



hunters

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## Overview

### INTRODUCTION

This application is a Reserved Matters Application made on behalf of Countryside Properties (Bicester) Ltd and relates to Local Centre element of the approved outline permission for the overall site to the south west of Bicester known as Kingsmere

The design approach has been informed by:

- The Kingsmere Design Code
- Restrictions set by planning conditions
- Requirements of Cherwell District in regard to the Community Centre/specification
- The design and development scope set by the client

The designs have been further informed by an analysis of the key features of the site from which initial sketch proposals and a schedule of accommodation were produced.

Through an interactive process the initial proposals have been further developed and refined following consultation with some potential users. Further refinement has been undertaken following a pre-application submission made to Cherwell District Council, the Planning Authority.

Design refinements have been made as the input of other consultants and engineers have been incorporated; e.g. from highways, parking, landscaping, etc.

This document seeks to demonstrate the designs have achieved compliance with the local planning framework and the needs of end users and stakeholders while responding to the constraints and opportunities of the site to produce a coherent, attractive design solution. Specifically it seeks to discharge the condition requirement of the Outline Planning Permission for the site:

“Design, siting, scale, height, layout, external appearance, landscaping and means of access”



## Policy Guidance

The Kingsmere development pursuant to the outline permission will comprise 1,585 new homes, a primary school and education campus, a mixed-use local centre, commercial / employment development, healthcare development and public open space. The application for the development was approved in outline form in June 2008 under planning application ref.06/00967/OUT: Land at Whitelands Farm South West of Bicester.

Since then there have been a number of reserved matters approvals that relate to separate parcels of land including housing, open spaces and strategic highways within the overall development area. This application is a similar Reserved Matters Application that deals with the Local Centre.

We have had regard to a number of documents produced by Countryside Properties (Bicester) Ltd or their consultants. These have been used to inform the development of the design and ensure a consistent high quality throughout. These include:

- Planning statement with 06/00967/OUT**
- Approved Master Plan**
- Design and Access Statement with 06/00967/OUT**
- Approved Design Code (July 2008)**
- Travel Plan**
- Public Consultation Strategy**
- Parameter Plan**
- Proposals Plan**

Key maps and images have been extracted from these documents to illustrate aspects of this application.





## Design Code Context

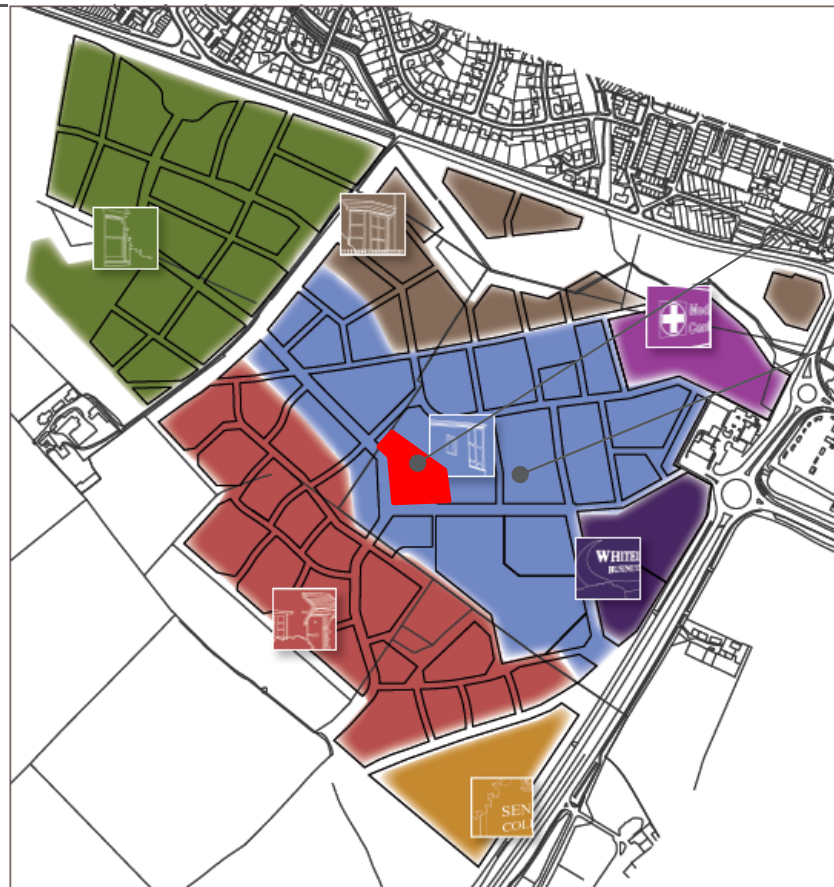
Following approval of the outline design for the area, the Kingsmere Design Code was produced in order to satisfy condition 7 of this approval. The design code sets out the key issues to be addressed by designers and describes the types of places that must be created for all reserved matters applications.

The design code identifies and describes the design characteristics of zones within Kingsmere. The Local Centre falls within the Urban Village Character Area whose general features are described within the code (pages 107-120).

Typical key features are described below:

- Most compact with greatest street enclosure.
- Housing, retail, commercial, educational, community uses.
- Taller buildings (up to 4 storey) help define primary street.
- Strong urban corners formed by buildings.
- Opportunity for contemporary architecture, especially around central space.
- Buildings and architecture employ either horizontal or vertical emphasis.
- Central space to comprise robust urban public realm with prominent trees serving mixed-use buildings (commercial, residential & community centre).
- Central space designed to accommodate a range of functions (including community events) as well as parking and bus stops.

Some of these characteristics apply mainly to the residential aspects of the Urban Village Character Area, as opposed to being specifically relevant to the Local Centre



Application site

Urban Village Character Area (hatched blue)



Kingsmere Character areas

## Design Code Context

### GENERAL CHARACTERISTICS

A few of the classic characteristics of the Urban Village listed on page 107 of the Design Code apply to the Local Centre

The key features of the general description in the Design Code are listed here together with the intended design response which is described later in this document on the pages listed.

Design Code Local Centre Classic Characteristics p107	Design response	See pages
<i>Strong urban corners formed by buildings</i>	The corners of the development have enhanced forms	19-20
<i>Opportunity for contemporary architecture, especially around central space</i>	The style is contemporary while avoiding the hardness of excessive amounts of glass & steel	22-27
<i>Buildings and architecture employ either horizontal or vertical emphasis</i>	The retail units are horizontal against which the varying peaks of the pitched roofs form a juxtaposition. The Community Centre employs vertical elements to emphasize it's importance.	22-27
<i>Central space to comprise robust urban public realm with prominent trees serving mixed-use buildings</i>	The edges and access to the public square are emphasized by the continuation of axis already established by the surrounding road/building layout. Trees and planting distinguish zones within the public space and enliven the area.	9 Landscape
<i>Central space designed to accommodate a range of functions (including community events) as well as parking</i>	A number of distinct areas have been created within the central space to allow a variety of functions to be accommodated.	9, 29-30 Landscape Transport statement

The general characteristics of the Local Centre are described separately within the Urban Village Character Area on page 118.

Design Code Local Centre General Characteristics p118	Design response	See pages
<i>May include a convenience store (200-400m2 gross) as well as a minimum of two and maximum of six other shops (each up to 150m2 gross). The will be flexible to allow for up to 30% to be used as employment space (either B1 or B2), as well as a community centre (641m2 gross with an additional 100m2 external area)</i>	A convenience store has been provided at 400m2 GIA Four other shops have been provided at 106m2 GIA A nursery has been provided at 514m2 GIA The community centre has a total area of 903m2 with a total 406m2 of external area (see planning statement)	22-27  Planning statement
<i>On the periphery of the local centre is a primary school. The Community Centre should be located close to this.</i>	The community centre is located at the end of the site closest to the school	22-23

## Design Code Context

### MANDATORY REQUIREMENTS

Listed in the Design Code are a series of Mandatory requirements (p119). The intended design response is briefly described here with a reference to the pages containing the more detailed description later in this document.

Design Code Local Centre Mandatory Characteristics p119	Requirement	Design response	See pages
<i>Convenience store</i>	<b>200-400m2 gross</b>	1 unit @ 400m2	27
<i>Two to six shop units</i>	<b>Up to 150m2 gross each.</b>	4 retail units @ 102-106m2	27
<i>Employment units (B1 or B2, latter maximum 30%).</i>	<b>Up to 500m2 gross each.</b>	No B1 or B2 uses proposed. See Planning statement. We understand that reference to B2 uses was an error	
<i>Community centre.</i>	<b>641m2 gross internal. 100m2 external. 25 car parking spaces (shared use)</b>	A larger Community Centre has been provided for (now serves Kingsmere Phase 1 and Phase 2). See Planning Statement. Layout and size agreed with CDC officers: 903m2 gross internal 406m2 gross external	22-23
<i>Building heights</i>	<b>Three or four storeys (except Community Centre). The double height hall within the Community Centre must be located on the street frontage to maximise building presence</b>	A height of 3 storeys has been achieved by design. The Community Centre has a double height space. It is in a prominent location, facing onto the street/one end of the Local Centre.	21
<i>Bus stops....</i>	<b>2No. 15m x 2.5m bus stops located on the west of the space away from the primary school.</b>	These have been provided	
<i>Cycle parking</i>	<b>Covered cycle shelter for 16 bicycles designed into the public realm.</b>	Covered parking for 20 bicycles provided	31
<i>Recycling / refuse</i>	<b>Group of six recycling bins</b>	Refuse provided in accordance with OCC requirements	28
<i>Seating</i>	<b>Six bench seats, integral to the public realm and on main routes and desire lines.</b>	These are provided	Landscape
<i>Public realm / landscape</i>	<b>Refer to Urban Village section.</b>		Landscape

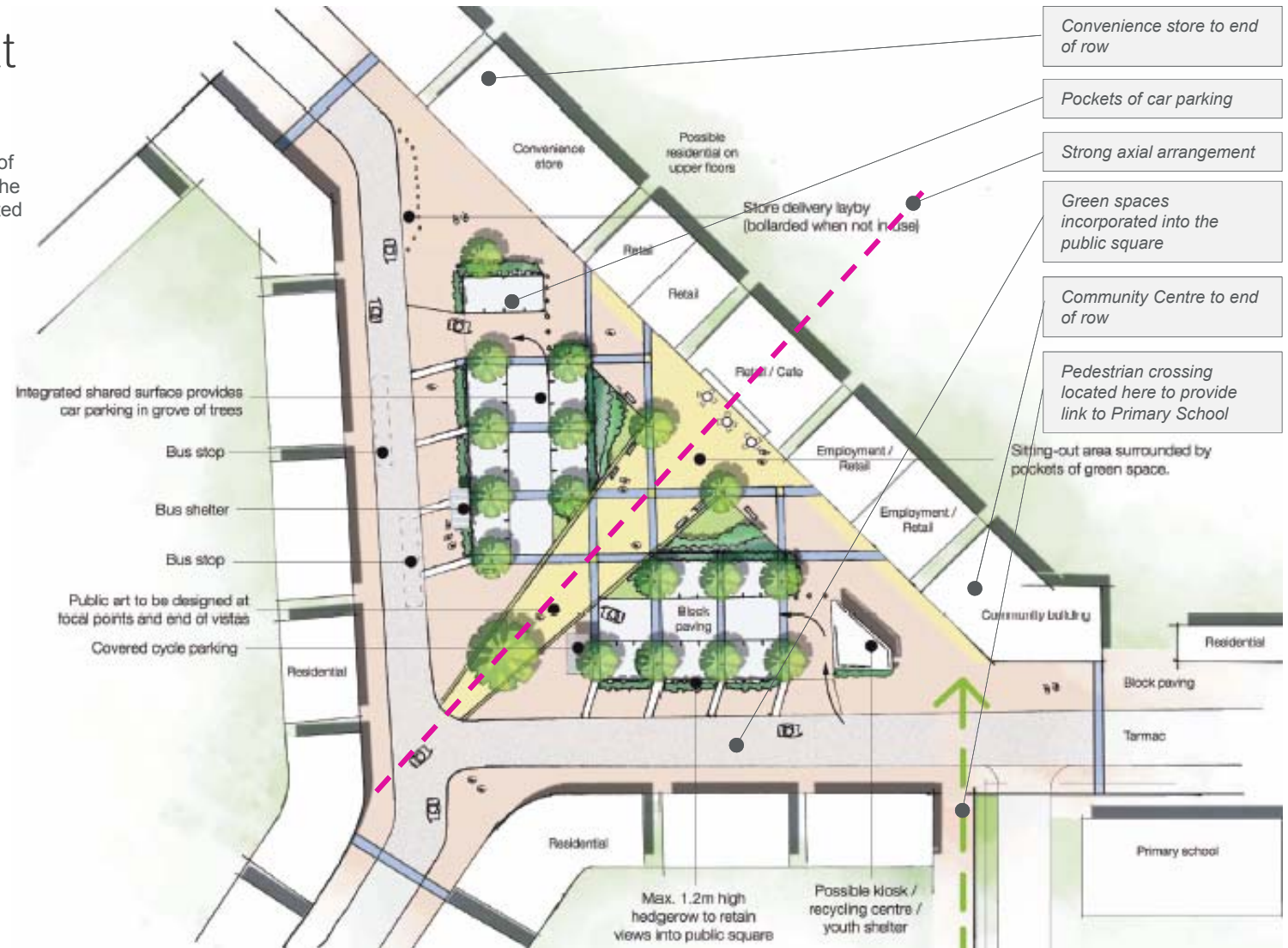


## Design Code Context

### INDICATIVE LAYOUT

The Design Code also displays an indicative layout of the Local Centre on page 119. The key features of the indicative layout have been identified and incorporated where appropriate into the final design.

Key features are identified opposite



Indicative layout of public space from Design Code

## Land Use

According to the approved site masterplan residential buildings will lie immediately to the north and north east boundary of the site. This land parcel has yet to be the subject of a Reserved Matters Applications (RMA), so details of the adjacent buildings is not known at this stage.

To the south, Parcel KM8 has been built out

To south and south west, land parcels KMA and KMB are currently being developed out according to their approved RMA's. These approved layouts have been shown on our plans.

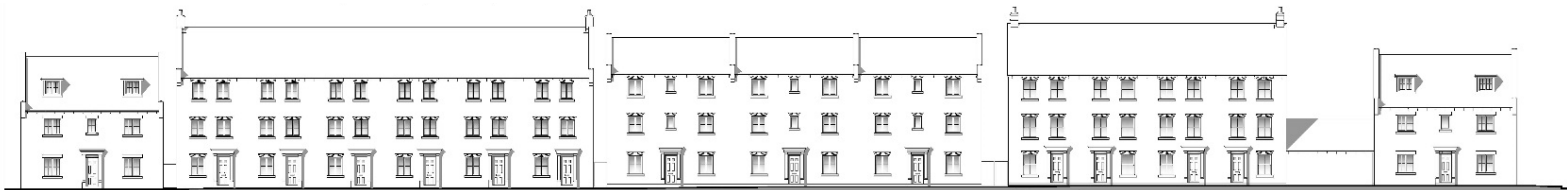
The primary school to the south east has also received approval and is currently being built. The intended layout is also indicated on our proposals



Layout of overall development showing land parcels and land uses (from p 32/33 of Design Code)



Elevation of Primary School



Example of housing to Linden Homes site KM13

## Access

### INTRODUCTION

The site of the Local Centre has already been determined by 06/00967/OUT and the Kingsmere Design Code

### PEDESTRIAN

The local centre forms the community heart of the Kingsmere and it serves as a focal point for many potential pedestrian journeys about the development.

### CAR

The Local Centre site lies on the confluence of the primary access roads within the site. Parking is provided on the site in accordance with the Design Code requirements. See page 29

### CYCLE

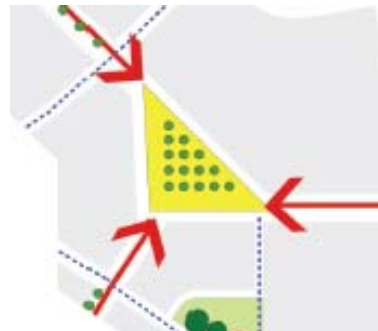
The planning guidelines relating to the site provide comprehensive guidance for the provision of cycle routes about the site. Adequate cycle parking provision for both staff and visitors to the local centre are provided for in the proposals. See page 30

### BUS

Kingsmere is served by two bus services; the 25 which provides local links to the train station and Bicester town centre, and the S5 which provides wider links to Oxford. There are bus stops for these routes located at or near the Local Centre.

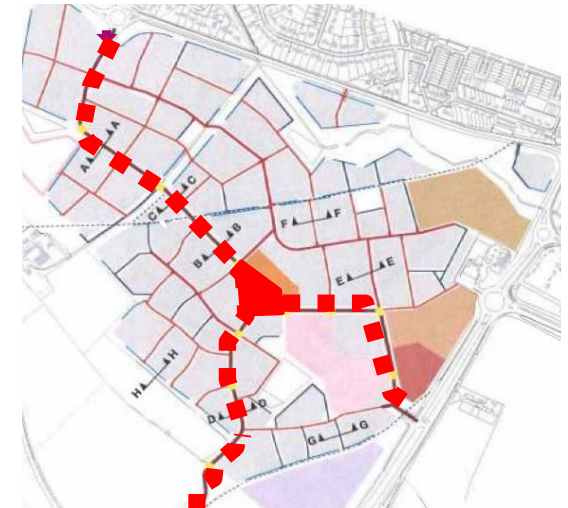
### RAIL

Bicester is served by two railway lines at Bicester Town and Bicester North with a new station opened at Bicester Village. Buses will provide links to these stations.



Primary spine route on-street cycle and pedestrian provision

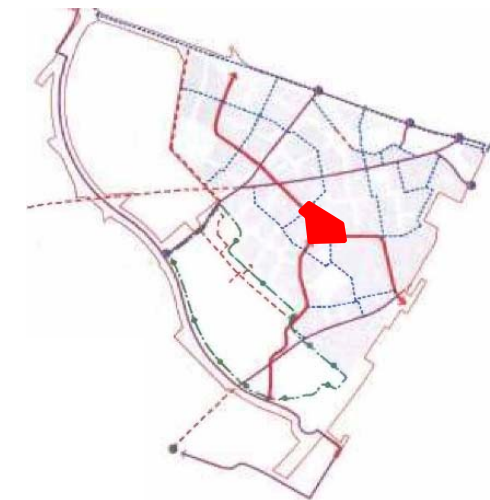
From Design Code



Primary vehicle routes through Kingsmere



Bus-stop locations from Design Code



Non-vehicle movement



## Environment

### ACOUSTICS

Potential noise generating and noise sensitive elements have been considered within the Acoustic Report submitted with this application.

### FLOOD RISK

There is a Surface Water Drainage Design Strategy for Kingsmere. The proposals for the local centre will connect into this to provide a sustainable drainage solution. Rates of flow into the strategic drainage network will be controlled and complied with

### TOPOGRAPHY

The land is largely flat with a slight fall to the south.

### LANDSCAPE FEATURES

The site was agricultural land that has been cleared. There are no landscape features (no existing vegetation) within the application site



Views of present site and newly built access roads



Surface Water Drainage Design Strategy diagram from Design Code



Views of nearby residential buildings within Kingsmere

## Site Context

### STYLE

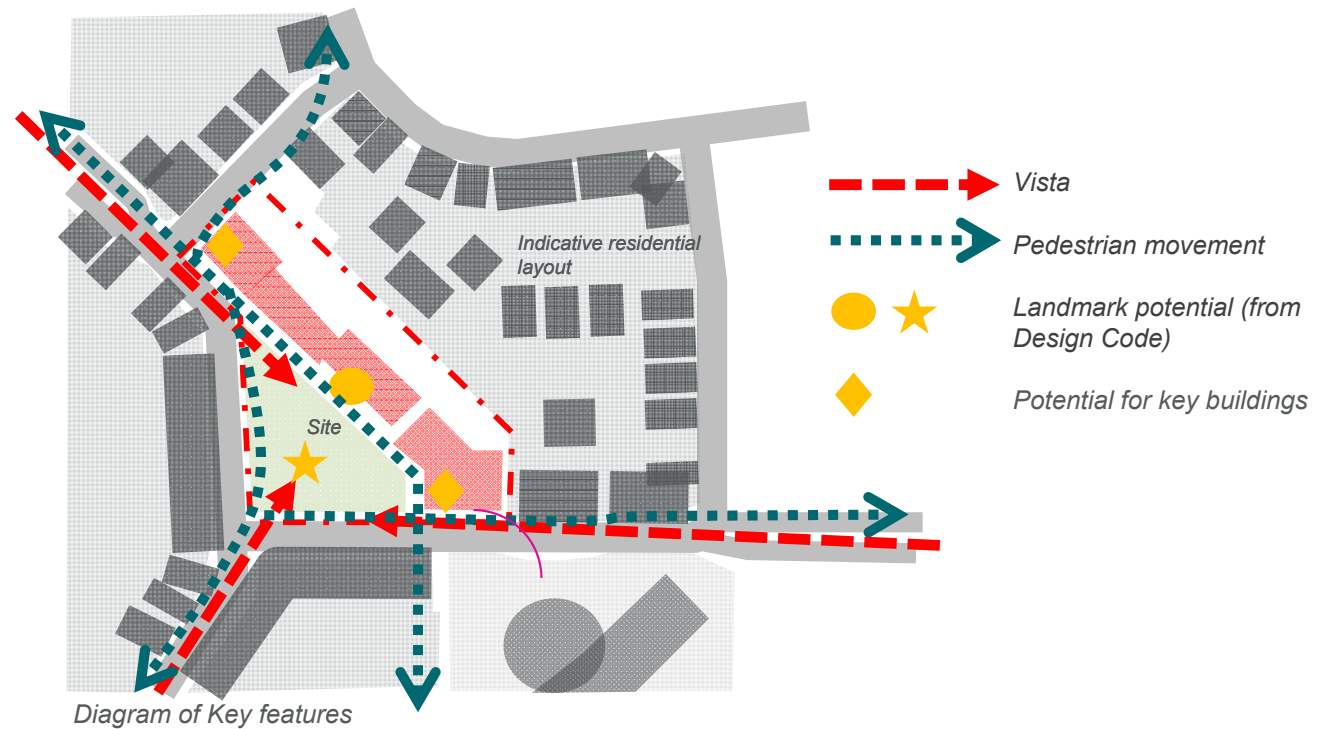
The Kingsmere development could contain many styles of architecture, as described in the Design Code, ranging from vernacular to modern. As the Design Code states *“the area is designed as a subtle blend of styles with no one approach dominating contemporary architectural style and details may be prevalent here”*

### SCALE

The surrounding residential development to date is predominantly 2 storey, but contains some 2 and a half and three storey properties along the spine road within the Urban Village Character Area of Kingsmere.

### VIEWS

Regard has been made when designing the Local Centre to pedestrian movements, vistas and key feature buildings



Example of modern aesthetic within Kingsmere



New residential buildings to Pingle Brook Character Area



New residential buildings to road frontages



## Pre-application Advice 1

### PRE-APPLICATION ADVICE

A pre-application submission was made to Cherwell District Council regarding the site under application number 15/00104/PREAPP.

The comments received (17/06/15) and our design response are as listed here:

	COMMENT	RESPONSE	See pages
LANDSCAPE:	<i>The public square should incorporate a 'spill out area' for the community centre with large shade trees, and enough space for an exhibition space</i>	Spill-out area to public square added to Community Centre Large shade trees provided – see landscape design section	22-23 Landscape
	<i>Vehicle access will be required and so the paving should accommodate this purpose</i>	A robust wearing surface will be specified to vehicle areas	
	<i>A perception of shared space between parking and public areas by the use of similar materials that are robust and textured</i>	This has been incorporated and full details are included in the landscape design section	17-18 Landscape
	<i>A formally clipped hornbeam hedge to the west and south boundaries</i>	This has been incorporated and full details are included in the landscape design section	17-18 Landscape
TRANSPORT & HIGHWAYS	COMMENT	RESPONSE	See pages
	<i>Transport statement or assessment required</i>	Provided as a separate document	
	<i>Schedule showing how the number of parking spaces has been calculated and justification of any sharing arrangements</i>	A full schedule of parking requirements has been provided together with details of the sharing arrangements	29-30
	<i>Drainage strategy required</i>	Design strategy as per Design Code.	18
	<i>Draft travel plan required</i>	Provided within a separate document	
	<i>Vehicle tracking for car park and service yard to be indicated including tracking for arctic delivery lorry</i>	These are shown on a separate drawing	
	<i>Plan showing cycle parking location. Number of spaces to be increased. Visitor cycle parking to be prominent. Staff cycle parking should be secure</i>	This has been increased. Secure staff parking and prominent cycle shelters provided – see Cycle Parking section	31
	<i>Parking spaces must measure 2.5m x 5.0m with 6m manoeuvring space between.</i>	These standards have been incorporated	29-30
<i>Further consideration to be given to location of pedestrian crossing</i>	This has been moved closer to the primary school entrance. Exact location / specification shown on the Engineer's drawings	17-18	
<i>Vision splays to be shown to access points</i>	These are shown on a separate drawing		

## Pre-application Advice 2

RESIDENTIAL AMENITY	COMMENT	RESPONSE	See pages
	<i>Potential noise and disturbance to service area to be assessed</i>	A 3m high acoustic fence will provide acoustic attenuation to adjacent properties See separate Acoustic Report	28
	<i>Overlooking from first floor of youth centre and nursery to be given consideration</i>	Youth centre external space moved to ground floor. Additional fence screening added to rear to nursery	22-23
	<i>Proximity of community building to the adjacent properties to be considered</i>	Community building reduced in height to single storey to the eastern boundary, providing an acceptable relationship with any future residential development	22-23
	<i>Noise and disturbance to residential properties emanating from the community centre.</i>	A 3m high acoustic fence will provide an acoustic attenuation to adjacent properties See separate Acoustic Report.	

DESIGN AND LAYOUT	COMMENT	RESPONSE	See pages
	<i>Vehicle tracking for refuse vehicle to service yard to be indicated</i>	This is now shown on the Engineer's drawings	
	<i>Refuse storage areas should not be visible from the public domain</i>	Height of enclosure to the recycling centre and the delivery zone has been increased to avoiding direct views into refuse store areas while allowing surveillance	28
	<i>External spaces to nursery and youth facility to be reconsidered to increase functionality</i>	External spaces reconsidered and in case of nursery brought to the south west façade and the case of the youth facility brought to ground floor	22-25
	<i>Retail unit to have presence on adjacent side street</i>	Windows now placed on the side street elevation	26-27
	<i>Nursery building lacks presence</i>	Design of nursery rationalized and main apex element made more prominent. Play spaces moved to the side and front of the building	24-25
	<i>Location and materials of Public Art to be clarified</i>	The Kingsmere Public Art Steering Group will determine location and nature of public art within the application site. Our plans indicate a number of possible locations, but these are not exclusive. For example, public art could be provided within, or to the façade of, the Community Centre. The artwork can be incorporated during the construction process or subsequently.	17-18
	<i>Design code requirement for 75% through- coloured render</i>	Material selection adjusted to suit end user's requirements and provide an appropriate design response. A render finish was felt to be too vulnerable by end-user groups, and not appropriate for the design solution/style put forward.	34-36

