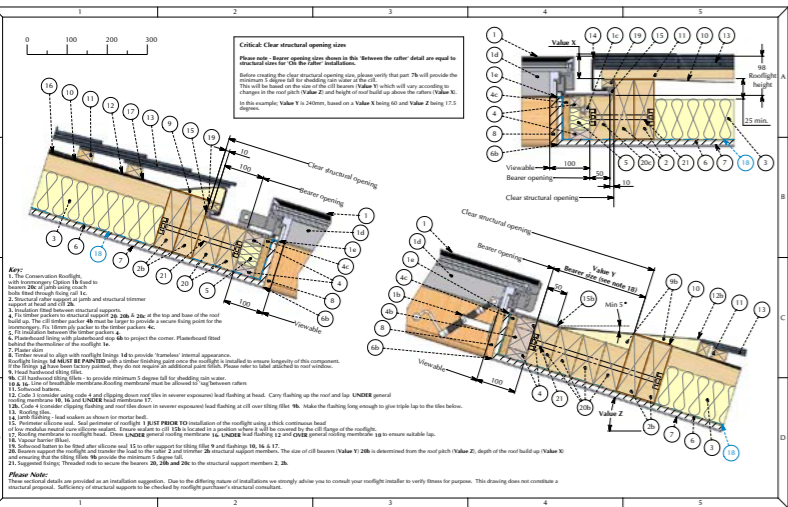
Existing Sitting Room Window
(Ground floor, front facade)

- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Stone lintel to be re pointed and re-rendered using lime mortar to match existing condition.

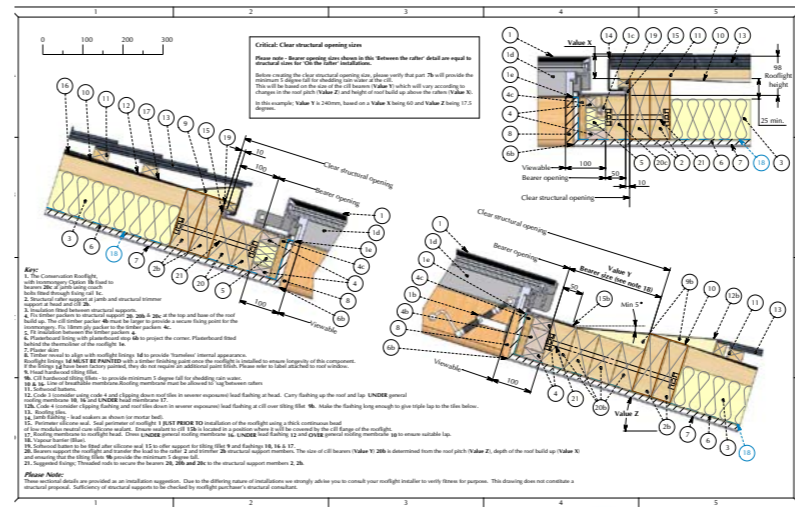


Existing Living Room Window
(Ground floor, front facade)

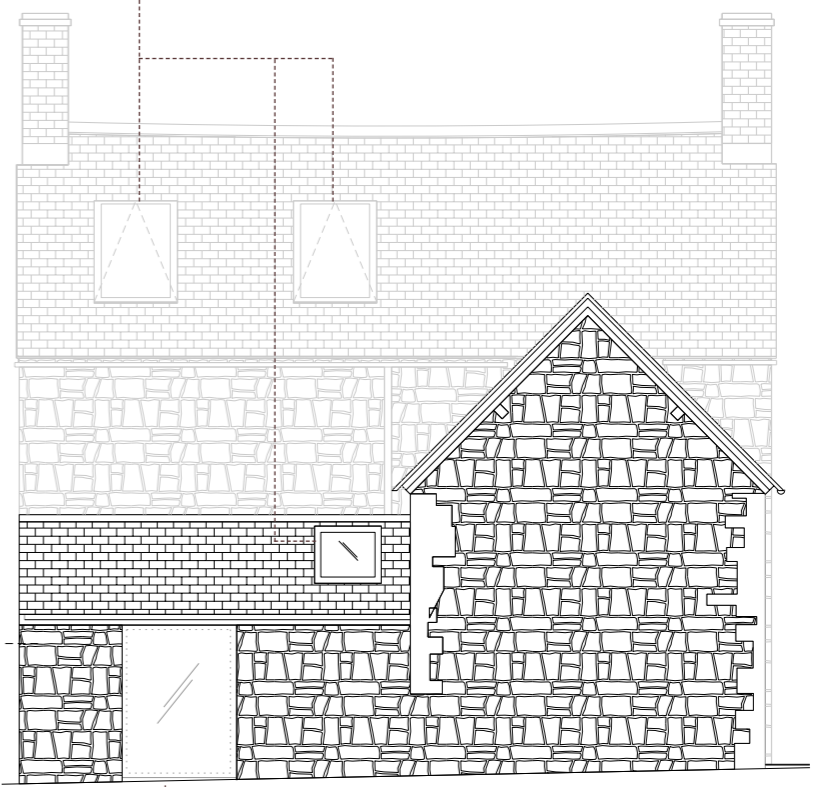
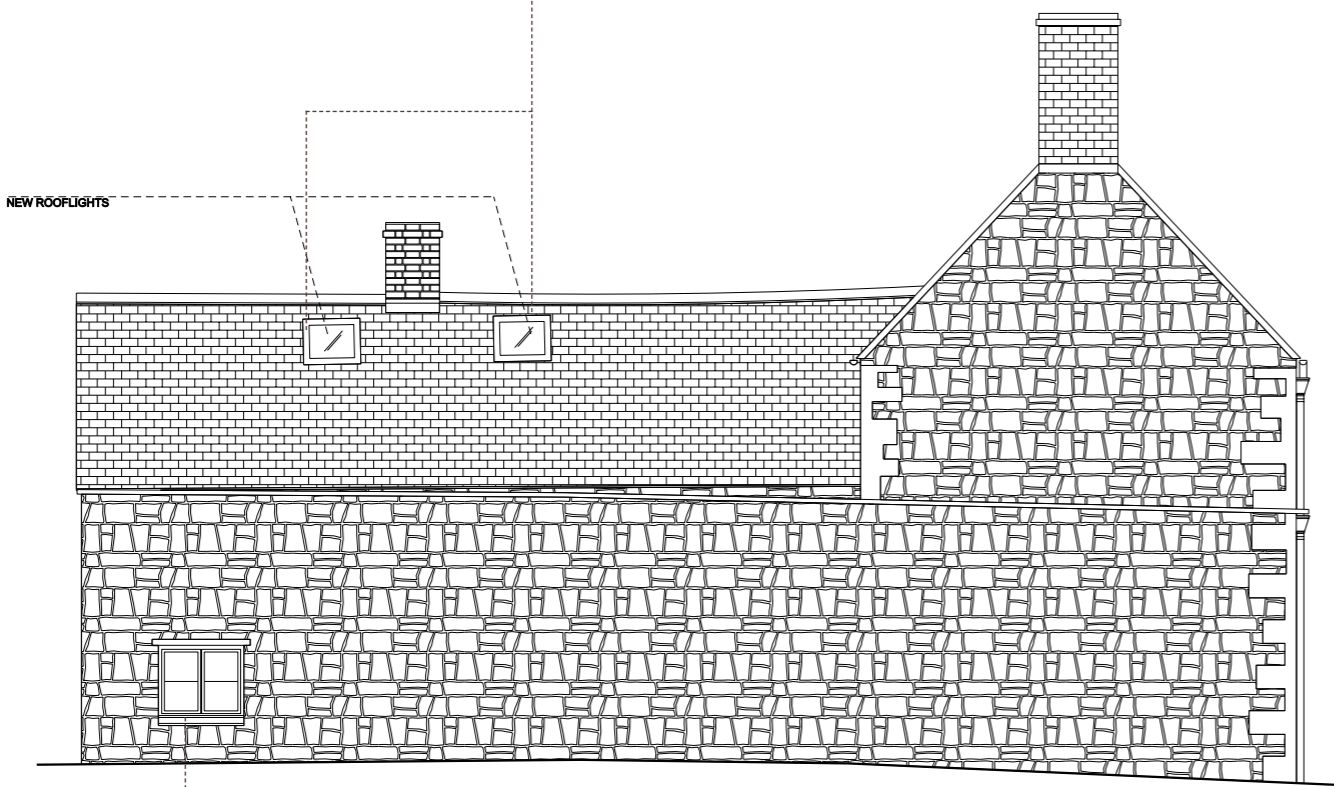
- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Stone lintel to be re pointed and re-rendered using lime mortar to match existing condition.



Proposed Conservation Roof lights
 (Rear Range Roof)
 - Conservation Roof lights flush with stone slates.
 - Covered in more detail in conditions 7 & 11



Proposed Conservation Roof lights
 (Rear Range Roof)
 - Conservation Roof lights flush with stone slates.
 - Covered in more detail in conditions 7 & 11



Existing Bathroom Room Window
 (Ground floor, north facade)

Existing timber window to be:

- Protected during the course of the works.
- Ease and adjust window and make good to frame as required.
- Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
- Timber lintel to be made good and restored.

Proposed Fixed Window in Extension
 (Ground Floor, rear facade)

Proposed Window to be:

- Fixed frameless appearance window in stone facade.
- Covered in more detail in condition 7



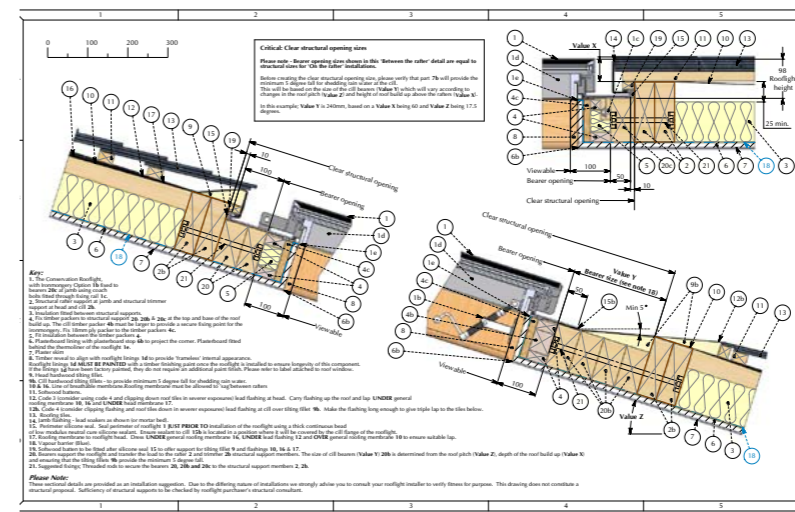
Existing Loft Window
(Second Floor. South facade)

- Existing Metal window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Timber lintel to be made good and restored.

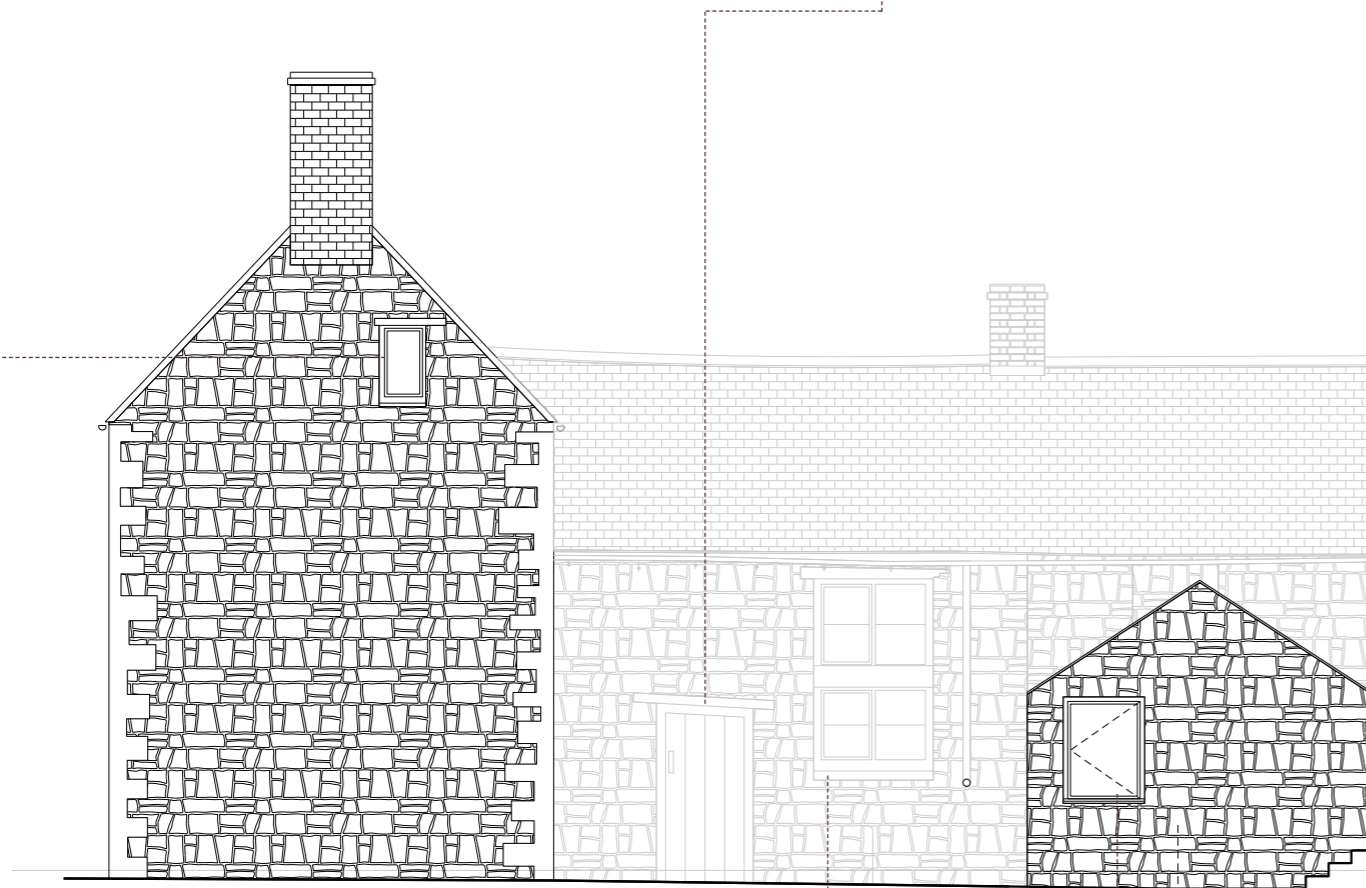


Existing Back Door
(Ground Floor. South facade)

- Existing timber door frame to be: protected throughout the duration of the works . The frame will be made good with any defects and cracks filled, the frame will be sanded down an primed ready for decoration.
- Existing timber door was approved for removal as part of application 17/00006/LBC. The door will be replaced with a timber panelled door of a similar style.
- The existing Lintel to be made good and restored.

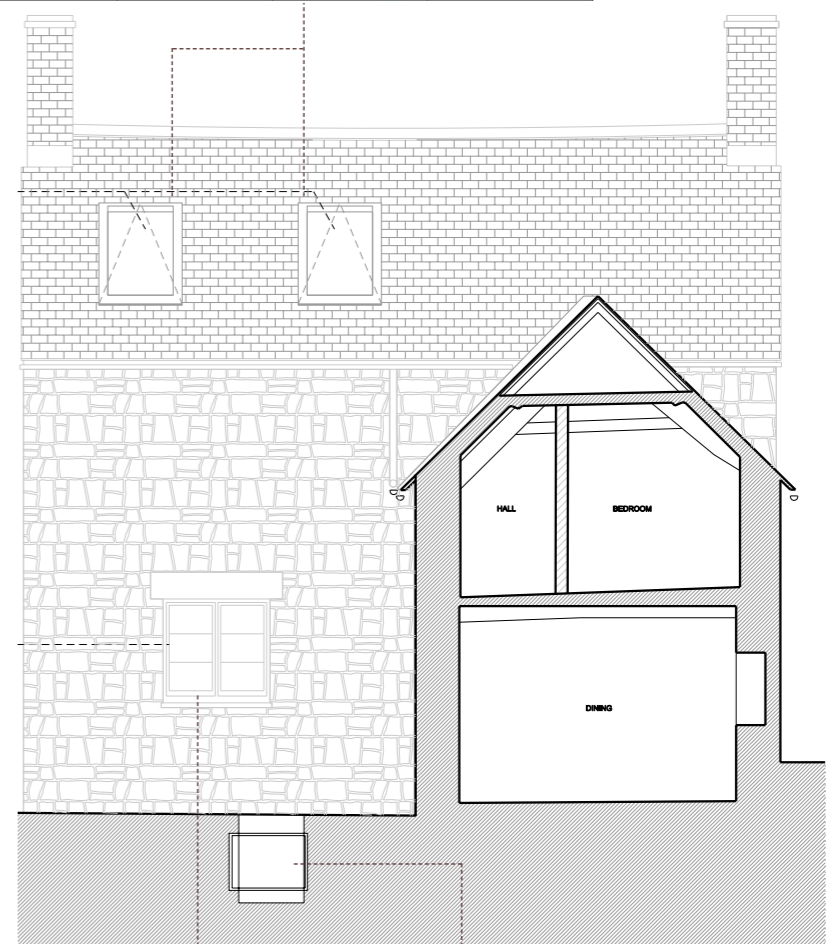


Proposed Conservation Roof lights
(Rear Range Roof)
- Conservation Roof lights flush with stone slates.
- Covered in more detail in conditions 7 & 11



Proposed Kitchen Casement Window
(Ground floor, South elevation)

- Proposed Window to be:
- Openable casement window
 - Covered in more detail in condition 7



Proposed Living Room Window
(Ground floor, West elevation)

- Proposed Window to be:
- Openable timber conservation style window to match the existing windows on the ground floor front facade.
 - Lintel to be constructed from natural stone to match existing.
 - See condition 7 LBC for more details

Existing Basement Window
(Basement, West Elevation)

- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Central Transom panel to be removed and refitted
 - Timber lintel to be made good and restored.



Existing Kitchen Window
(Ground floor/ First floor, South facade)

- Existing timber window to be:
- Protected during the course of the works.
 - Ease and adjust window and make good to frame as required.
 - Entire window to be sanded down, defects / cracks filled and sanded, primed ready for decoration.
 - Central Transom panel to be removed and refitted
 - Timber lintel to be made good and restored.

Condition 4 : 17/00006/LBC

[FORMAL APPLICATION FOR DISCHARGE- AWAITING STRUCTURAL ENGINEERS INFORMATION]

Prior to the commencement of the development hereby approved, details of all internal alterations and the methods, materials and components to be used in the works shall be submitted to and approved in writing by the Local Planning Authority. Works shall include (but are not limited to) structural strengthening, timber re-jointing, re-plastering, ceilings (rafters and purlins), providing service routes and alteration, flooring, replacement or maintenance of architectural features. The development shall be completed in accordance with the approved details and retained as such thereafter.

Reason: To safeguard the special architectural or historic interest, character, appearance and integrity of the Listed building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

In regards to all remedial structural alterations including Structural Strengthening, timber re-jointing, rafters, joists and purlins will be submitted at a later date by the Structural Engineer, this will however be before commencement on site.

Services routes will be contractor design, therefore these will need to be agreed on site and confirmed with a Cherwell Conservation officer.

Internal Architectural features :

re-plastering- Where areas of existing lime plaster and lath have fallen in, or been removed, it will be replaced with available laths on site, or with stainless steel expanded metal lath fixed to the joists or studs. The lime plaster will be built up in 2-3 coats to achieve a fine plastered finish ready for decoration. Again, lime plaster to be supplied ready-mixed by Lime Technology. (<https://limetec.co.uk>)

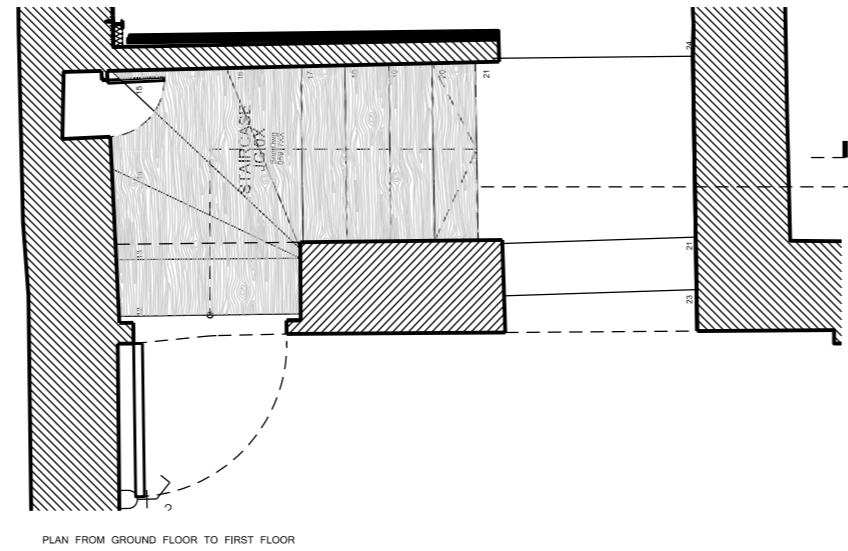
Flooring- All original floorboards will be sympathetically removed, sanded down, refinished and then re laid in their existing positions. Where the flooring is not original i.e. The existing kitchen, the first floor third bedroom and the second floor lost space the existing flooring will be removed and replaced.

Window seats- The first and ground floor internal window seats will all be retained. The existing window seats will be stripped, sanded and made good ready for decoration.

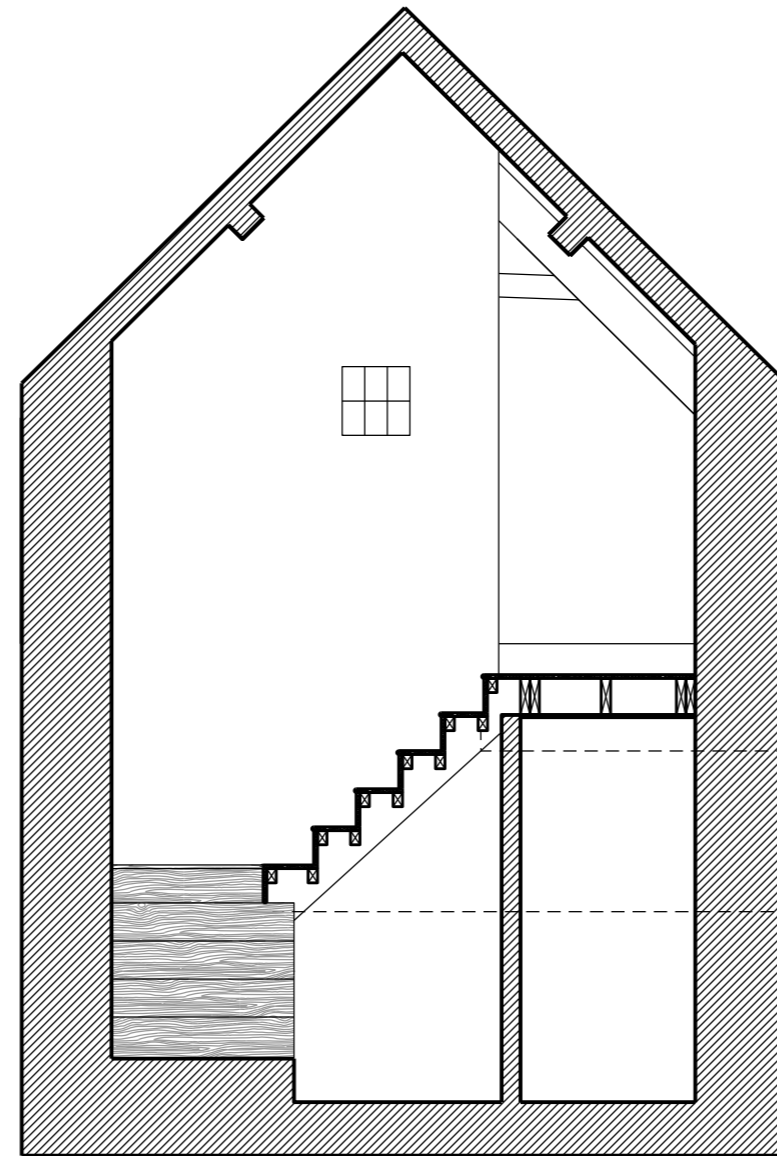


Condition 4 continued

Original staircase from ground floor to first floor - The existing staircase will be protected for the duration of the building works. Where possible due to its condition, the existing staircase will be retained in full. The existing staircase carcass will be sanded down and any cracks, defects or rotten timber will be made good. The existing timber treads will be made good, sanded down and sealed.



EXISTING TIMBER TREADS TO BE SYMPATHETICALLY REMOVED SANDED DOWN AND MADE GOOD, READY TO BE RE INSTALLED.



EXISTING TIMBER STAIRCASE CARCASS TO HAVE ALL ROTTEN TIMBER REMOVED AND MADE GOOD.

EXISTING TIMBER TREADS TO BE SYMPATHETICALLY REMOVED SANDED DOWN AND MADE GOOD, READY TO BE RE INSTALLED.



Existing Timber Stairs



Existing Timber Stairs from below, the black mould from damp ingress into the existing stairs will need to be addressed or removed if the timber is completely rotten.



Existing Timber Stairs

Condition 4 continued

The Stair case from the first floor to the second floor loft space is not original, however the staircase carcass depending on its condition will be retained, it will be sanded down and defects made good. The existing stair treads will be removed and replaced with new engineered timber boards that will continue to form the new floor finish in the second floor bedroom.



Existing steep winder staircase



Existing steep winder staircase showing non-original stair treads and door



Existing steep winder staircase carcass is in a fair condition

Condition 5 : 17/00006/LBC
[FORMAL APPLICATION FOR DISCHARGE]

Prior to the commencement of the development hereby approved details of all external construction works, the methods, materials and components to be used in the Works shall be submitted to and approved in writing by the Local Planning Authority. Works shall include (but are not limited to) alteration, replacement or maintenance of stonework, bonding, mortar, roof materials, fenestration (restoration and replacement), rainwater goods and decorative features. The development shall be undertaken strictly in accordance with the approved details and retained as such thereafter.

Reason: To safeguard the special architectural or historic interest, character, appearance and integrity of the Listed building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.Method Statement

The following method statement sets out the approach towards remedial works and repairs to the general state of the building fabric at Chancel Cottage.

Re-pointing - In all instances of re-pointing (internal or external), lime mortar will be used, supplied as ready-mixed mortar by Lime Technology. The new mortar will be colour-matched to the existing mortar to ensure the repairs are as discreet as possible. The mortar will be applied with the same method used on the rest of the building to ensure consistency in appearance.

Re-building of any unstable sections of stone wall- In all instances, existing stone block will be re-used to re-build and stabilise any solid stone walls. The demolition of the existing garden store 'out-building' and the opening for the new extension will yield a quantity of stone blocks that will be re-used, so it is unlikely that any new stone will be required to complete the works. As above, any repairs to stone walls will be laid with lime mortar, and pointed as such. The works will occur during the warmer months of the year when lime mortar can set without concern for overnight frost.

Roofing slates- Where re-roofing works are required, the existing stone slates will be removed and retained for re-use wherever their condition permits. If there is a shortfall in useable slates, we will use locally sourced stone slates to match the existing as closely as possible. If the existing roofing battens and underlay are deemed unfit for purpose (or rotten), these will be replaced as part of the re-roofing works.

Internal re-plastering - Where areas of existing lime plaster and lath have fallen in, or been removed, it will be replaced with available laths on site, or with stainless steel expanded metal lath fixed to the joists or studs. The lime plaster will be built up in 2-3 coats to achieve a fine plastered finish ready for decoration. Again, lime plaster to be supplied ready-mixed by Lime Technology. (<https://limetec.co.uk>)

Condition 6 : 17/00006/LBC

Condition 3 : 17/00005/F

[INCLUDED FOR INFORMATION- TO BE DISCHARGED ONCE CONTRACTOR IS ON SITE]

Prior to the commencement of the development hereby approved, a stone sample panel (minimum 1m² in size) shall be constructed on site in stone to match that of the existing building, which shall be inspected and approved in writing by the Local Planning Authority. Thereafter, the walls of the extension shown on the approved plans to be constructed in stone shall be laid, dressed, coursed and pointed in strict accordance with the approved stone sample panel and retained as such thereafter.

Reason - To ensure that the completed development is in keeping with and conserves the special character of the existing historic building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C28 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

A 1m x 1m stone sample will be erected by the contractor to match that of the existing building. We will notify the Cherwell conservation office once the sample has been erected so that an officer can come to inspect the work and discharge the condition.

Condition 7 : 17/00006/LBC

Condition 4 : 17/00005/F

[FORMAL APPLICATION FOR DISCHARGE]

Prior to the commencement of the development hereby approved, full details of the doors, windows and glazing hereby approved, at a scale of 1:20 including a cross section, cill, lintel and recess detail and colour/finish, shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the doors, windows and glazing shall be installed within the building in accordance with the approved details and retained as such thereafter.

Reason - To ensure that the completed development is in keeping with and conserves the special character of the existing historic building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

The 1:20 detail drawings on the following pages capture the proposed doors and windows in plan section and elevation. These drawings should satisfy condition 7. The rooflight details have been captured in condition 11.

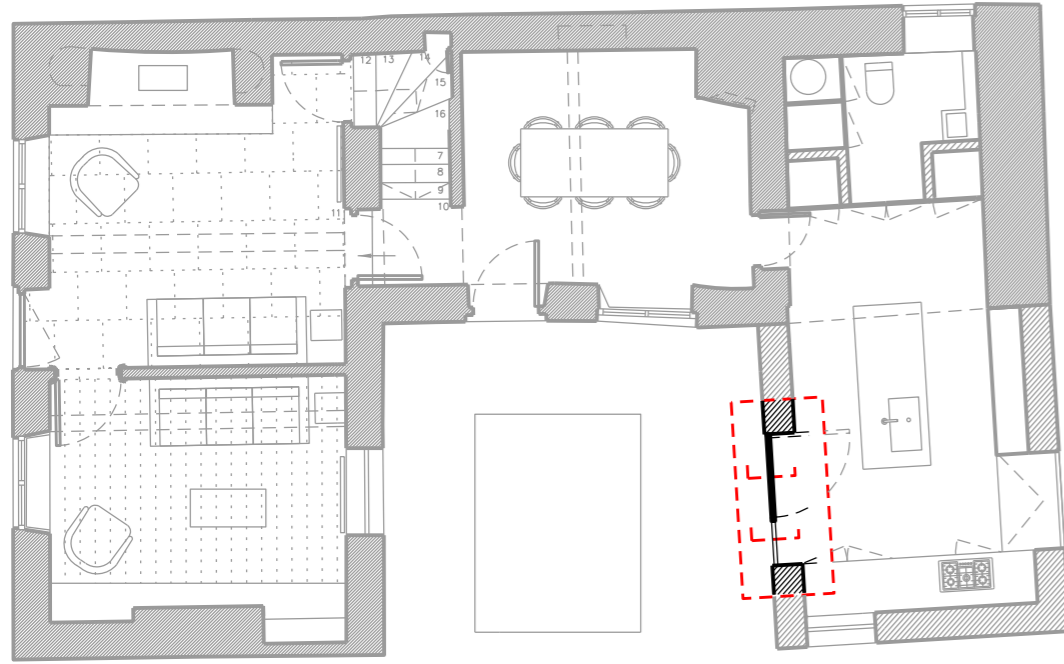
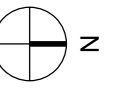
The method and extent of refurbishment to the existing windows can be seen in condition 3 17/00006/LBC.

KEY PLAN
NOT TO SCALE

General Notes:
Unless indicated in status, this drawing is for information only. Any discrepancies found between this drawing and other documents should be referred immediately to the consultants. The Contractor to advise on all details and ensure stability and strength of construction. The Contractor to provide setting out drawings for approval prior to construction. The Contractor to check all dimensions on site and relate to these drawings. The Contractor to report any discrepancies to Designers prior to construction. All services to Local Authorities, BCO and Environmental Health regulations and to Service Engineer's details. All structure to Structural Engineer's details and Local Authority and BCO regulations. All construction and materials to comply with current Building and Fire Regulations. Drawings should be removed from currency immediately a revised version is issued.

No dimensions to be scaled from this drawing - use figured dimensions only. All dimensions to be checked on site, any discrepancies found between this drawing and other documents should be referred immediately to the consultants. All dimensions in mm.

* This drawing is Copyright © McLaren Excell Ltd.



GUTTER
CODE 4 LEAD GUTTER
FORMED BY 18mm
PLYWOOD BOARDS

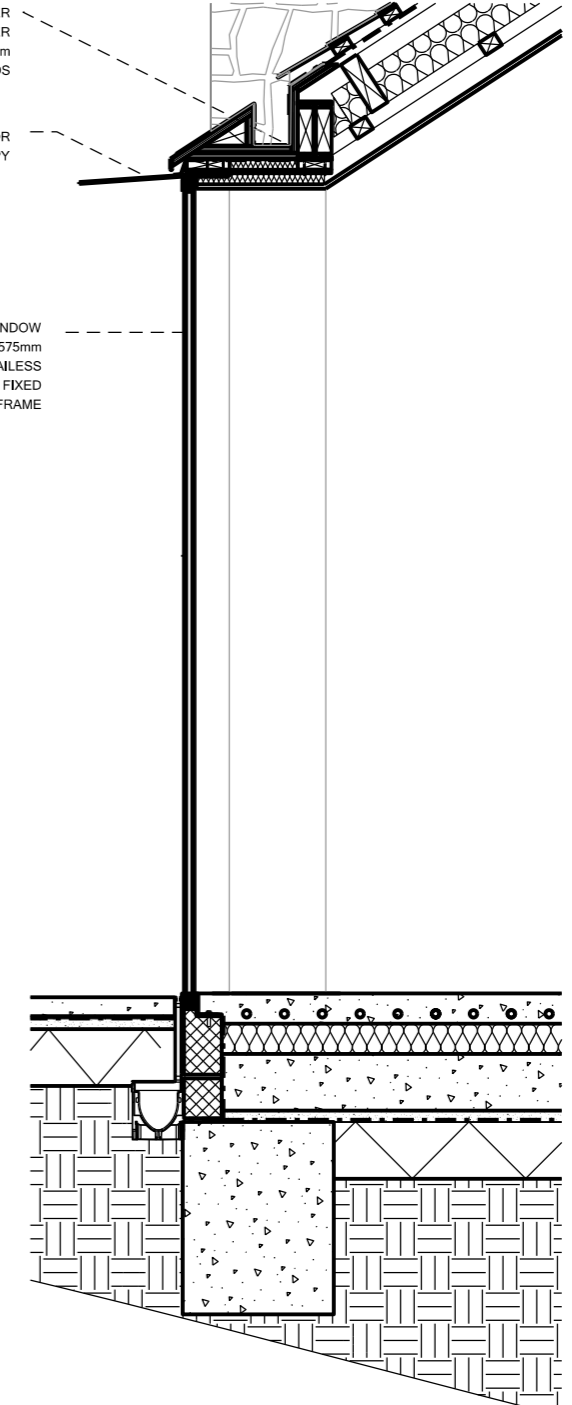
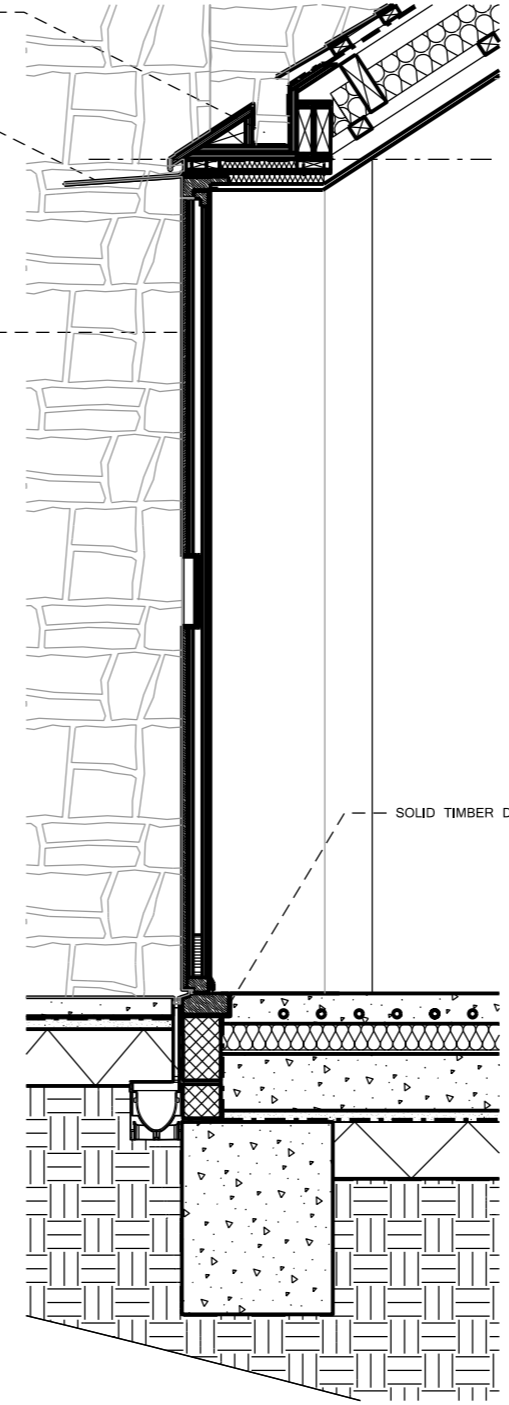
NATURAL BRONZE DOOR
CANOPY

PROPOSED DOOR : 1215mm x
H 2225mm JAMES LATHAM
56mm FINESSE KLIMA
INSULATED SOILD TIMBER
DOOR BLANK WITH T&G
MISMATCHED 8mm BLACK
TIMBER CLADDING TO OUTER
FACE

GUTTER
CODE 4 LEAD GUTTER
FORMED BY 18mm
PLYWOOD BOARDS

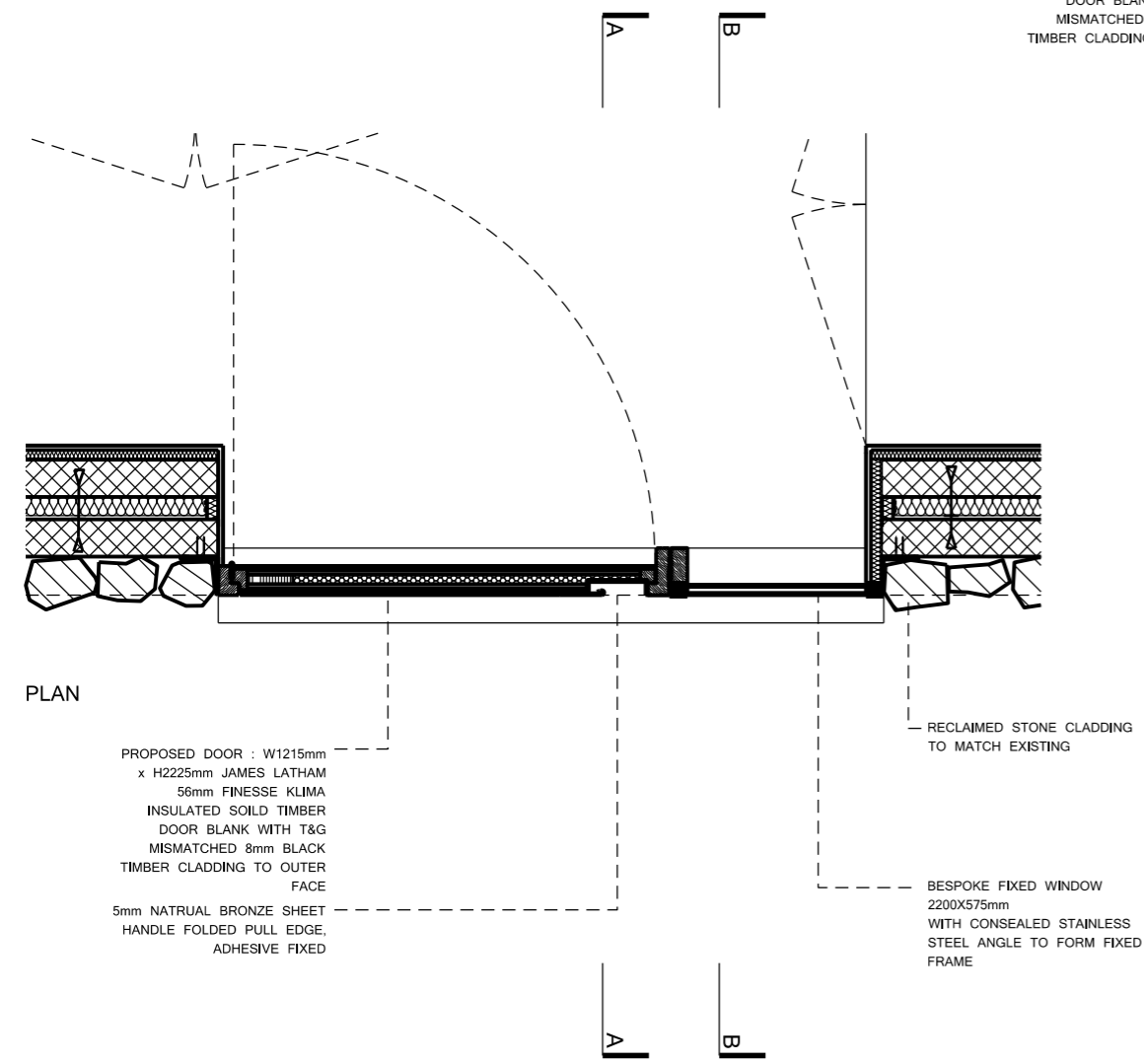
NATURAL BRONZE DOOR
CANOPY

BESPOKE FIXED WINDOW
2200X575mm
WITH CONSEALED STAINLESS
STEEL ANGLE TO FORM FIXED
FRAME



AA SECTION THROUGH DOOR

BB SECTION THROUGH FIXED WINDOW



PLAN

PROPOSED DOOR : W1215mm
x H2225mm JAMES LATHAM
56mm FINESSE KLIMA
INSULATED SOILD TIMBER
DOOR BLANK WITH T&G
MISMATCHED 8mm BLACK
TIMBER CLADDING TO OUTER
FACE

5mm NATRUAL BRONZE SHEET
HANDLE FOLDED PULL EDGE,
ADHESIVE FIXED

RECLAIMED STONE CLADDING
TO MATCH EXISTING

BESPOKE FIXED WINDOW
2200X575mm
WITH CONSEALED STAINLESS
STEEL ANGLE TO FORM FIXED
FRAME



Status
PLANNING

Issue	Revision	Comments	Date
PC			17.12.08

Project
CHANCEL COTTAGE

Scale	Drawn By	Date
1:20 @ A3	JH	17.30.11

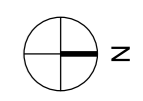
Drawing Title
**CONDITION no,7
NEW DOOR AND WINDOW TO EXTENSION**

Drawing No.
059_471

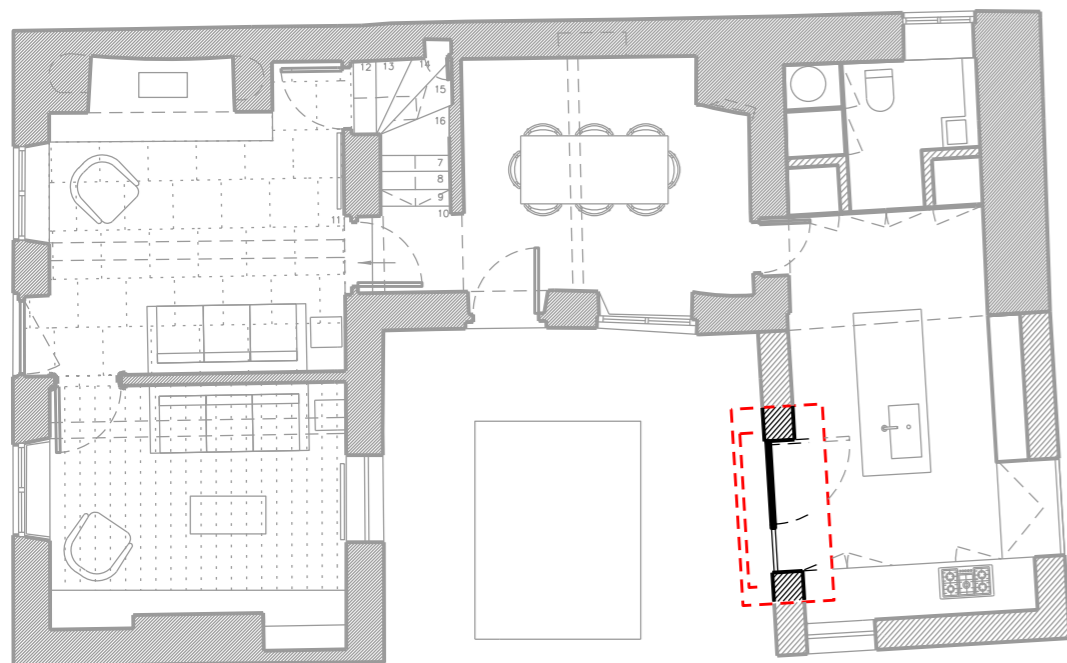
General Notes:
 Unless indicated in status, this drawing is for information only. Any discrepancies found between this drawing and other documents should be referred immediately to the consultants. The Contractor to advise on all details and ensure stability and strength of construction. The Contractor to provide setting out drawings for approval prior to construction. The Contractor to check all dimensions on site and relate to these drawings. The Contractor to report any discrepancies to Designers prior to construction. All services to Local Authorities, BCO and Environmental Health regulations and to Service Engineers details. All structure to Structural Engineer's details and Local Authority and BCO regulations. All construction and materials to comply with current Building and Fire Regulations. Drawings should be removed from currency immediately a revised version is issued.

No dimensions to be scaled from this drawing - use figured dimensions only. All dimensions to be checked on site, any discrepancies found between this drawing and other documents should be referred immediately to the consultants. All dimensions in mm.

* This drawing is Copyright © McLaren Excell Ltd.



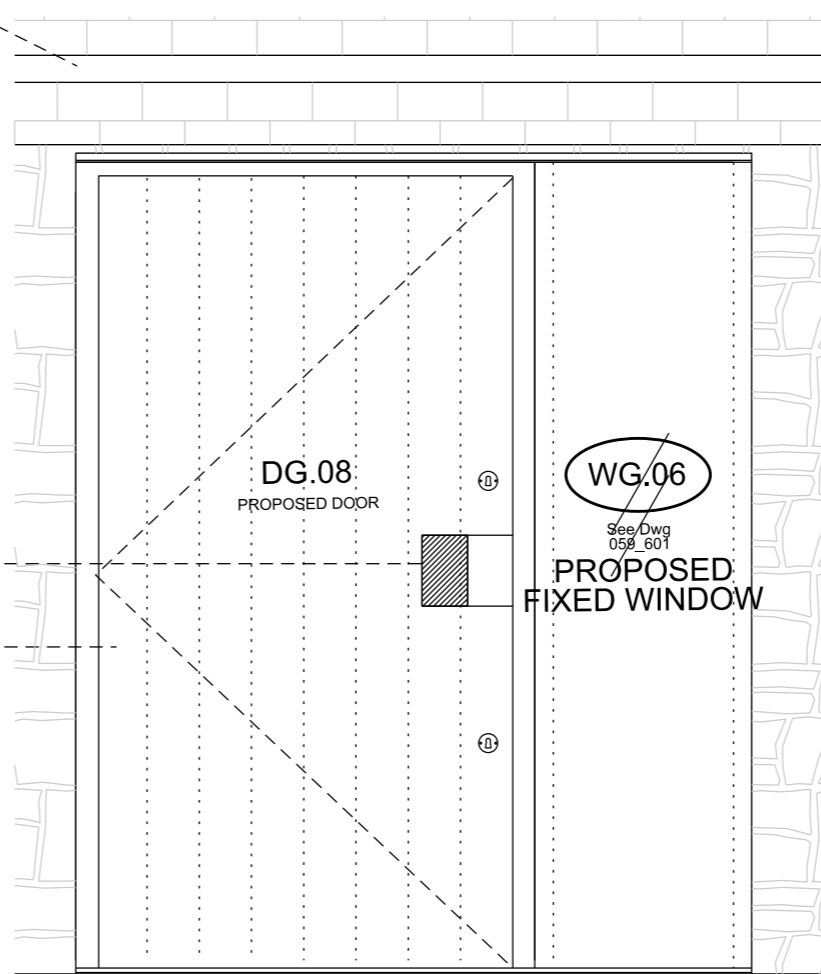
KEY PLAN
 NOT TO SCALE



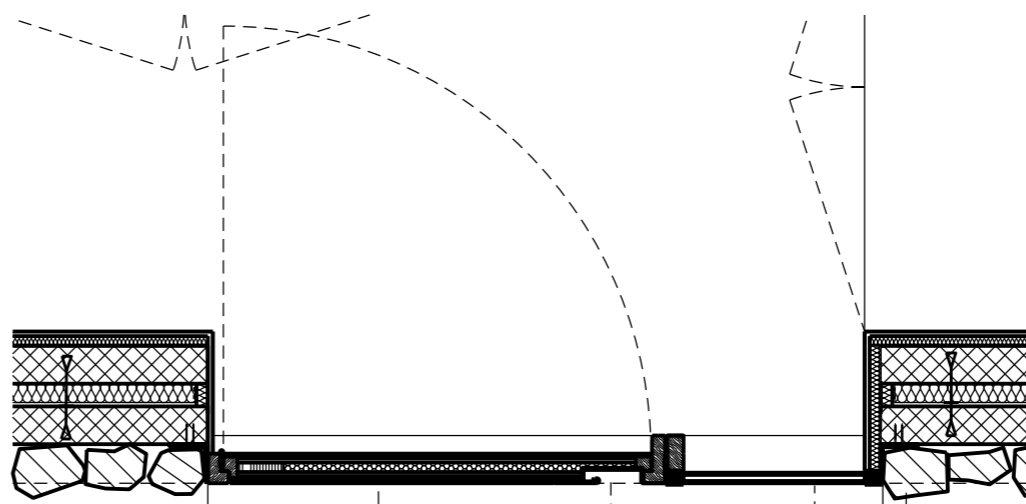
GUTTER
 CODE 4 LEAD GUTTER
 FORMED BY 18mm
 PLYWOOD BOARDS

5mm NATURAL BRONZE SHEET
 HANDLE FOLDED PULL EDGE,
 ADHESIVE FIXED

PROPOSED DOOR : 1215mm x
 H 2225mm JAMES LATHAM
 56mm FINESSE KLIMA
 INSULATED SOLID TIMBER
 DOOR BLANK WITH T&G
 MISMATCHED 8mm BLACK
 TIMBER CLADDING TO OUTER
 FACE



ELEVATION



PLAN

PROPOSED DOOR : W1215mm
 x H2225mm JAMES LATHAM
 56mm FINESSE KLIMA
 INSULATED SOLID TIMBER
 DOOR BLANK WITH T&G
 MISMATCHED 8mm BLACK
 TIMBER CLADDING TO OUTER
 FACE
 5mm NATURAL BRONZE SHEET
 HANDLE FOLDED PULL EDGE,
 ADHESIVE FIXED

RECLAIMED STONE CLADDING
 TO MATCH EXISTING

BESPOKE FIXED WINDOW
 2200X575mm
 WITH CONSEALED STAINLESS
 STEEL ANGLE TO FORM FIXED
 FRAME

Status

PLANNING

Issue	Revision	Comments	Date
PC			17.12.15

Project

CHANCEL COTTAGE

Scale	Drawn By	Date
1:20 @ A3	JH	17.30.11

Drawing Title

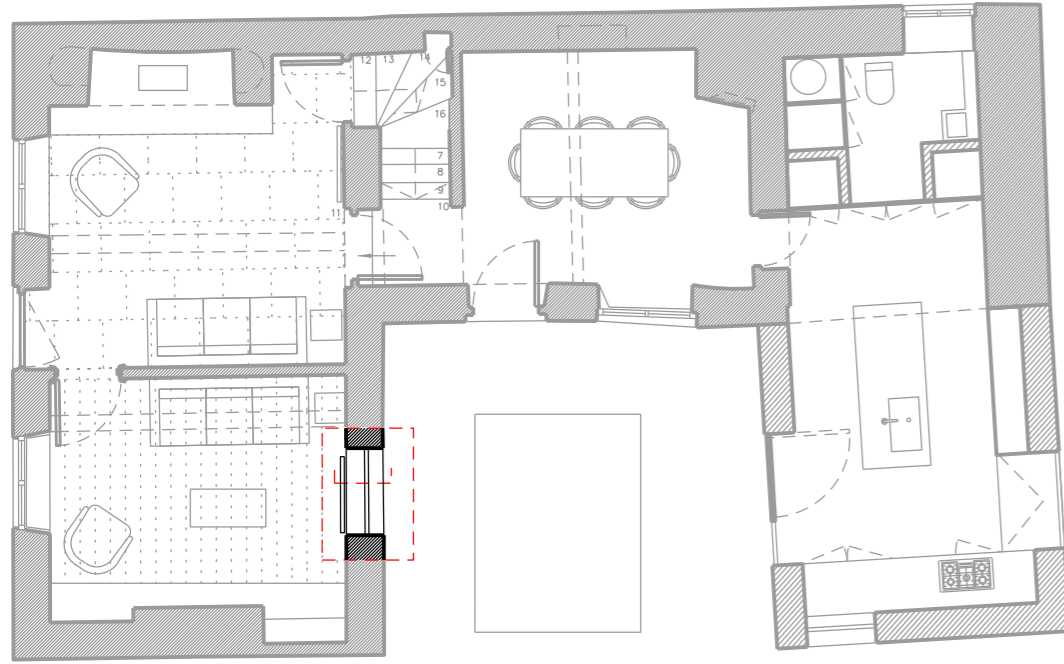
CONDITION no,7
 NEW DOOR AND WINDOW TO EXTENSION

Drawing No.

059_471_2



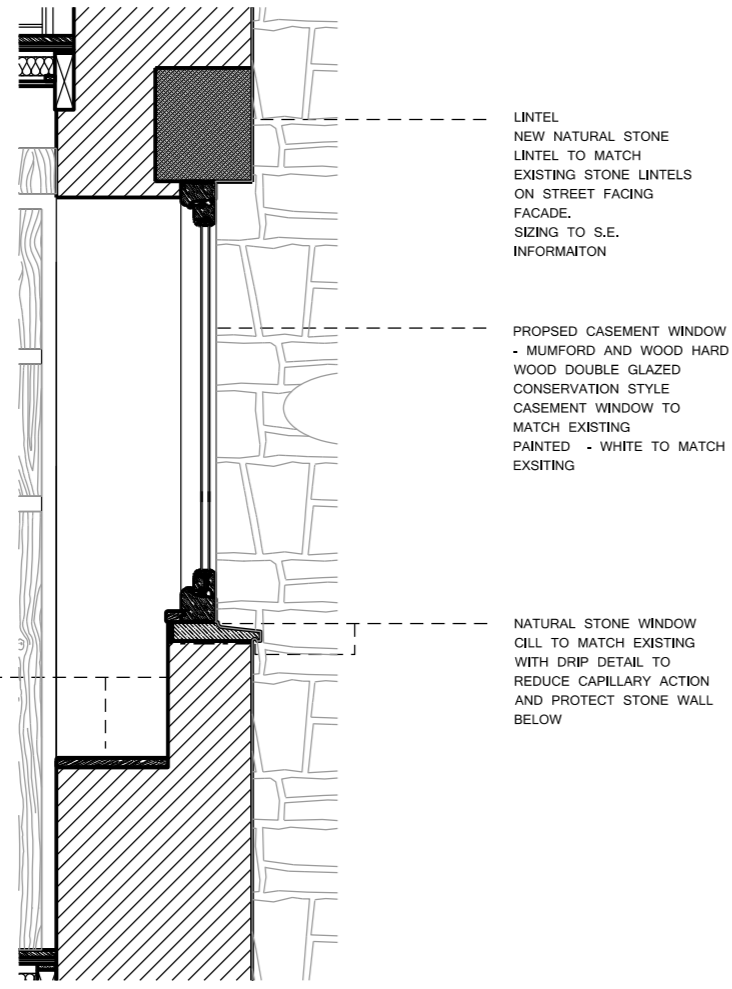
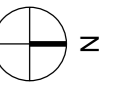
KEY PLAN
NOT TO SCALE



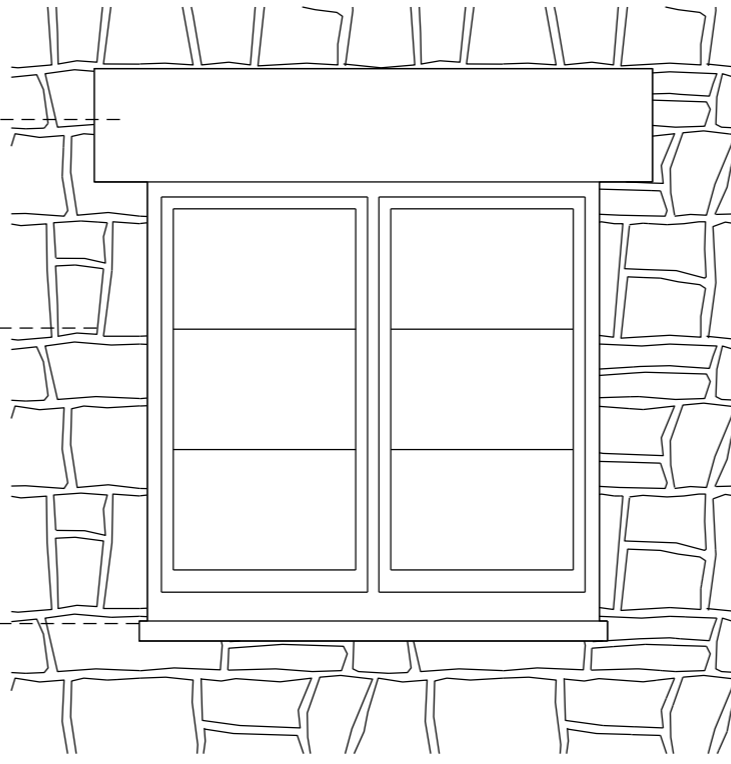
General Notes:
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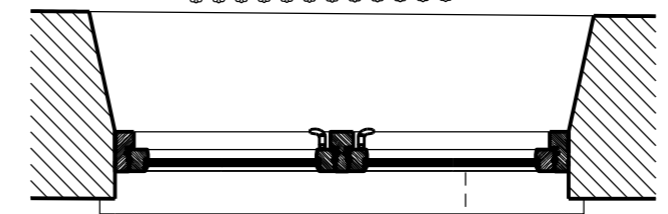
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SECTION AA THROUGH WINDOW SEAT



ELEVATION



PLAN

LINTEL
NEW NATURAL STONE
LINTEL TO MATCH
EXISTING STONE LINTELS
ON STREET FACING
FACADE.
SIZING TO S.E.
INFORMAITON

PROPOSED CASEMENT WINDOW
- MUMFORD AND WOOD HARD
WOOD DOUBLE GLAZED
CONSERVATION STYLE
CASEMENT WINDOW TO
MATCH EXISTING
PAINTED - WHITE TO MATCH
EXSITING

NATURAL STONE WINDOW
CILL TO MATCH EXISTING
WITH DRIP DETAIL TO
REDUCE CAPILLARY ACTION
AND PROTECT STONE WALL
BELOW

PROPOSED HARD TIMBER
WINDOW SEAT TO MATCH
EXISTING DIMENSION AND
FORM.
SOLID TIMBER LINING TO
WINDOW SEAT

PROPOSED CASEMENT WINDOW
- MUMFORD AND WOOD HARD
WOOD DOUBLE GLAZED
CONSERVATION STYLE
CASEMENT WINDOW TO
MATCH EXISTING
PAINTED - WHITE TO MATCH
EXSITING

Status

PLANNING

Issue	Revision	Comments	Date
PC			17.12.15

Project

CHANCEL COTTAGE

Scale

1:20 @ A3

Drawn By

JH

Date

17.30.11

Drawing Title

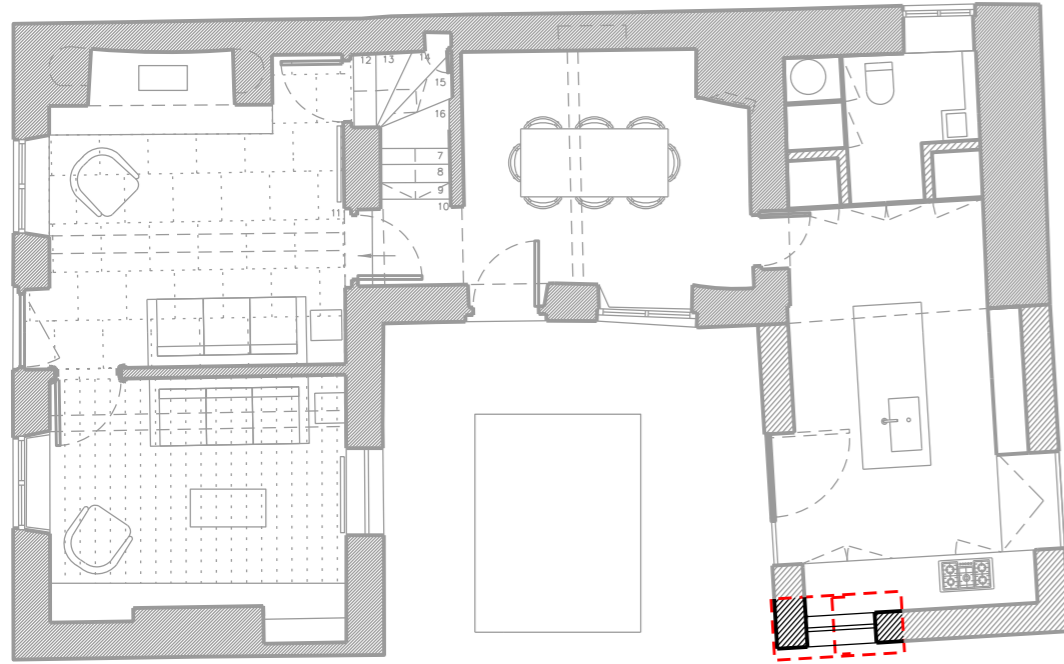
CONDITION no,7
NEW DOOR AND WINDOW TO EXTENSION

Drawing No.

059_472



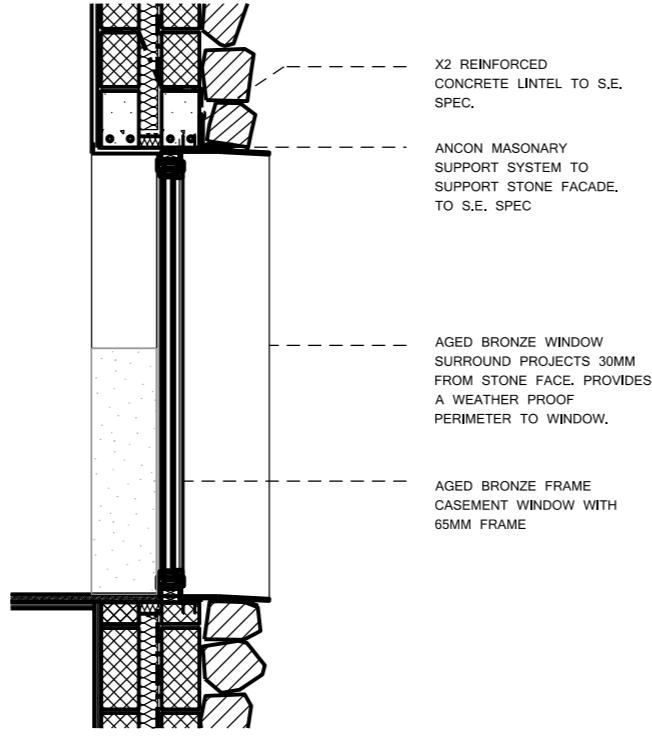
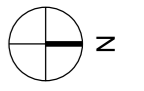
KEY PLAN
NOT TO SCALE



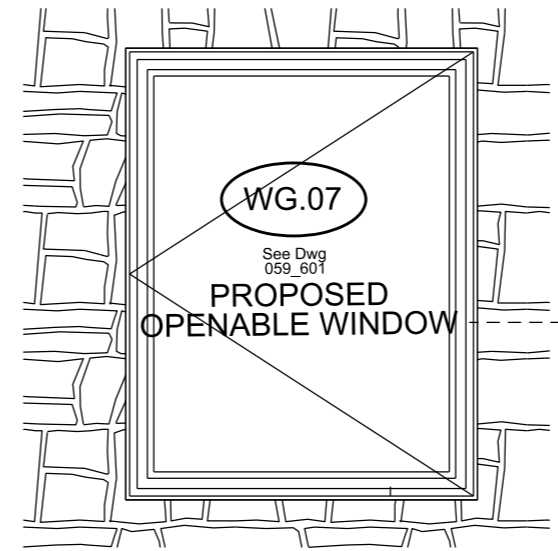
General Notes:
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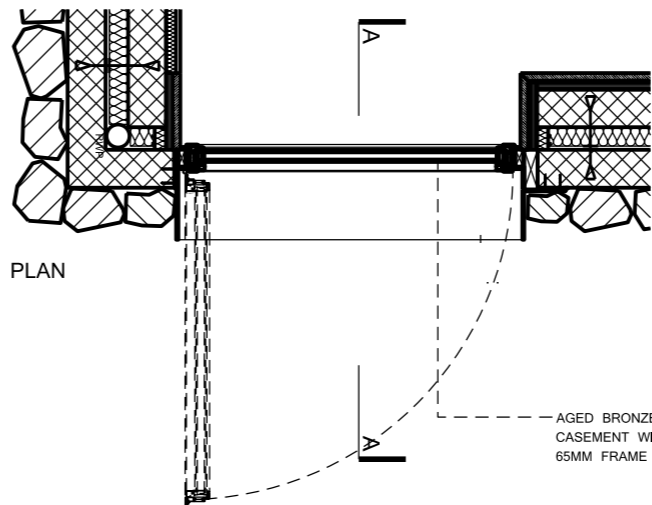


SECTION AA



ELEVATION

AGED BRONZE WINDOW SURROUND PROJECTS 30MM FROM STONE FACE. PROVIDES A WEATHER PROOF PERIMETER TO WINDOW.



PLAN



Status

PLANNING

Issue	Revision	Comments	Date
PC			17.12.08

Project

CHANCEL COTTAGE

Scale

1:20 @ A3

Drawn By

JH

Date

17.30.11

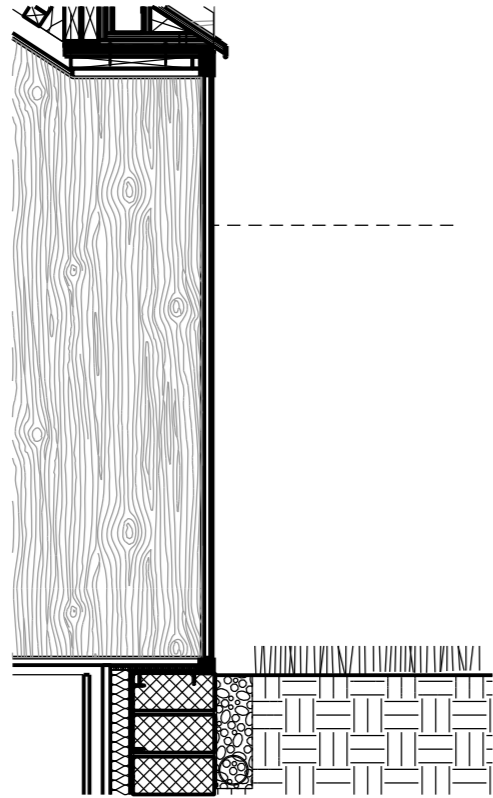
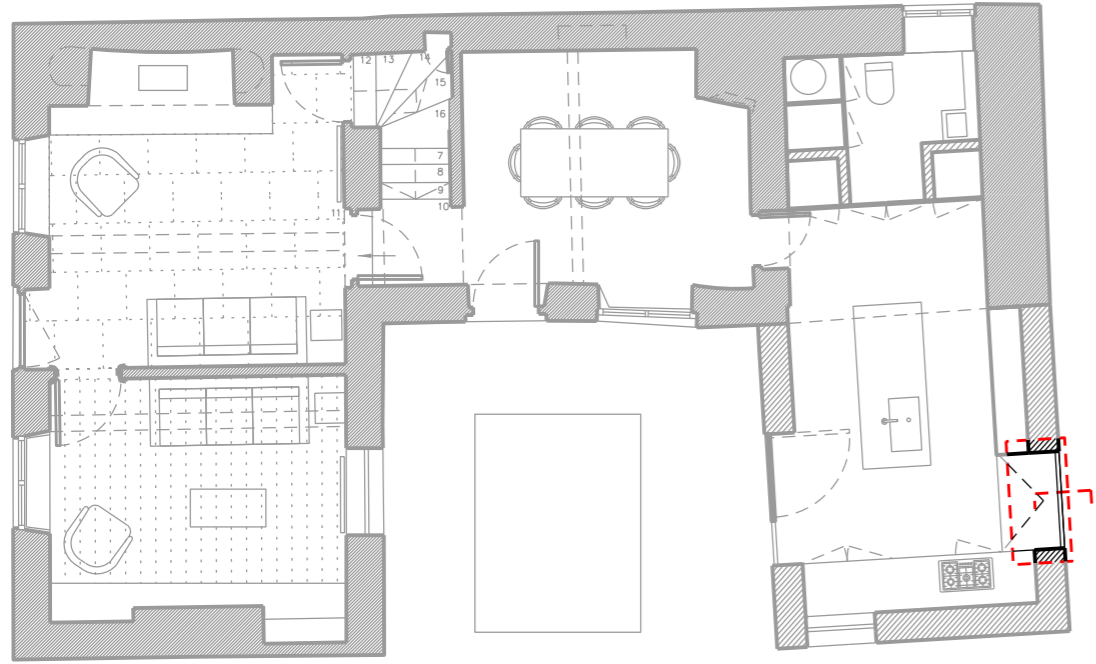
Drawing Title

CONDITION no,7
NEW DOOR AND WINDOW TO EXTENSION

Drawing No.

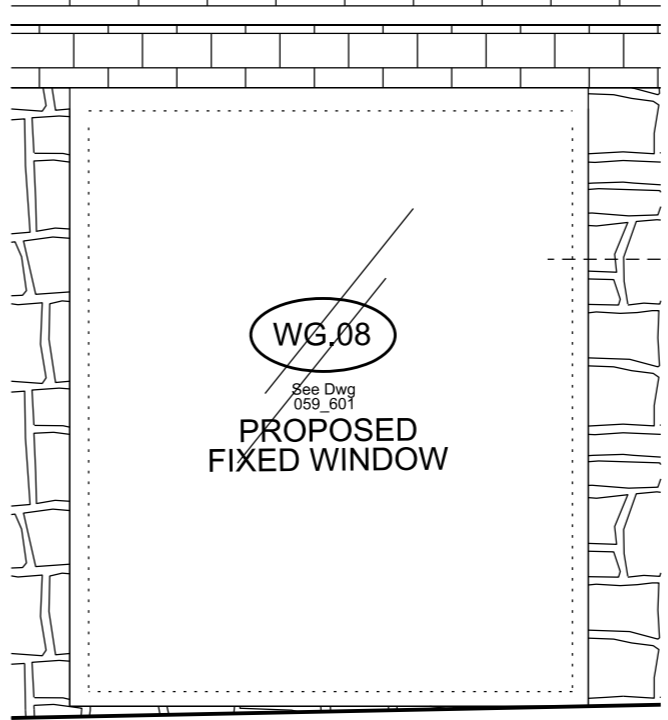
059_473

KEY PLAN
NOT TO SCALE



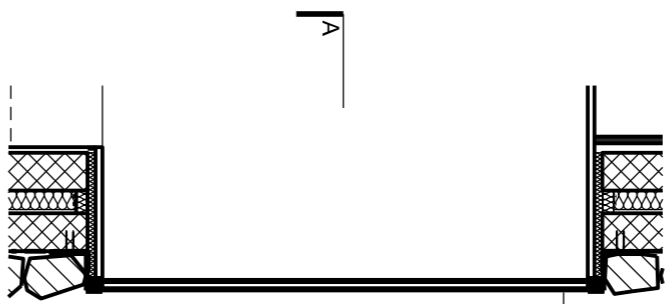
BESPOKE FIXED WINDOW
1645X1280mm
WITH CONSEALED STAINLESS
STEEL ANGLE TO FORM FIXED
FRAME.

SECTION AA



ELEVATION

BESPOKE FIXED WINDOW
1645X1280mm
WITH CONSEALED STAINLESS
STEEL ANGLE TO FORM FIXED
FRAME.



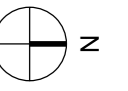
PLAN

BESPOKE FIXED WINDOW
1645X1280mm
WITH CONSEALED STAINLESS
STEEL ANGLE TO FORM FIXED
FRAME.

General Notes:
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Status

PLANNING

Issue	Revision	Comments	Date
PC			17.12.08

Project

CHANCEL COTTAGE

Scale	Drawn By	Date
1:20 @ A3	JH	17.30.11

Drawing Title

**CONDITION no,7
NEW DOOR AND WINDOW TO EXTENSION**

Drawing No.

059_474



Condition 9 : 17/00006/LBC
Condition 7 : 17/00005/F
[FORMAL APPLICATION FOR DISCHARGE]

The roof of the development hereby approved shall be covered with natural stone slates which shall be laid in courses diminishing in width from the eaves to the ridge of the roof in accordance with the traditional practice in the locality.

Reason: To ensure that the completed development is in keeping with and conserves the special character of the existing historic building and to comply with Policy ESD15 of the Cherwell Local Plan Part 1 2011-2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

Where re-roofing works are required, the existing stone slates will be removed and retained for re-use wherever their condition permits. If there is a shortfall in useable slates, we will use locally sourced stone slates to match the existing as closely as possible. If the existing roofing battens and underlay are deemed unfit for purpose (or rotten), these will be replaced as part of the re-roofing work.

Existing Natural Stone slates in diminishing courses to be retained



Proposed extension- Natural Stone slates in diminishing courses to be laid to match existing

Condition 10 : 17/00006/LBC

[FORMAL APPLICATION FOR DISCHARGE- AWAITING STRUCTURAL ENGINEERS INFORMATION]

Details of steps and works specified in conditions shall, where necessary, include in relation to any part of the building to be retained measures to strengthen all walls and vertical surfaces, to support all floors, roofs and horizontal surfaces and to provide protection for the building against the weather during the progress of the works.

Reason: To minimise the risk of damage to the existing building in accordance with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

In regards to all remedial structural alterations including wall strengthening, floor supports, roofs, horizontal surfaces and weather protection (as relating specifically to LBC conditions 4 and 8 and Planning Permission condition 5) will be submitted at a later date by the Structural Engineer, this will however be before commencement on site.

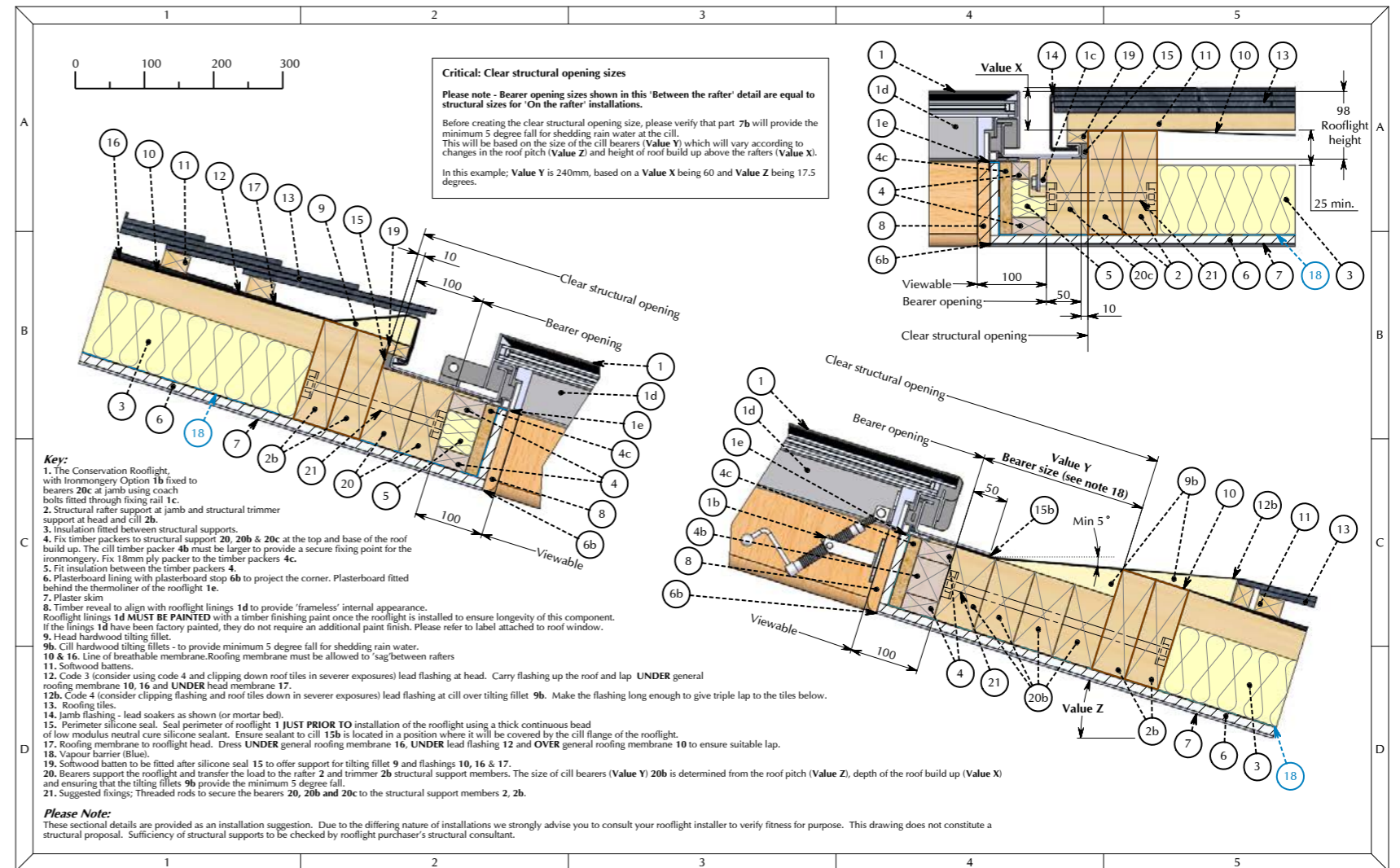
Condition 11 : 17/00006/LBC
 [FORMAL APPLICATION FOR DISCHARGE]

Notwithstanding the details submitted with the application, the rooflights used in the development shall be of a 'conservation' type, shall be slim framed and shall be set flush with the plane of the roof. Prior to the commencement of development details of the design and finish shall be submitted to and approved in writing by the local planning authority. Thereafter, the development shall be carried out in accordance with the details approved and maintained as such thereafter.

Reason: To safeguard the special architectural or historic interest, character, appearance and integrity of the listed building and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

We are proposing to incorporate a Conservation rooflights in the areas where we have gained approval for rooflights. The Conservation rooflight will sit in between the existing rafters to enable the external glass face to be in line with the plane of the existing roof tiles. The frame will be black in colour to enable it to blend into the existing roof tiles. The detail drawing in the bottom right hand corner demonstrates how the frame is inserted into the roof structure to enable it to create a flush plane with the existing roof tiles. All the proposed rooflights at Chancel Cottage will all be installed as per the manufactures instructions.

An enlarged version of the Conservation Rooflight detail and further information can be found in APPENDIX E.



Conservation Rooflight detail

Condition 12 : 17/00006/LBC
[FORMAL APPLICATION FOR DISCHARGE]

Prior to the removal of any material from the site a detailed written and photographic record of the building and its curtilage shall be taken. Both this and all other works hereby approved shall be supervised by a person approved by the Local Planning Authority. Written notice of the completion of the works hereby permitted shall be sent to the Local Planning Authority upon their completion and within 6 months of this completion of the works two copies of a written and photographic record of the works shall be submitted to the Local Planning Authority for inclusion in the Historic Environmental Records.

Reason: In order to ensure that the works to this historic building and its surroundings are adequately recorded with regard to Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C18 of the Cherwell Local Plan 1996 and Government guidance contained within the National Planning Policy Framework.

We believe the attached appendices provide the required level of background detail, current condition and photographic record to satisfy Condition 12.

Please see the Attached Appendices:

- APPENDIX A - Heritage Assessment of Chancel Cottage - Draws on the social history of development in Steeple Aston, the significance of Chancel Cottage and buildings in the surrounding area, and the features of the building that have heritage significance.

- APPENDIX B - Structural Condition Report - A detailed description of the building, its construction and listing, which includes a detailed written and photographic record of each room as well as the external elevation and the buildings curtilage. It records the condition of the features of these and suggests areas for further investigation or where remedial action may be required.

- APPENDIX C - Photographs of the building - Taken from the site itself and from various viewpoints in the surrounding landscape.

- APPENDIX D - SAVA notes on Chancel Cottage - Written and photographic record of the building undertaken by members of the Steeple Aston local history society

Condition 6 : 17/00005/F
[FORMAL APPLICATION FOR DISCHARGE]

Prior to the commencement of the development hereby approved, a schedule of all externally facing materials of the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved schedule and retained as such thereafter.

Reason - To ensure the satisfactory appearance of the completed development and to comply with Policy ESD 15 of the Cherwell Local Plan 2011-2031 Part 1, saved Policy C28 of the Cherwell Local Plan 1996

Externally Facing Materials - Extension

Building Element	Material description
Facade	Reused Limestone and Iron Stone - The demolition of the existing garden store 'out-building' and the opening for the new extension will yield a quantity of stone blocks that will be re-used, so it is unlikely that any new stone will be required to complete the works. As stated in condition 6 LBC & condition 3 F a 1m2 sample will be constructed on site for inspection.
Roof	Natural Stone Roof tiles - Locally sourced stone slates will be used to match the existing as closely as possible.
Windows	Two Fixed Frameless Windows - Concealed frame constructed from stainless steel angles powdercoated black. The double glazed glass panel is inserted into the stainless steel frame. See condition 7 for full details. Aged Bronze Casement Window - The thin profiled window frame and surround will be construed from aged bronze that will progressively patina over time to allow the window to sit harmoniously within its context. See condition 7 for full details
Doors	Black Timber Panelled Door - The proposed rear door will be constructed with a black timber panelled face - please see LBC Condition 7 for full details. Many properties in the local area have black timber barn style front doors. The black timber door is a feature of the local barn/ outbuilding vernacular. The existing rear garden building at Chancel Cottage currently features an element of black timber cladding. See condition 7 for full details.
Rooflights	Conservation Rooflights - The proposed rooflight to the extension will be a Conservation rooflight in line with the plane of the stone roof slates. Please see Condition 11 for full details.

Externally Facing Material - Existing

The proposed treatment and renovation of the existing externally facing materials to the existing building has been fully covered in pervious conditions.

Condition 3 LBC- Covers existing window and door treatments

Condition 5 LBC- Covers Existing wall treatments

Condition 9 LBC and 7 F- Covers roof treatments

Condition 11 LBC- Covers Rooflights

Condition 8 : 17/00005/F

[REQUIRES EXPLICIT APPROVAL- DETAILS NOT SUBMITTED AT PRESENT]

Prior to the commencement of the development hereby approved, full details of the means of access between the land and the highway, including, position, layout, construction, drainage and vision splays shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the means of access shall be constructed and retained in accordance with the approved details.

Reason: In the interests of highway safety and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

Condition 9 : 17/00005/F

[REQUIRES EXPLICIT APPROVAL- DETAILS NOT SUBMITTED AT PRESENT]

Prior to the commencement of the development, full specification details (including construction, layout, surfacing and drainage) of the turning area and 2no. parking spaces within the curtilage of the site, arranged so that motor vehicles may park off the highway, shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of development. Thereafter, and prior to the first occupation of the development, the turning area and car parking spaces shall be constructed in accordance with the approved details and shall be retained for the parking and manoeuvring of vehicles at all times thereafter.

Reason: In the interests of highway safety, to ensure the provision of off-street car parking and to comply with Policy ESD15 of the Cherwell Local Plan 2011-2031 Part 1 and Government guidance contained within the National Planning Policy Framework.

Summary

Where currently possible we believe the information within and attached to this document full fills the criteria outlined in its corresponding condition. In the instances in this document where we are still awaiting information from the structural engineer, we will submit this information a long side the appropriate condition *once it has been issued to us. If there are any instances where we believe we have adhered to a condition and you however require more information for this condition to be discharged please get in contact and we will endeavour to supply the required information.*

In summary, we believe we have supplied sufficient information to enable the Council to discharge the following conditions requiring approval (This document should be considered a formal application for the discharge of such):

Condition 5 LBC
 Condition 4 F & 7LBC
 Condition 5 F & 8 LBC - Subject to Structural Engineer input
 Condition 6 F
 Condition 11 LBC

We have provided information as to how we intend to fulfill the following conditions which do not require explicit approval. We would request the Council advise if it disagrees with the intended approach. The condition we have provided information on that do not require explicit approval are:

Condition 1 F & 1 LBC
 Condition 2 F & 2 LBC
 Condition 3 LBC
 Condition 7 F & 9 LBC
 Condition 12 LBC

Conditions that require explicit approval that are still outstanding are:

Condition 4 LBC- To follow with input from Structural engineer
 Condition 3 F & 6 LBC- To be discharged once contractor is on site.
 Condition 5F & 8 LBC- To follow with input from Structural engineer
 Condition 10 LBC- To follow with input from Structural engineer
 Condition 8 F- Details not submitted
 Condition 9 F- Details not submitted

Please find below a table summarising the above information.

Condition Description	Planning Permission Condition Ref: 17/00005/F	Planning Permission Condition Ref: 17/00006/LBC	Requires Explicit Council Approval	Formal Application for Discharge included Herein	Comments
Development commencement date	Condition 1	Condition 1	No		
Development in accordance with plans and documents	Condition 2	Condition 2	No		
Works to match original adjacent works	n/a	Condition 3	No		
Details of internal alterations and methods	n/a	Condition 4	Yes		To follow with input from Structural engineer
Details of external construction works	n/a	Condition 5	Yes	Yes	
Stone sample panel	Condition 3	Condition 6	Yes		To be discharged once contractor is on site
Doors, windows and glazing details 1:20	Condition 4	Condition 7	Yes	Yes	
Details of how extension will attach existing	Condition 5	Condition 8	Yes	Yes	To follow with input from structural engineer
Schedule of externally facing materials	Condition 6	n/a	Yes	Yes	
Roof of development to be covered in natural stone slates	Condition 7	Condition 9	No		
Measures to strengthen (structural details)	n/a	Condition 10	Yes		To follow with input from structural engineer
Details of design and finish of rooflights	n/a	Condition 11	Yes	Yes	
Details written and photographic record	n/a	Condition 12	No		
Means of access between land and highway	Condition 8	n/a	Yes	Yes	
Specification of the turning area and 2.no parking spaces.	Condition 9	n/a	Yes	Yes	