

Site Layout

The layout of parking, pedestrian routes, access points and amenity spaces is to be determined by this application.

Various options for the public square have been explored and assessed for:

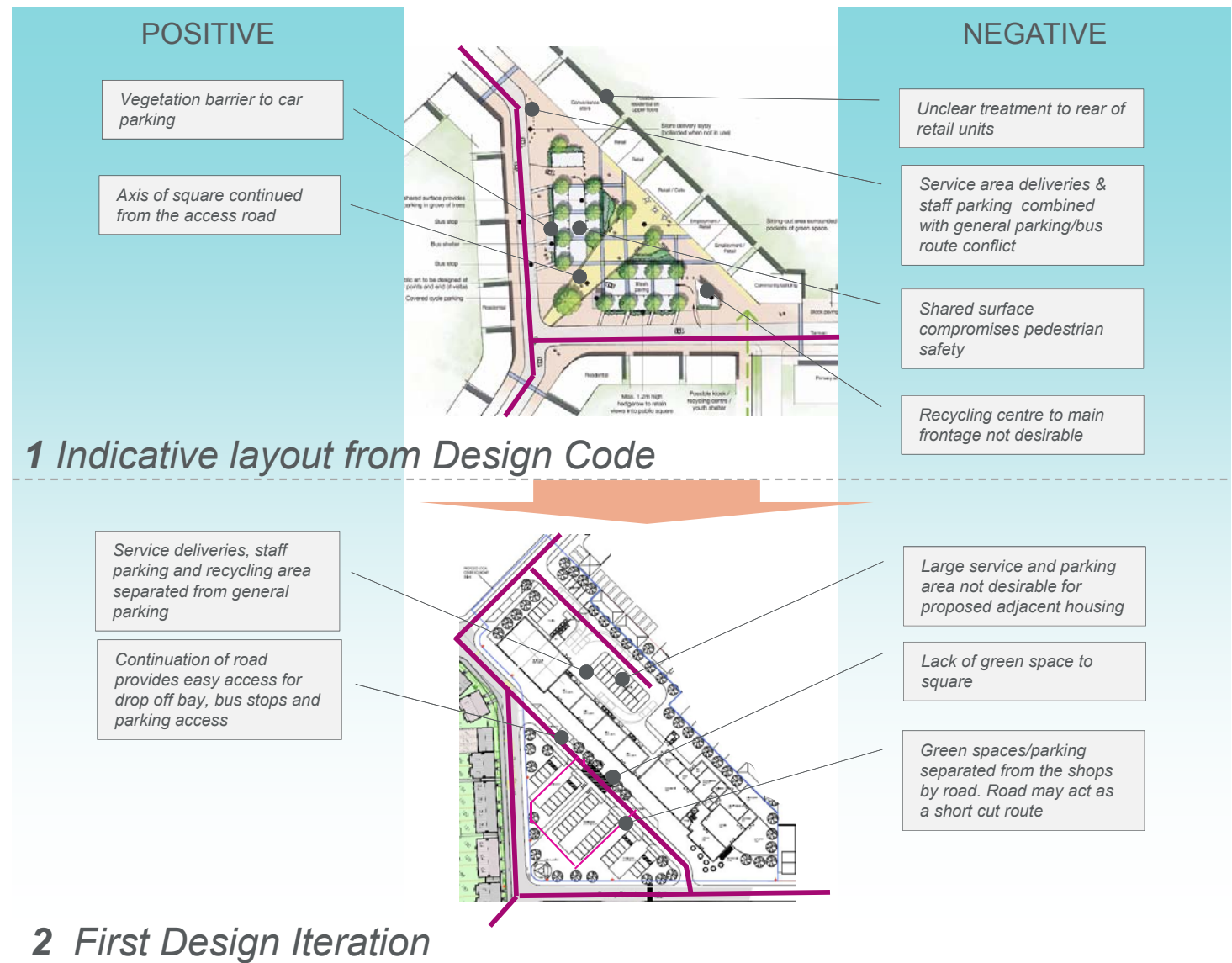
- Quality of spaces created
- Ease of access and safety for pedestrians
- Ease of access for vehicles
- Adequate parking spaces
- Nature of amenity space created

SETOUT

The strategic location of the buildings relative to the public square has been determined in the outline application and Design Code. The nature of the buildings, their design and form is to be determined by this application

ROAD LAYOUT

The primary street/spine road has received reserved matters approval and is constructed. The spine road follows the alignment identified in the Outline Planning permission for the site and the mandatory alignment defined in the Kingsmere Design Code. Combined with the land use plans, the roads have therefore determined the shape of the open space and the location of the public realm.



Site Layout

PARKING

The parking to the Local Centre needs to cater for people using the shops, the nursery and the community centre as well as child drop off parking for parents using the primary school opposite. There is also a need to provide for staff parking, deliveries and adequate cycle parking for the Local Centre's various facilities. (See also Vehicle & Cycle Parking sections for an assessment of the numbers.)

As a result of discussions with stakeholder groups and also taking pedestrian safety into consideration, it was felt appropriate to provide a separate area distinct from the public parking to cater for deliveries. Security railings have been added to this area also provide the enhanced security requested by the end user groups.

The safety of users of the parking and adjacent public areas was also a priority and the designs were assessed for the ability of users to be able to negotiate the area safely. The layout of the public parking and surrounding hard and soft landscaping reflects this need.

DRAINAGE

In line with the Drainage Strategy, the Local Centre Car Park is to be drained by traditional methods. Attenuation of storm water is provided in the Car Park pipe network to reduce the flow rate to the required 8 l/s, which is the for the 1 in 10 year event. The outfall from the Car Park is to the existing SW network located throughout the Spine Road, which discharges to the attenuation ponds. The public realm/pedestrian surfacing areas will contain permeable paving.

POSITIVE

Service area elongated to serve all units in Local Centre

Through road removed creating better pedestrian links with square

Axial arrangement emphasised



NEGATIVE

Turning head required within parking & Parking areas broken by pedestrian access

Additional junctions on to primary access road

No access to square from community hall

3 Pre-application submission

Access to service area restricted to increase security to rear of buildings

Public square segregated from parking and more closely linked with facilities

Traffic within the car parking areas flows in one direction only

Access onto public square from community hall



4 Proposed solution

Massing & Arrangement

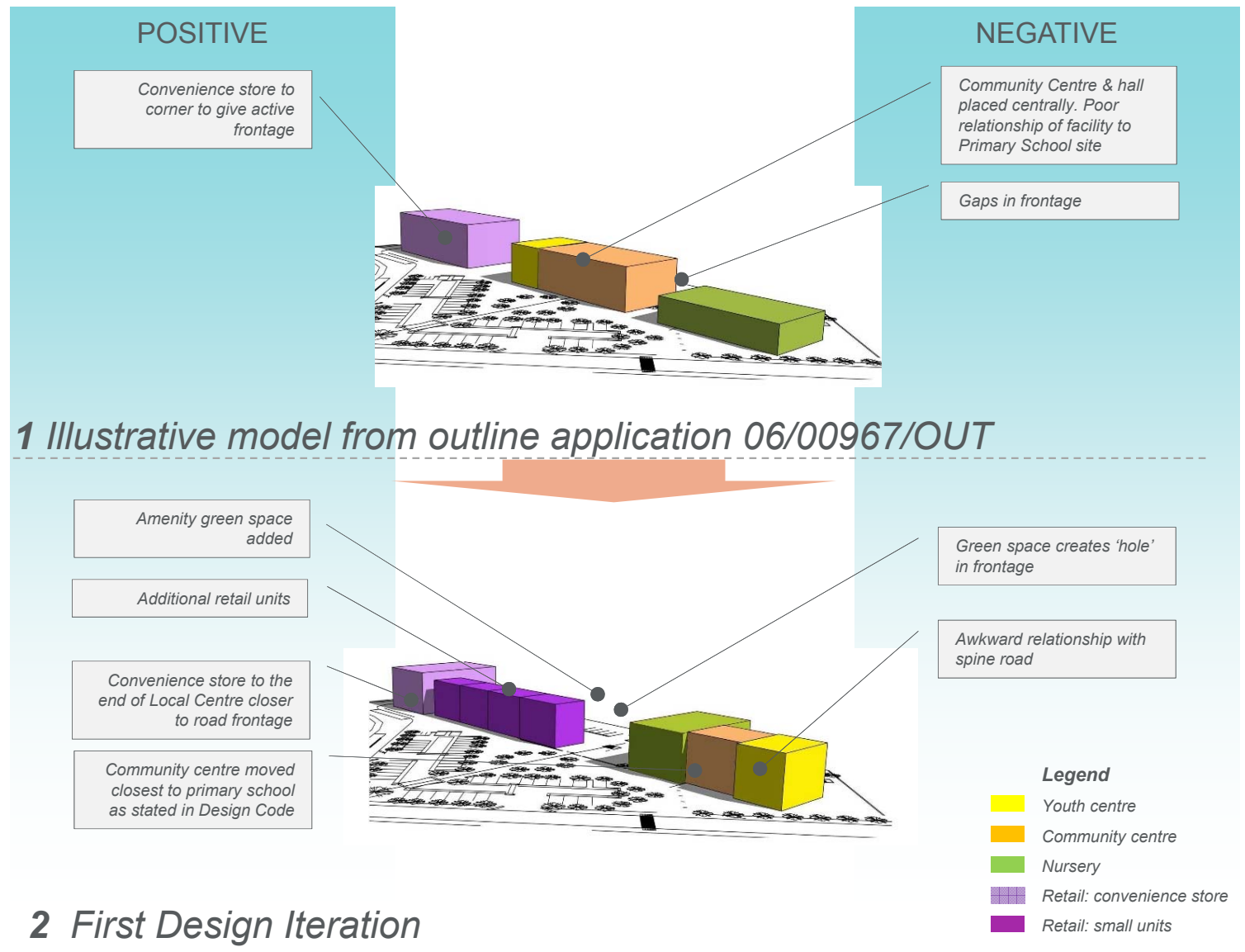
LAND USE

The development consists of:

- 4 no. small retail units of around 100m² – smaller stores to meet demand (hairdressers, laundry, restaurant, etc.)
- 1 no. medium retail store 400m²
- 1 no. nursery - Pre-school facilities for 2 to 5 year olds
- 1 no. community centre – multi use hall, meeting rooms and supporting facilities including youth centre (separate building) which houses a number of multi-use spaces and external play areas

The facilities/arrangements for the Community Centre differs slightly from that assumed in the outline application but has been adjusted to meet CDC officers specific requirements, which include those of the Kingsmere Residents Association (KRA) who are identified as the group that will manage the facility.

Other uses previously identified as possibly being accommodated within the Local Centre, pursuant to the Outline Planning Application, are not proposed e.g. public house, offices. The reasons for this is described in more detail in the planning statement.



2 First Design Iteration

Massing & Arrangement

MASSING

Varying massing arrangements have been investigated with the preferred design approach being to ground the string of disparate buildings with the two larger facilities, the medium retail store and the community centre, to either end. This allows the community building to have more of a prominent location, facing three ways and allowing it to fulfil the need for it to be something of a landmark within the area. It has a better relationship to the Primary School site.

The other big people draw, the medium sized store, has been placed on the other corner to maximize its frontage

POSITIVE

Nursery added to schedule of accommodation

Frontage made more continuous

Community centre moved to end and orientated to the road.

NEGATIVE

*End of row location for Nursery felt to be too exposed by user group
Poor design solution as low height building at the end of the row*

Convenience store used as central feature but most distant from parking & pavement footfall



3 Pre-application submission

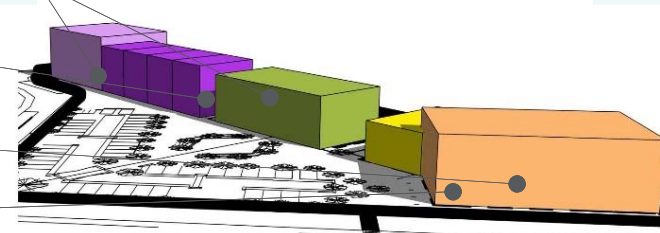
Convenience store placed at end of row to satisfy potential operator requirement and "bookend" the Local centre

Nursery placed as central feature with single public frontage

Frontage made as continuous as functionally possible

Larger buildings moved to ends of frontage.

Community & youth buildings separated for functional reasons



4 Proposed solution

Scale

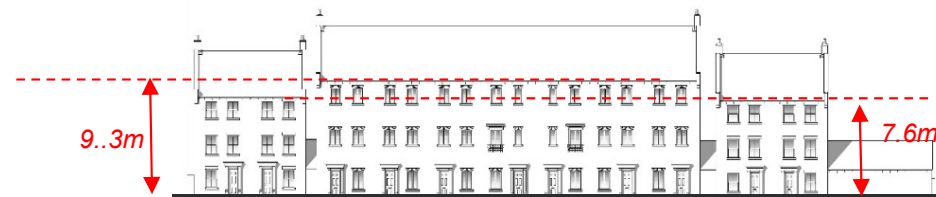
SCALE

There is a need to make the Local Centre of a suitable scale relative to its neighbours in order to signify its importance.

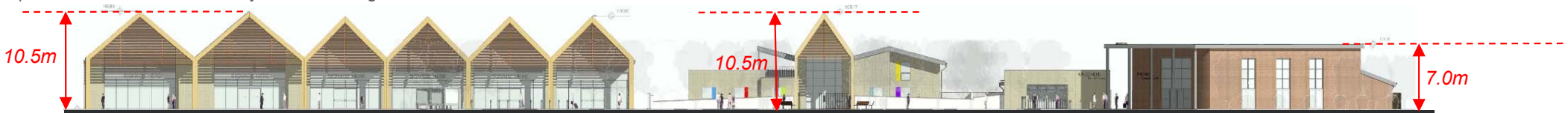
The majority of the residential buildings fronting the spine road and the public square of the Local Centre are either 2.5 or three storey in height. Their eaves height varies between 7.6m to 9.3m .

While the prominent gables to the proposed buildings exceed 10.5m and the overall bulk exceeds the smaller domestic units the features of the buildings types are similar thus creating links but of differing scale.

The larger sizes of the elements of the local centre buildings (the windows, doors, roofs etc) set the buildings apart from the surrounding domestic buildings. The single clear spans required for the retail units and large glass frontages create a scale that distinguishes the shops from the other surrounding buildings. Similarly, the exaggerated apex to the nursery, double height glazing and its detached placement make this building more prominent. The colonnade to the community centre, it's oversailing roof and double height windows create a scale that relates to the adjacent Local Centre buildings while the different roof form sets the building apart and relates it to the nearby school building



Elevation onto square of residential properties to west of site



Elevation of Local Centre buildings onto square



Elevation onto square of Primary School and residential properties to south of site

Proposed Design – Community Centre 06

Community / Youth Centre

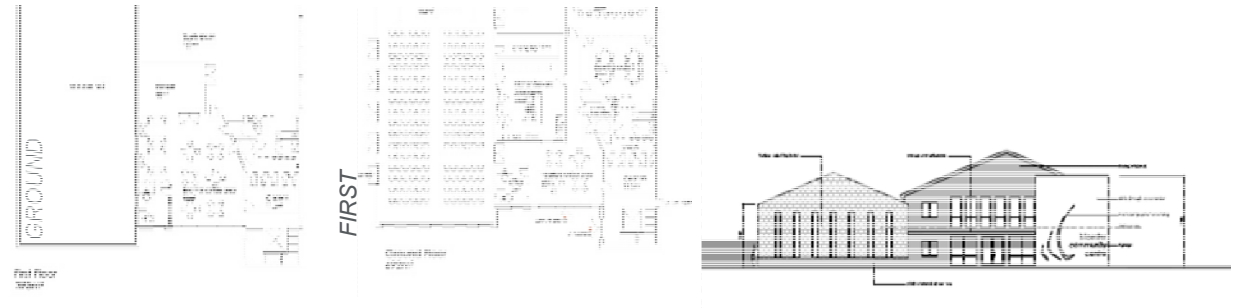
CONSULTATION

The Community Centre
Several meetings have been held with CDC & Kingsmere Residents Association to refine the brief and receive feedback concerning the developing proposals for the Community Centre and Youth Centre. These have led to a number of changes to the appearance and internal organisation of the building resulting in functional split of the youth and community activities into separate buildings to allow them operate flexibly and independently as requested by CDC and KRA.

PRE-APPLICATION ADVICE

Comments from pre-application consultation include:

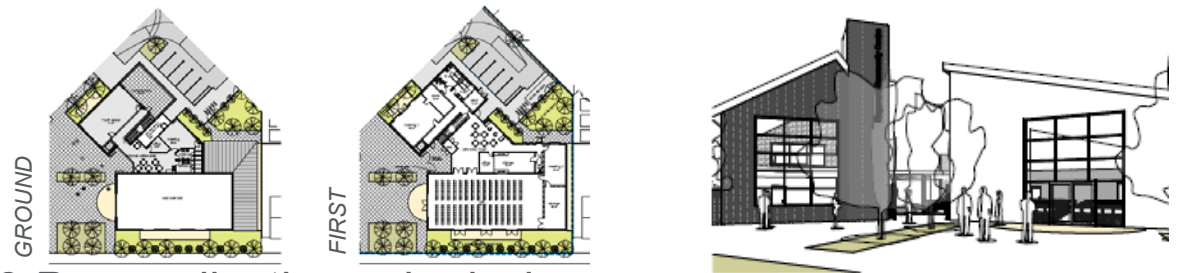
Comment	Response
<i>The community building has the youth area at first floor level with open outdoor roof space at first floor level. This will potentially result in unacceptable overlooking of future residential dwellings and may also result in unacceptable noise and disturbance to those future occupiers.</i>	The Youth Centre external space is now at ground floor level and will be screened from adjacent residential areas by a 3m high acoustic fence
<i>The Community Centre building indicated in such close proximity to the adjacent dwelling is likely to result in overshadowing and over-dominance of the rear of that property and its private amenity area</i>	The building has been moved further from the Eastern Boundary and is largely single storey to reduce any potential over shadowing
<i>The Design Code also requires the Community Centre to be designed as a Landmark Building, I am not convinced that your proposal adequately achieves this requirement</i>	The entrance design has been enhanced as a design feature linking the two buildings and providing a strong visual element.



1 First design iteration



2 Revision to user group comments



3 Pre-application submission

Proposed Design – Community Centre 06

Community / Youth Centre

DESIGN RESPONSE

An over sailing roof supported from a colonnade provides a welcoming entrance that also serves to link the two buildings and create a distinctive feature.

The gap between the buildings provides a sheltered approach and acoustic buffer zone for the entrances to the two facilities. As well as enhancing security when both buildings are closed, it also provides a potential display area for either building and provides daylight to the heart of each building while preventing overheating.

In the community centre a ground floor café opens from the foyer and connects through to an outside seating area



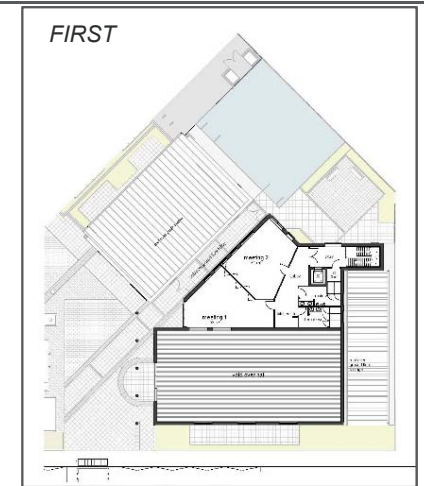
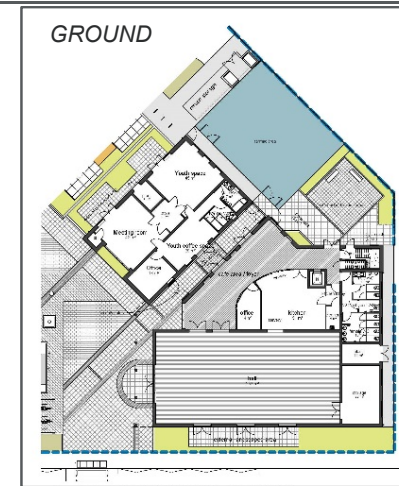
The multi-purpose hall is a simple rectangular volume for maximum flexibility. It is further enhanced by the opportunity to open to a private external space to the south or the public square to the west



View of entrance passage



Section showing relationship of building with eastern boundary



View of enhanced entrance approach



Section through entrance passage

Proposed Design – Nursery 06

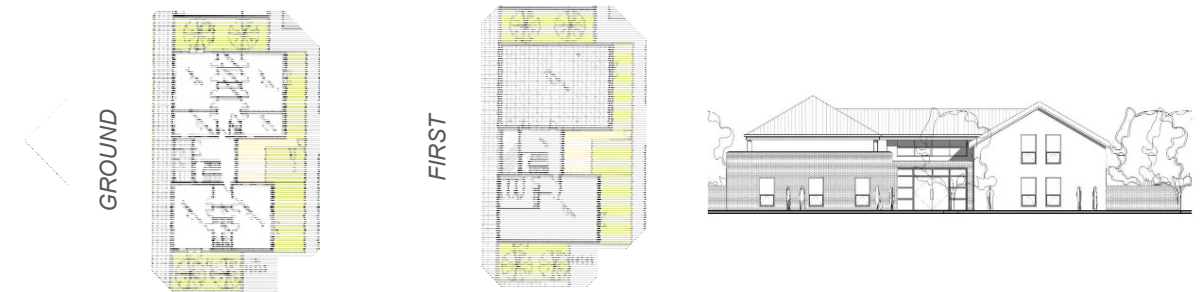
Nursery

CONSULTATION

The design for the nursery is based upon the typical space standards and room relationships required by the possible nursery operator.

PRE-APPLICATION ADVICE

Comments from pre-application consultation include:

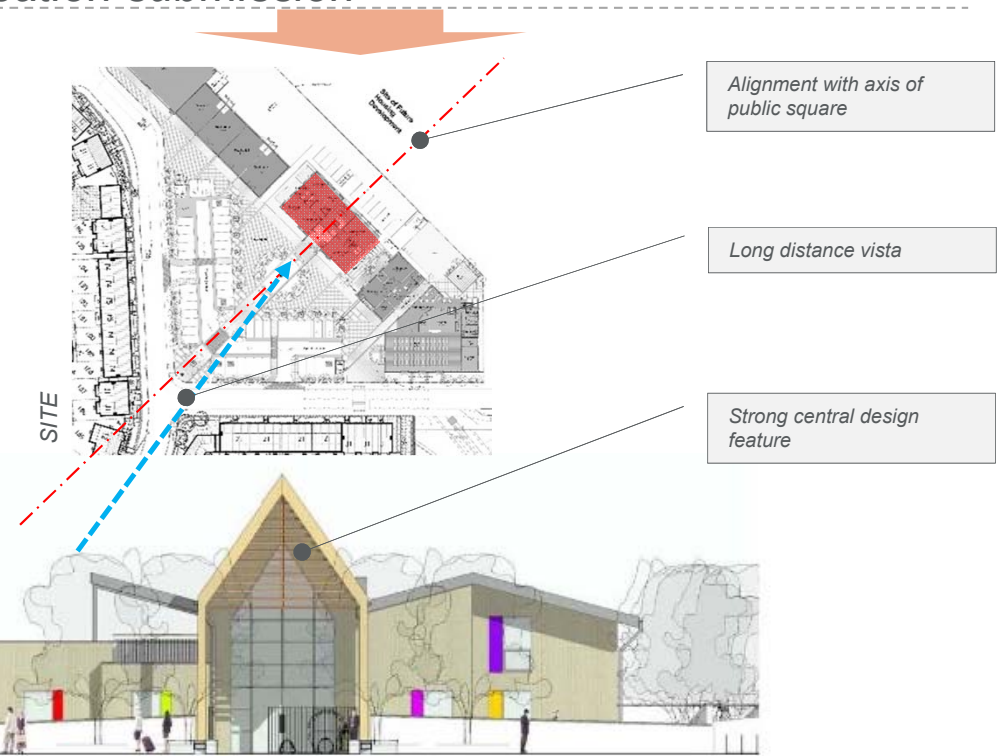


3 Pre-application submission

Comment	Response
<i>The areas indicated at the rear of the nursery are small and north facing and back onto the service yards.</i>	The play spaces have been moved to the side and south side of the buildings. They meet the area requirements for a building of this nature.
<i>the nursery building in the centre lacks presence and is rather weak in design terms. The nursery roof terrace with large hipped roof is unfortunate and out of character with the remainder of the development.</i>	The design has been enhanced and reorganised around a strong central sharp-apexed roof and double height space. Bright colours and soft landscaped areas help identify different function of the building
<i>In terms of the building frontage to the public square, as stated above, the design of the nursery building is rather weak in terms of its presence, and the gaps created between the buildings require further consideration in terms of their function and how they relate to the buildings they are to serve.</i>	Gaps between buildings have been reduced but they remain as they are a functional necessity of the nursery. The nursery building has been aligned with the central axis of the public square thereby reinforcing the design features of both and serving to terminating the longer vista presented by the spine road.

Nursery Room Schedule - first...	
Name	Area
lift	2 m ²
lobby	27 m ²
lobby	7 m ²
Outdoor Play Space	184 m ²
Pre-school Room	85 m ²
Room	12 m ²
WC	2 m ²
WC	2 m ²
WC	2 m ²
WC's	13 m ²

Nursery Room Schedule ...	
Name	Area
Acc. WC	3 m ²
Baby room 1	44 m ²
Baby room 2	44 m ²
cins	3 m ²
entrance lobby	27 m ²
Kitchen	12 m ²
Kitchen	5 m ²
lobby	13 m ²
lobby	8 m ²
Milk kitchen	8 m ²
Nappy change	8 m ²
Reception/office	20 m ²
Sleep room	6 m ²
Staffroom	17 m ²
Store	4 m ²
Toddler room 1	50 m ²
Toddler room 2	52 m ²
WC's	5 m ²



Alignment with axis of public square

Long distance vista

Strong central design feature

Proposed Design – Nursery 06

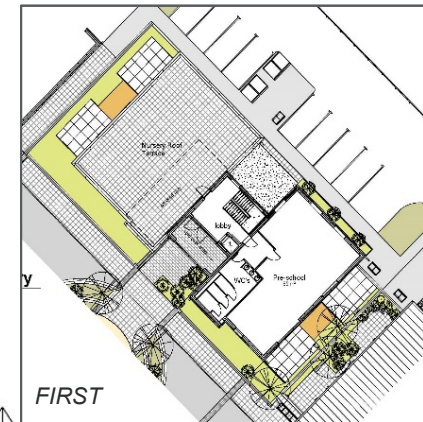
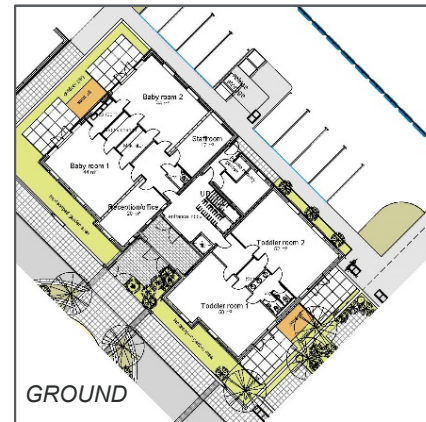
Nursery

DESIGN RESPONSE

A strong central feature roof aligns with the central axis of the square and encloses a the double height entrance space. The similar treatment to the styling of the entrance portal links the building to other frontages in the row whilst a steeper roof pitch sets this building apart. The use of bright coloured panels to the fenestration add visual interest while also serving to give clues as to the function of the building.

External play spaces for the children have been placed to either side of the building for the younger children, while the toddlers have a safe roof top play area. The frontage is landscaped and planted to create a barrier and to soften the building appearance.

Kitchen deliveries, refuse storage area and staff parking are placed to the rear whilst to the main square a generous entrance portico and lobby area allows space for buggies and waiting parents.



Proposed Design – Retail 06

Retail

CONSULTATION

The Design Code requires a convenience store at 200-400m² as well as between two and six shop units at up to 150m² each. The smaller retail units could include laundrettes, restaurants, hairdressers etc. that will provide support to the local community.

We have engaged with a convenience store operator and have obtained design and layout requirements from them. This has been an important part of the design process, as we need to propose a store arrangement that will attract and prove viable for an end user.

The units are single storey. Although the Design Code suggests the possibility of residential units or offices over the retail space, this is not proposed (see separate Planning Statement). Height has been obtained through greater floor to ceiling heights and roof structures (see page 21).

PRE-APPLICATION ADVICE

Comments from pre-application consultation include:

Comment	Response
<i>In terms of the larger retail unit, this must be designed to appropriately turn the corner so that it also has a presence to the adjacent side street, rather than what appears to be a large wide blank side elevation.</i>	The flank elevation now has a series of windows that provide an active frontage to the side road
<i>Retail uses often require outside storage areas, none are provided, storage within the rear area shown, which would be visible from the public domain will not be acceptable.</i>	Individual storage areas are now provided. A 1.8m high fence serves to obscure view into service area.
<i>I am not convinced that the beach hut type designs and width of the gable spans together with varying roof heights and pitches</i>	The gable ends of the roofs create a distinctive design feature that distinguish the different units while providing a feature that creates a scale that distinguishes and differentiates the Local Centre from the surrounding residential properties



1 First design iteration



2 Pre-application submission

Proposed Design - Retail 06

Retail

DESIGN RESPONSE

The retail units adopt the same expressed gable form roof as the nursery creating an easily identifiable built form fronting the public square. The variation in the pitched slope further serves to identify the larger convenience store from the smaller units.

An expressed timber frame with timber sunscreens create a form of arcade under the extended canopy in front of the store fronts. The side elevation to the corner anchor store addresses the view from the west. Timber shingles and brick soften and breakup the elevations into smaller, more human-scaled sections.

Large glazed windows provide the necessary display frontages for the retail activities while the clear span spaces defined by the roofs provide a flexible floor space for retail layouts



View of retail frontages from the west showing active frontage to the side street



View of arcade in front of shops



South elevation of retail area showing the variation in pitch and height

Proposed Design – Recycling centre 06

Recycling Point

CONSULTATION

The Design Code states that the 'site for public recycling should have minimal impact on townscape views and residents amenity'. For this reason the recycling point has been located to the rear of the row of facilities created by the Local Centre. It shares the access to the service and delivery area for the shops and other facilities.

The Design Code also states that it should comprise 'a group of six recycling bins'. Allowance has been made for six no 1200l Eurobins with access and parking for 6 vehicles including 2no. wheelchair spaces

The Recycling point has been made more discrete following comments made at pre-application stage. A wall and trellis separate the bin location from the road and pavement. This enclosure masks the majority of the area while allowing views in for surveillance.

A 3m high acoustic fence has been included between the service area the residential zone to the north. The fence extends the length of the staff parking/delivery area to provide similar attenuation to any noise disturbance.

The service and delivery zone has also been made secure at the request of user groups through the use of pedestrian and vehicle gates while the recycling point remains directly accessible from the side street.



View into recycling area and staff parking/delivery area

1 First design iteration



View into revised recycling area and staff parking/delivery area

2 Proposed solution



Legend

- Refuse point
- Recycling centre

Litter bins located within public square - see landscape layout

Location of refuse storage points

Comment

Response

In terms of the recycling point, consideration must also be given to its position and how its visual impact can be mitigated within the street scene.

The public recycling area is conveniently located close to the shops but visually obscured behind a brick wall / trellis screen

Proposed Design - Parking 06

Vehicle Parking

PARKING NUMBERS

The Design Code requires a minimum of 25 spaces for the Local Centre and shared use with the adjacent school.

The scheme allows for 45 spaces to the main car park to the public square and around 15+ to the staff car parking and delivery area. 6 spaces have also been provided to the public recycling point.

We have provided more spaces than the Design Code requires because:

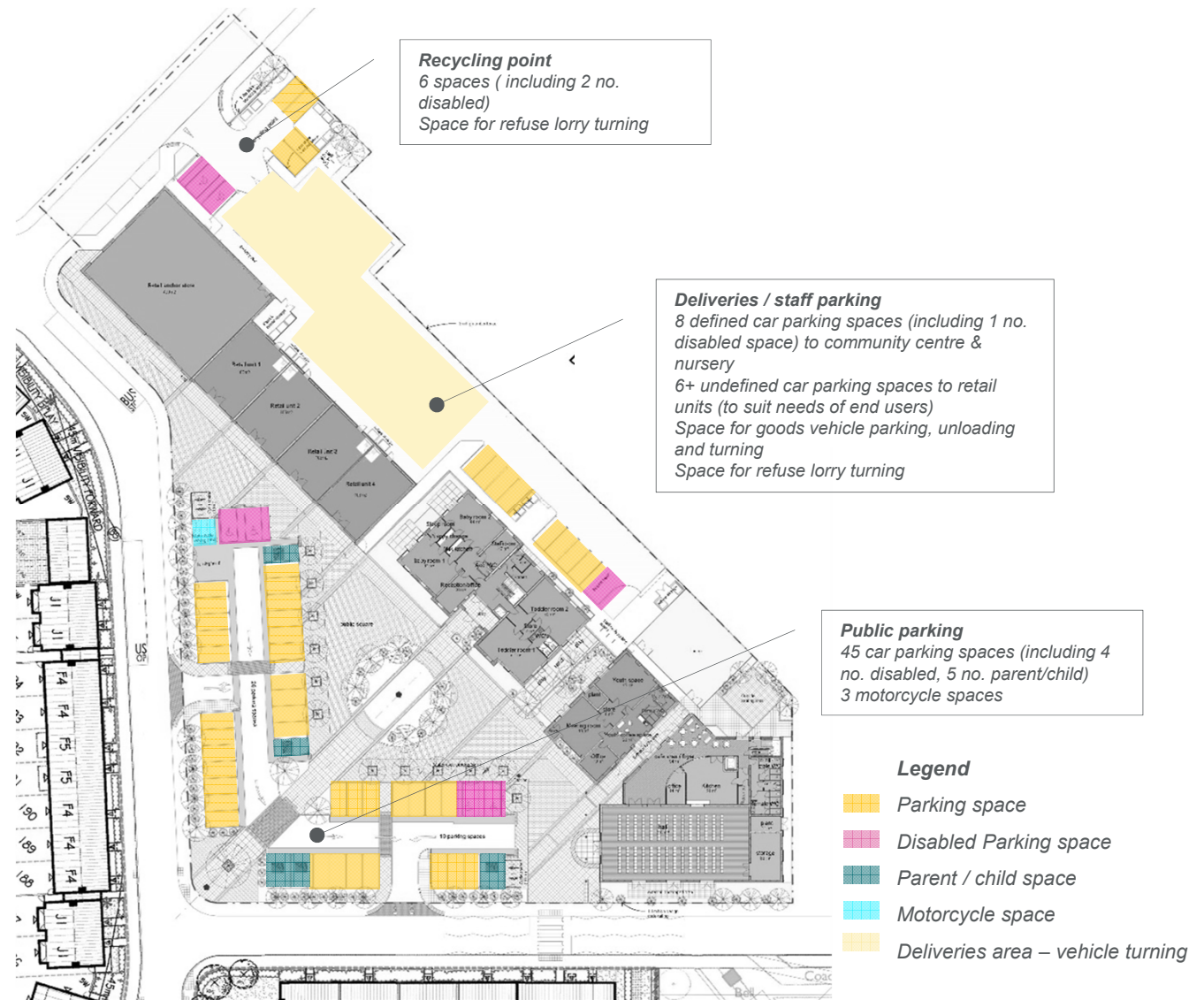
- I. During stakeholder consultation, end users, particularly the potential convenience store operator, sought more car parking to meet the needs of their customers/users.
- II. We did not want cars parking on the Primary Street, which would effect the flow of traffic and bus services. Hence further car parking spaces were provided for but this was balanced with the need to provide a good public realm.

Further assessment of car parking requirements and provisions is set out in the Transport Assessment.

DESIGN

It was felt important to not have car parking dominate the public realm area whilst having due regard to the Design Code requirements and the car parking needs of potential operators. To achieve this we have broken down the public square parking areas into smaller chunks and interspersed with planting in order to soften its visual impact.

Similarly to the south and west, a hornbeam hedge serves to screen the car parking from nearby residential properties as well as avoiding potentially dangerous pedestrian shortcuts forming through from the pavement to the parked cars.



Proposed Design - Parking 06

Vehicular Access Design

ACCESSIBILITY

10% blue badge spaces have been incorporated as well as 5 designated parent/child spaces.
All regular spaces are provided at 5m x 2.5m to allow for today's larger cars.
Dropped kerbs are provided throughout and obstructions to pavement areas are kept to a minimum to present less hazards for those pedestrians with low visual acuity

The general car parking has been subject to swept path analysis (include elsewhere in the submission) to ensure that vehicles can safely manoeuvre within the area with minimal reversing.
Similarly the service area to the rear has been analysed for refuse, emergency appliances and delivery truck manoeuvring to enable vehicles to enter and leave in forward gear (see separate drawing).

SAFETY

Access will be via a one way entry & exit system which helps avoid vehicle / vehicle and vehicle / pedestrian conflict.

Traffic speed will be controlled within the parking area by speed humps and changes in surfacing.

Demarcated safety routes allow the safe passage of pedestrians both within and across the parking area.



Vehicle tracking to general car parking & deliveries



Fire tender tracking to rear service area



Pedestrian safety routes marked within car park area



Refuse lorry tracking to rear service area

Proposed Design - Parking 06

Cycle Parking

NUMBERS

The Design Code requires a minimum of 16 covered cycle spaces for the Local Centre.

A total of 20 cycle parking spots have been provided to the public area, all of which are covered.

A further 12 spaces have been provided to the secure delivery/staff area.

DESIGN

The covered parking is provided at prominent points at the east and west of the site.



Simple hoops provides other cycle parking.

