



ERIC COLE ARCHITECTURE

AREA KMC & KMD KINGSMERE --- BICESTER

SUPPORTING STATEMENT SHOWING COMPLIANCE WITH KINGSMERE DESIGN CODE



1.0 INTRODUCTION

This report has been prepared to support development proposals – in the form of a Reserved Matters Application – by Persimmon Homes at Kingsmere – a new residential community located to the south west of Bicester. The proposals have been developed following discussions with Cherwell District Council.

The purpose of the document is to demonstrate how the proposals comply with the design guidance contained in the Kingsmere Design Code, which is the primary means of controlling development at Kingsmere.

The requirement to produce a Design Code is a consequence of a planning condition (condition 7) attached to the outline planning permission (Ref 06/00967/OUT). All future reserved matters applications for development will be assessed using the code.

These proposals relate to Areas KMC & KMD which are in the northern part of the development not far from Bicester Town center and Middleton Stoney Road.

One of the primary means by which development is controlled by the Design Code is through the use of 'Character Areas'. Parcel KMC lies predominantly within the 'Urban Village' character area with a small proportion within 'Pingle Brook'. Parcel KMD is situated within the 'Pingle Brook' character area.

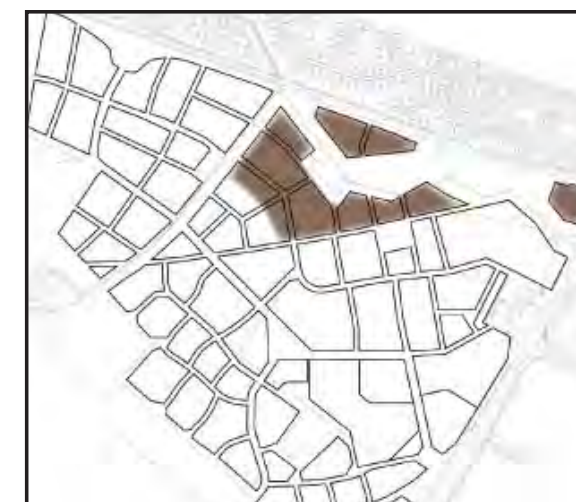
The lead developer is responsible for the majority of the 'infrastructure' within the entire development and which passes through the individual character areas.

This includes:

- Strategic infrastructure
- Primary Streets
- Strategic foul and surface water drainage
- Structural landscaping
- Informal public open space (excluding LAP's not within open space or structured planting) Greenways and landscaping works to retained public rights of way



Urban Village



Pingle Brook

PARCELS KMC & KMD (PINGLE BROOK AND URBAN VILLAGE)

DESIGN CODE GUIDANCE

The plan on Page 6 of the Design Code fig 1.2 highlights the extents of each of the character areas that make up what is known as Land Parcels KMC and KMD. The characters adjacent to the site include the Avenue and the Urban Village. Whereas the land parcels of KMC and KMD include the Urban Village and Pingle Brook. This application is to include and integrate both land parcels to create a sustainable and seamless environment.

The Design code summarises the Classic Character of each of these:

URBAN VILLAGE

The Urban Village is characterised by enclosed streets lined with a mixture of building types and styles. Richness is found in this varied townscape as well as in the range of uses beyond housing found here, or nearby.

The Urban Village will be legible as the centre of the development, where the intensity of development peaks and the social centre is created. This area is designed as a subtle blend of styles with no one approach dominating. It is laid out in an informal manner but with streets composed according to key principles which together convey urbanity. Here buildings are more likely to be taller, use vertical fenestration, be set close to the pavement and might have a hidden parapet gutter.

Street greenery will largely be limited to trees and street furniture will be robust, simple and modern. A hard and distinctive public realm is key to this area which is focal to the whole scheme.

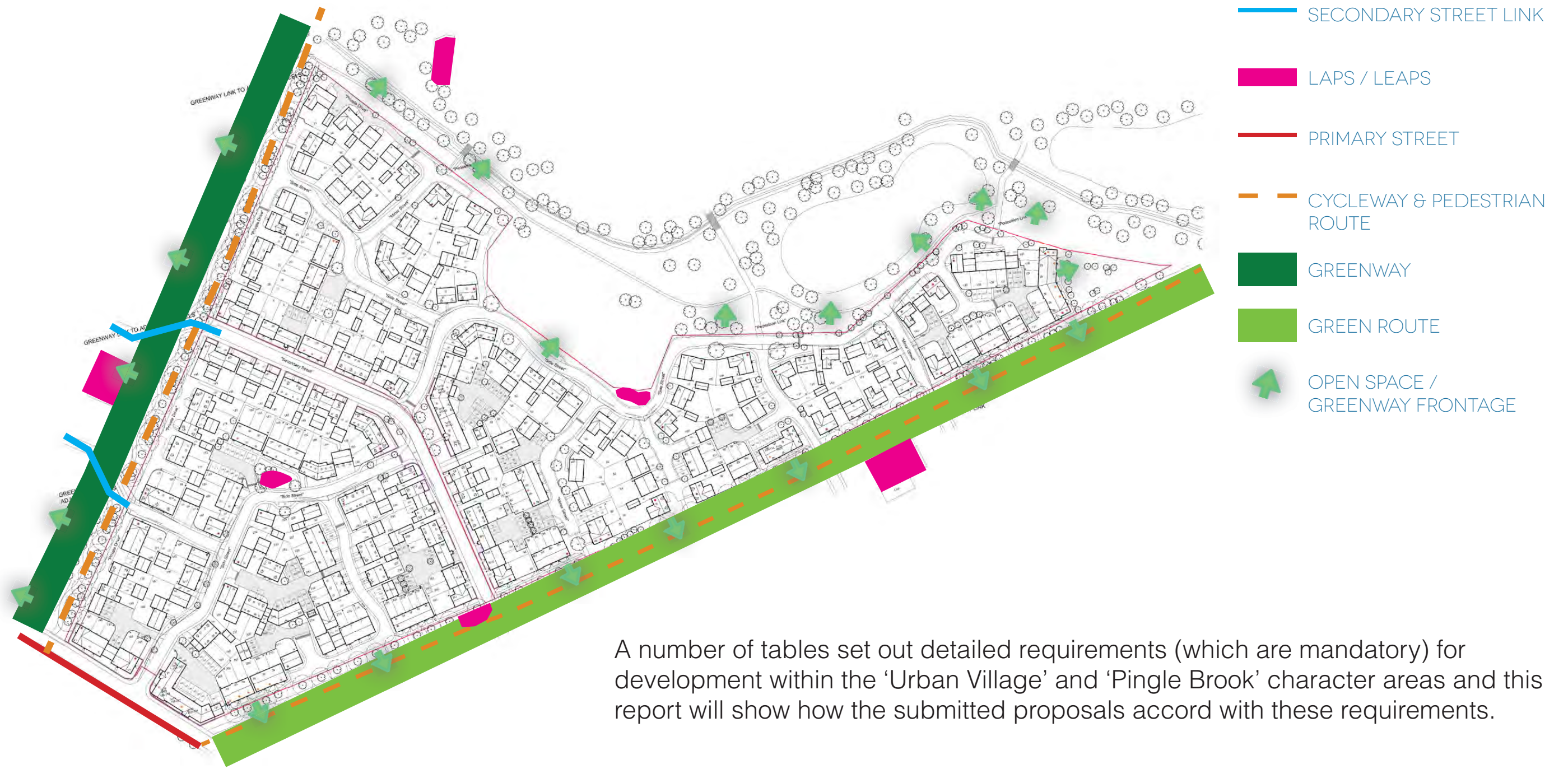
PINGLE BROOK

The Pingle Brook character area focuses on a naturalistic new park along Pingle Brook. This area contrasts sharp corners and hard surfaces with long grass and native planting. Short groups of terraced houses sit alongside individual detached buildings or paired houses.

Streets meander towards the public open space, occasionally widening to accommodate an informal green space or allow for a large tree. Informality is conveyed through rustic paving, bound gravel and hedging whilst metal railings respond to the need for robustness in this environment.

The key features of the two land parcels and its adjacent surroundings are:

- The greenways that run along 2 sides of the sites with associated Public Rights of Way,
- The open space associated with Pingle Brook,
- The frontage to the Primary Street,
- The dissection of the land parcels by the secondary street linking Urban Village to Avenue,
- The numerous public domain laps and leaps surrounding the site.



A number of tables set out detailed requirements (which are mandatory) for development within the 'Urban Village' and 'Pingle Brook' character areas and this report will show how the submitted proposals accord with these requirements.

2.0 COMPLIANCE

Page 6	Fig 1.2 character areas	Compliant
Page 7	Fig 1.3 block patterns	Compliant
Page 32	Fig 3.1 land use	Compliant
Page 36	Fig 3.2 landscape elements	Compliant

Page 39 Paragraph 3.2 fig 3.4

Safe and attractive public spaces and routes must be provided throughout Kingsmere. Compliant

KMC and KMD benefit from adjacent Greenways that provide infrastructure LAPS and LEAPS. There is also a large open space to the north that KMD wraps around, and within KMD and KMC 2 LAPs have been provided. New housing will provide active frontages and natural surveillance of these areas.

Page 40

To reflect the character of the site and the surrounding area, and to provide a strong rural identity to the development, a high percentage of all planting must comprise native species common to the area. The infrastructure planting must comprise no less than 90% native planting.

The Landscape Architect **will ensure compliance** for landscaping within the Parcels. The lead developer will ensure infrastructure planting is **compliant**.

All planting details for trees must comply with NHBC Technical Standards and avoid the need for special foundations for adjacent development. All planting must be in accordance with National Plant Specification.

The Landscape Architect **will ensure compliance**.

Page 42 Biodiversity and Wildlife

Page 43 Greenway / habitat Links

Existing hedgerows will be maintained and improved with additional planting of native species where necessary. Hedgerow managing will aim to enhance the value to wildlife of these corridors. Pockets of scrub and areas of grassland will be included along the green links, improving their current ecological value and improving their viability as dispersal corridors for mammals, birds and insects.

The Landscape Architect **will ensure compliance**.

Page 44

All residents must be provided with play space in accordance with the requirements of Cherwell District Councils adopted strategy. Within residential areas LAPs must be provided as agreed with the Council at Reserved Matters Stage.

Page 45

All LAPs must be easily accessible to pedestrians and positioned in either traffic free or traffic calmed public areas.

KMC and KMD are surrounded by 6 LEAPS and LAPS that will serve the proposed development. TWO LAPs have also been provided with the development boundary that will also provide amenity to dwellings in both KMC and KMD. The location of these has been determined by the distance and travel time requirements of residents for the proximity of play space and discussions with the LPA.

The hierarchy of routes is fixed and comprises: Primary Street, Secondary street, Side Street, Minor Street/Mews/Country lane, Private Drives. The primary, secondary and side streets are designed for a maximum vehicle speed of 20mph. Minor streets/Mews/Country lanes and private drives will be designed for a maximum vehicle speed of 10mph.

Table 3.15 and fig 3.16 - Street hierarchy design parameters and sections

Compliant



The highest densities will be located in the most accessible places, within the local centre and immediately adjacent primary routes. The rural edge of the site will respond to the surrounding and lower densities, to a minimum of 30 dwellings per hectare will be used. **Compliant**

The higher densities of the proposal are located adjacent to the primary routes whilst the lower density development responds to the rural edge of Pingle Brook.

The site falls into 2 categories of density as indicated on the density plan fig. 3.20 of the Design code. The rural edge is to be between 30-35dph whilst the remainder between 35-40dph.

Maximum building heights range between two and a half and four storeys within the outline planning permission. **Compliant**

The proposals consist of a mix of two, two and a half and three storey dwellings. The taller (3 storey) buildings are situated as Marker / Gateway buildings. The diagram below is taken from design code (fig 3.21 building heights) identifies the principals for the heights of buildings.



All blocks must retain a strongly defined private/public realm boundary and include a high proportion of active frontage (through the use of main windows and front doors) to promote natural surveillance. Along the primary and secondary streets a minimum of 80% active frontage must be achieved. Active frontage is defined as the facade with the main entrance into the residential property. The 80% specified includes garages and side street entrances along the street. All streets must be overlooked and have natural surveillance. **Compliant**

For Lower order streets a minimum of 50% active frontage must be achieved. **Compliant**

Secondary frontages will be impressive and desirable residential or business addresses due to their scale, quality and prominence. **Compliant**

Rural edge and public open space frontages will be less rigid than the primary and secondary frontages. Small changes in building line or orientation will reflect greater informality while private plots will typically incorporate generous front gardens and/or set behind naturalistic greenery in the public realm. A range of 2-6m deep front gardens must be used in these locations.

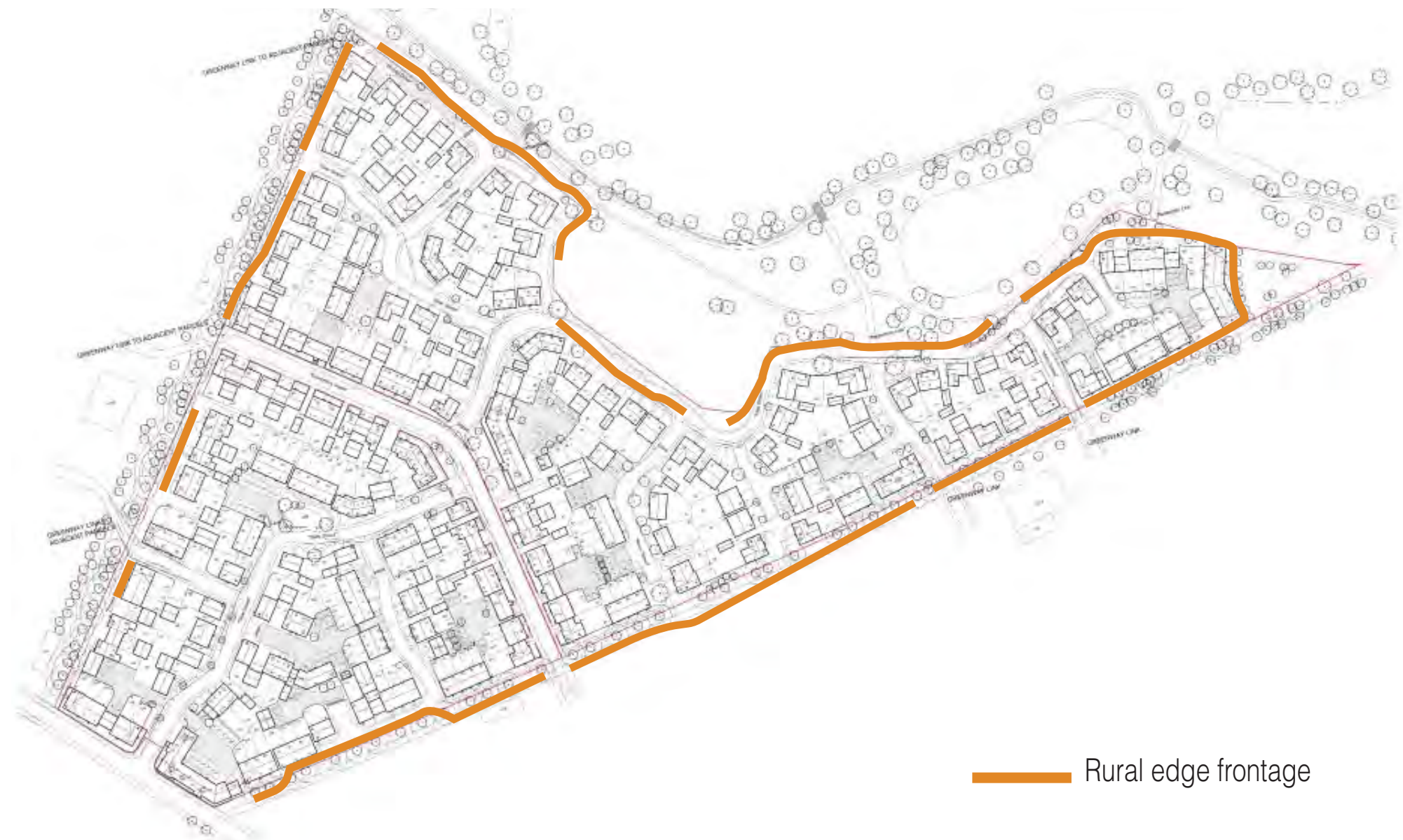
Compliant

FIG. APP 1.5 Shows the frontage onto the Greenway to be 0.6 - 1m.

Compliant

FIG. APP 1.8 Shows and states all front gardens along the Green route are to be a minimum of 1.5m wide and are to be planted.

Compliant



— Rural edge frontage

The principles for grouping and composition are that proposals must include either: Short groups or terraces normally no longer than three or four buildings. Longer terraces on Primary Streets will be acceptable, particularly in combination with taller buildings. Single, detached buildings used with due regard for their impact on street enclosure. Compliant

Single detached units have been incorporated to aid street enclosure. Terraces are restricted normally to no more than four dwellings with the exception along the Secondary street where smaller terraces are linked by coach houses. Terraces are varied to avoid symmetry in the wider street scene.

Connected buildings with a common front building line presenting a seamless street frontage. Connected buildings of differing width and depth as well as height to create an organic character. Streets comprising a limited series of similar building groups or compositions to ensure a calm and cohesive townscape.

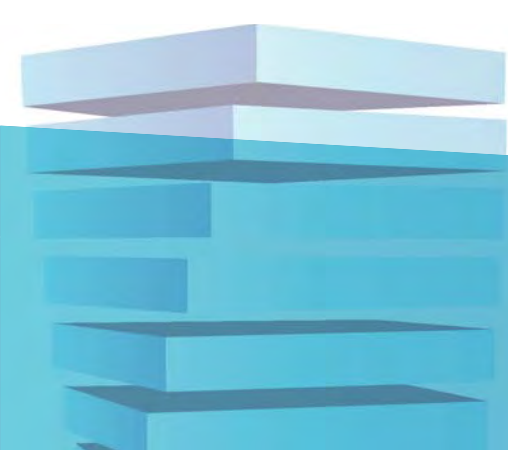
Not always achievable as Code requires garages to be set back behind the building line making a common line impossible. The aim along the Secondary street has been to provide connected buildings of differing widths and depths with occasional parking courts provided behind to ensure a seamless street frontage.

Buildings of largest scale must be located:

- 1. on primary Streets*
- 2. on Primary frontage*
- 3. at key gateways*
- 4. at local center*

Compliant

Buildings of significant scale must be located on internal green spaces and green ways and must be avoided on the rural edge. Buildings of smallest scale must be located in minor streets, fronting minor public spaces and on the rural edge. Compliant



Page 71 Roofs

Roofs must be simple, pitched and gabled, unless there is a clear townscape need for an alternative approach and should fall to eaves with minimum projection. Wide fronted / shallow depth buildings must have a pitch of not less than 40 degrees. Narrow-fronted / deep plan buildings must also have a pitch of not less than 40 degrees. Abutting single-storey roofs must use a pitch to match the main building. Free standing outbuildings or garages must have roofs that match the form, pitch and materials of the main building. Flat roofs must be limited within residential areas. Eaves details must relate directly to the dwelling type.

Gutters must be mounted directly on walls, sprockets or rafter feet, but can be concealed in a cornice or fall behind a parapet. Small roof lights are acceptable only on rear slopes to limit views within the public realm. These must be parallel with the roof pitch and have minimal projection above the plane of the roof. All end gables must be detailed to avoid blank exposed end walls.

Compliant. Rooflines will be simple with steep pitches running parallel to the primary building line with variation at corners in some locations. All end gables will have fenestration to provide activity.

20% of the houses in the Whitelands and Pingle Brook character areas must have chimneys. Compliant.

Building entrances must normally be on the front façade.

Fig 3.26 most entrance doors must be at the front of the building, rather than the side.

Fig 3.27 most entrance doors must be set close to the front façade in accordance with local precedents

Compliant.

Page 72 Windows

Windows and their sub-divisions must relate to the proportions of the host building. In traditionally designed residential buildings, windows must be either vertical sashes or side hung casements, whilst more contemporary, community and commercial buildings may have more variety. Windows on front facades must be to principle rooms on all floors, including the kitchen, ensuring they contribute to the surveillance of the street.

Refer to individual house type designs and street scenes for compliance. All dwellings will have principal rooms on front facades. In addition to this is the occasional use of secondary windows to provide light within the dwellings.

In vernacular buildings with casement windows, external lintels must be expressed in timber or red brick.

Refer to individual house type designs and street scenes for compliance.

Windows must be coloured white or off-white.

All windows will be White or off-White.

Top hung false sash windows are not allowed.

Compliant.

Where paired windows are used, they can have two opening leaves or a single opening leaf, but they must have proportions identical for both sides.

Refer to individual house type designs and street scenes for compliance.

Page 73 Building materials- walls

On all buildings within character areas external materials must generally be faced in brick, reconstituted or natural stone, or render. The materials specified should harmonize with those that typify this part of Cherwell District. Brick walls must be either English or Flemish bond and generally be soft red to match historic buildings in Bicester with Buff brick used occasionally or in certain character areas. Where reconstituted stone is used, it must be a good colour and texture match for the local stone.

Compliant. Refer to materials plan within this document for details.

Page 73 Roofs

Roof coverings shall be high quality artificial stone slate,thatch,clay tiles or small scale concrete tiles. Tile vents to slopes are not permitted,with roofs being ventilated via the ridge and eaves. Colours of roofing materials must reflect local vernacular. No interlocking tiles or slates will be acceptable on first or second tier frontages.

Compliant. Refer to materials plan within this document for details.

Page 73 Rainwater Goods

Rainwater goods should be black coloured cast iron,aluminium or plastic.

To be complied with.

Page 74 Parking

Residential car parking must comply with the adopted standards at the time of a reserved matters application. Prior to new parking standards being formally adopted,the following will apply:

1-2 bedroom = 1 space

3 bedroom = 2 spaces

4+ bedroom = 3 spaces.

Where a double garage is provided 4 spaces are acceptable,excluding primary and secondary streets and the urban village. Visitor spaces must be provided within the public realm or in easily accessible communal courtyards.

Provision must be made for covered and secure cycle parking within all garages. Those properties without garages must provide covered and secure cycle storage. Cycles must be accessible from within garages without the need to remove parked cars.

All dwellings are generally provided with the requisite number of parking spaces in various forms including driveways, garages, car ports and small courtyards. Single Garages provided are a min. dimensions 3m x 6m internally which will allow for cycle parking. Where no garages are provided secure cycle parking will be provided in the form of sheds to rear gardens or cycle stores for flats. In some instances it has been agreed with the LPA that the integrity of the design outweighs the strict accordance with parking numbers and the layout would benefit from less spaces. These situations are limited.

Page 78 Boundary Treatments

*All side or rear boundaries to the public realm on primary, secondary or side streets must be walls, except in the Whitelands character area where wattle fencing can be used. Walls are the preferred option for minor streets/mews, but alternatives can be considered at the reserved matters stage. Timber fencing can be considered for internal courts as set out below, **Compliant***

All public realm facing boundaries will be walls with close boarded fencing or walls to internal courts and 1.2m high chain link fence dividing garden boundaries. An external finishes layout and enclosures plan will provide details of locations.

P78 Rear and side boundaries

*The rear boundary of homes which back onto a secure central courtyard must allow surveillance of the parking area from habitable rooms whilst maintaining privacy for the rear gardens. The boundary between the gardens and the courtyard will be no less than 1.8 metres high and no greater than 2.0 metres in height. **Compliant***

An external finishes layout and enclosures plan will provide details and locations.

Page 79 Refuse and recycling

Each house must have a hard surface within the curtilage providing space for:

One 240 litre blue wheeled bin for the collection of dry recyclable material

One 240 litre green wheeled bin for the collection of residual waste

One 240 litre brown bin for the collection of garden waste material.

Each apartment will have space for

One 240 litre blue wheeled bin for the collection of dry recyclable material

One 240 litre green wheeled bin for the collection of residual waste

Compliant

Bins will be located to rear gardens, each house has rear gated access to enable bins to be put kerbside for collection. Where necessary bin collection points are provided. These are indicated on the proposed layout..

For both houses and apartments, bin storage areas must be easily accessible from the adopted public realm.

Bin stores for apartments must be located close to the route taken by public refuse vehicles.

*Bins for houses will normally be taken to the public realm by the occupant. Bin storage for houses must be behind the building line, at least and therefore access ways of sufficient width must be provided from each dwelling to the public highway. **Compliant***

*All refuse and recycling collections must be possible direct from the public realm. **Compliant***

Refer to planning layout.



PINGLE BROOK





DEVELOPMENT LAYOUTS MUST ACCORD WITH THE GENERAL PRINCIPLES

PINGLE BROOK

The Pingle Brook character area focuses on a naturalistic new park along Pingle Brook. This area contrasts sharp corners and hard surfaces with long grass and native planting. Short groups of terraced houses sit alongside individual detached buildings or paired houses. Streets meander towards the public open space, occasionally widening to accommodate an informal green space or allow for a large tree. Informality is conveyed through rustic paving, bound gravel and hedging whilst metal railings respond to the need for robustness in this environment.

The key characteristics of the Pingle Brook Area are:

- Compact clusters of houses creating space for informal green space.
- Occasional taller feature buildings.
- Small scale, bespoke, landmark buildings at key points.
- Opportunity for contemporary architecture especially closer to the town centre.
- Buildings and architecture employ either horizontal or vertical emphasis.
- Setback front gardens aligned to frequent changes in the green edge.
- Occasional shared surfaces and, on the periphery, country lanes.
- Existing mature copses retained and fronted by buildings.
- Permeable, attractive and safe pedestrian / cycle connections to town centre.
- Limited materials palette.
- Housing fronting public open space.



CLASSIC CHARACTERISTICS:
INFORMAL . SOFT . GREEN . LOOSE

URBAN FORM



STOREY HEIGHTS KEY

- 1 STOREY
- 1.5 STOREY
- 2 STOREY
- 2.5 STOREY
- 3 STOREY

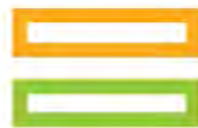
	MANDATORY m	Comment	
Density	30-35 for the majority 35-40 adjoining Urban Village character area.	Refer to Figure 4.5c.	✓
Building Heights	Refer to Figure. 4.5b. No buildings may block the vista to St. Edburg Church as viewed from the gateway space.	Taller buildings closest to Urban Village character area.	✓
Building Types	No non-residential types.	Houses (detached, paired, terraced) and apartments.	✓
Spatial Arrangement	Meandering streets and mews generally. No symmetry. Glimpsed views of the public open space from within the urban area.		✓
Block Types	Perimeter.	Range of sizes with bespoke buildings where necessary.	✓
Parking Format	On-plot front access - hardstanding - detached garage - attached garage - mews garage On-plot rear access - back garden - chauffeur unit Off-plot on-street (unallocated).		✓
Frontage Setbacks	0.6m minimum. On open space frontage minimum 2m.	Between 0.6m and 2.4m. Variety within a street, emphasising informality.	✓

ARCHITECTURE AND MATERIALS

	MANDATORY m	Comment	
Landmark buildings	Landmark A.	An important building to be viewed from Oxford Road to the east. Key approach from town centre. Suitable for two or two and a half storey apartment building.	n/a
Marker buildings	Marker A.	A distinctive building to help turn the corner on the secondary street.	✓
Form	Majority of wide-fronted buildings.	No proportions prescribed.	✓
Composition	Informal both in layout and architecture.		✓
Scale	Larger scale buildings and elements generally overlooking the park and towards the town centre.		✓
Verticality & horizontality	Majority vertical emphasis – but no proportion prescribed. Mix within streets to add variety.	Verticality expressed in roofs, plot widths, articulation and fenestration	✓
Façades	Occasional (single or double height) shallow projecting bays (maximum projection 1.0m). Prominent corners celebrated with feature windows.		✓
Entrances		Either solid 4 panelled or vertical planked on vernacular buildings	✓
Windows	Bay or feature windows must be used for all landmark, marker and key corner buildings.	Either sash-styled or casement on vernacular buildings	✓
Wall materials	Red or buff brick. Through coloured render, or painted brick or stone.	Approximate proportions – red (50%) or buff (10%) brick. Through coloured render or painted brick (30%). Stone (10%).	✓
Roof materials	Slate or tile.	Approximate proportions – Grey artificial Slate (30%) Brindle red plain concrete tiles (70%)	✓
Colour	Render coloured / brick painted pale grey, magnolia and pastel creams. White used as accent colour or on marker buildings only.		✓



Images show examples of dwellings already built within Pingle Brook character area.



FORTICRETE GEMINI PLAIN TILE
 ARTIFICIAL SLATE
i - Colours to be confirmed at planning stage

FACING MATERIALS PLAN



- RED BRICK 1
- RED BRICK 2
- BUFF BRICK
- STONE
- CREAM RENDER

Figure 3.31 Appropriate render colours – other creams or pale greys will also be acceptable as well as white, subject to the agreement of the local authority.



BS 08B15	NCS S4010-G90Y BS 10B21	NCS S3020-G90Y	NCS S3010-Y10F
BS 08B17	NCS S2010-Y BS 10B17	NCS S 3010-G90Y	NCS S 010-Y

Based on Natural Colour System (NCS) Colour palette (British Standard references begin with BS).

Colours shown here are indicative only. All specifications must be done using either the BS or NCS reference numbers given.



Wall materials examples.

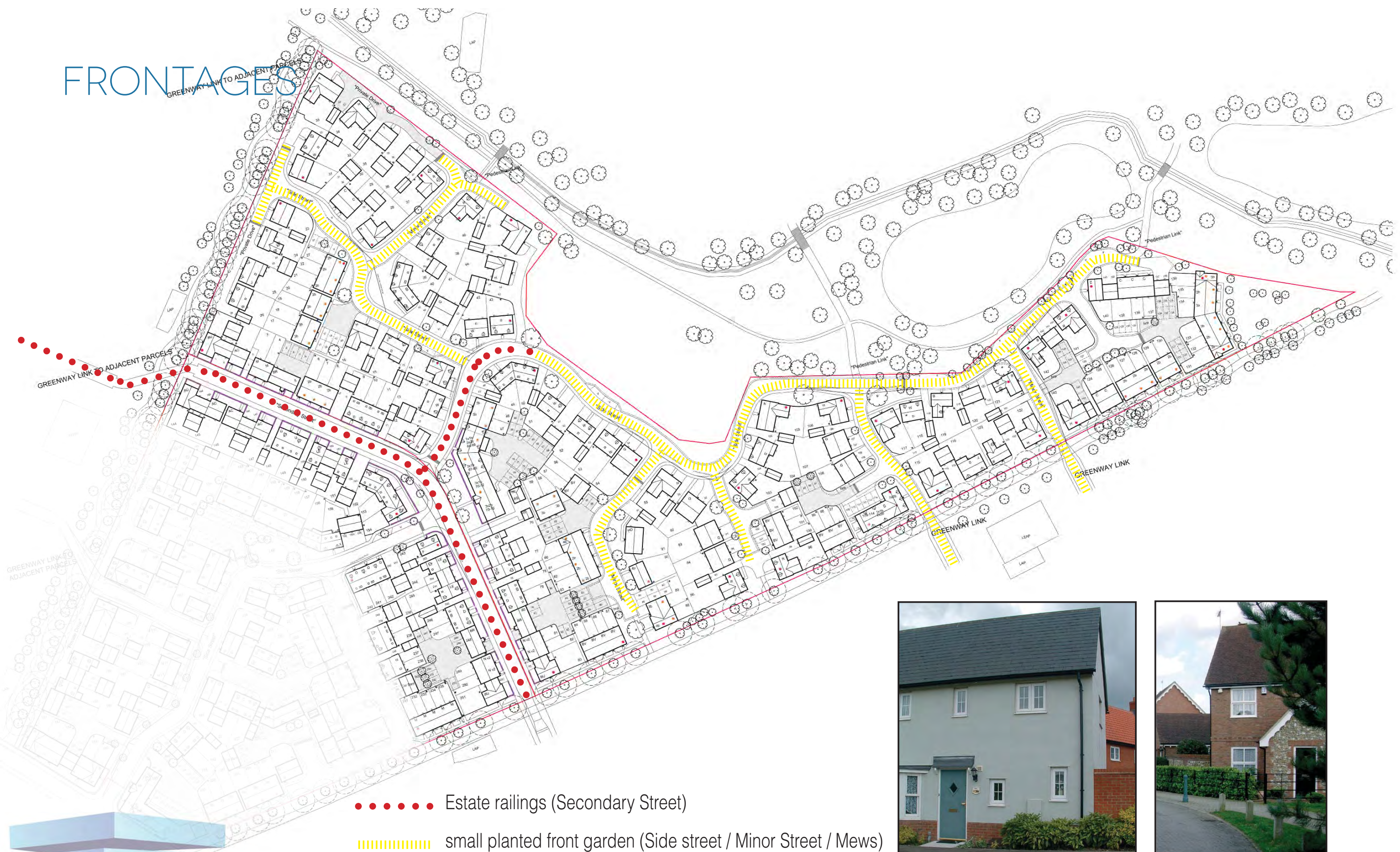
PUBLIC REALM



Street Type	PRIMARY STREET	SECONDARY STREET	SIDE STREET	MINOR STREET / MEWS / COUNTRY LANE
Boundary Treatment	N/A	1.2m high slender simple estate black metal railings or hedging.	Grassed or planted front gardens.	None / or hedging / planted front gardens.
Road Surface	N/A	Asphaltic surface course utilising grey basalt aggregate.	Porous block paving (mid grey).	Porous concrete block paving (cool/light grey) or resin bound gravel surface dressing (Addagrip or similar).
Footpath Surface	N/A	Impermeable concrete slabs (buff).	As carriageway.	As carriageway.
Kerbing	N/A	Conservation textured concrete kerb.	Flush conservation channel.	Flush conservation channel.
Planting	N/A	Sorbus aucuparia - 'Joseph Rock' Sorbus aria Carpinus betulus - 'Fastigate'	Sorbus aria Prunus 'Sunset Boulevard'	Prunus 'Pandora'
<i>Hedging: Carpinus betulus, Rosa rugosa, Crataegus monogyna, Eleagnus ebbingei.</i>				
Street Furniture	<i>Square timber bollards, Traditional parkland timber benches with arms, Timber clad simple square bins, Porous gravel tree pits.</i>			
Street Lighting	<i>Contemporary but traditional shaped lighting columns - black. Street lighting must accord with Oxfordshire County Council specification for lighting columns.</i>			



FRONTAGES



- Estate railings (Secondary Street)
- ▨▨▨▨▨ small planted front garden (Side street / Minor Street / Mews)
(see also frontage plan on CAD layout)



Small planted front garden



Estate Railings

GARAGES

Garages must be located behind the building line.

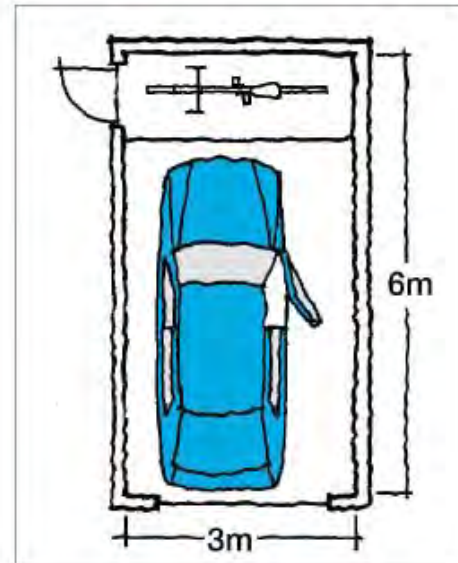
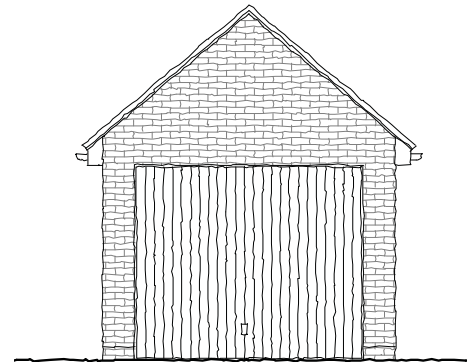


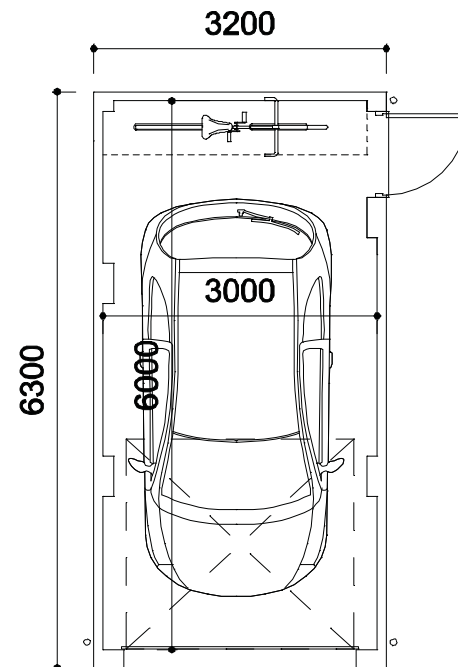
Figure 3.33

Garages must be at least 3.0m wide and 6.0m deep to be considered as car parking spaces.

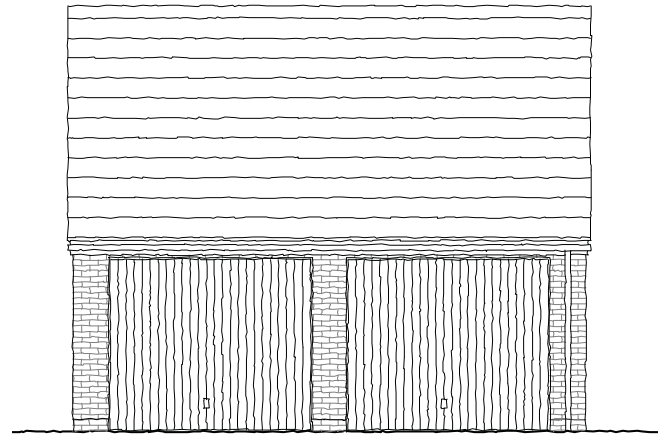
The extra width makes them easier to use and provides space for cycle parking and storage as well.



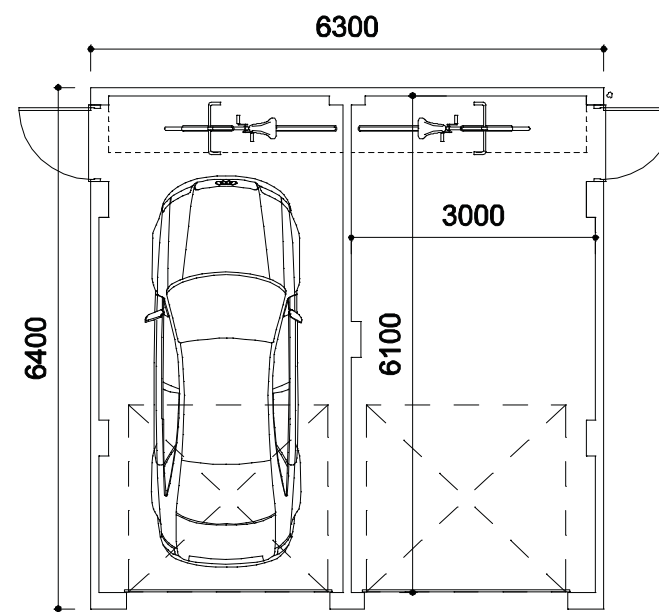
FRONT ELEVATION



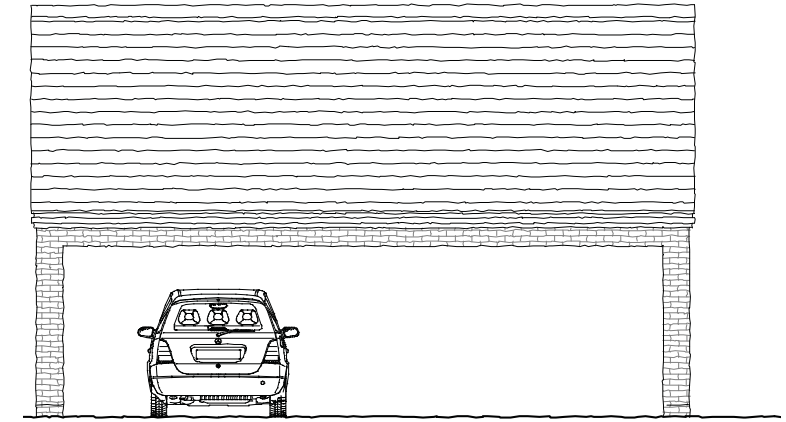
SINGLE GARAGE



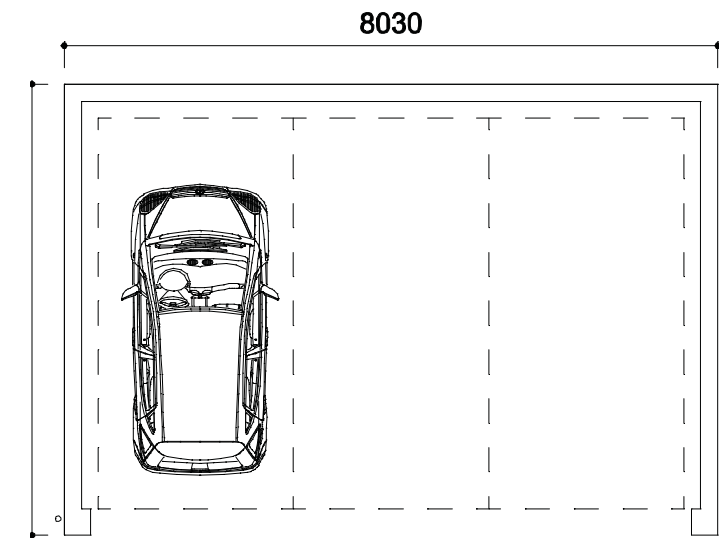
FRONT ELEVATION



DOUBLE GARAGE
JOINT OWNERSHIP



FRONT ELEVATION



CAR BARN JOINT OCCUPANCY

URBAN VILLAGE



DEVELOPMENT LAYOUTS MUST ACCORD WITH THE GENERAL PRINCIPLES

The Urban Village is characterised by enclosed streets lined with a mixture of building types and styles. Richness is found in this varied townscape as well as in the range of uses beyond housing found here, or nearby.

The Urban Village will be legible as the centre of the development, where the intensity of development peaks and the social centre is created. This area is designed as a subtle blend of styles with no one approach dominating. It is laid out in an informal manner but with streets composed according to key principles which together convey urbanity. Here buildings are more likely to be taller, use vertical fenestration, be set close to the pavement and might have a hidden parapet gutter.

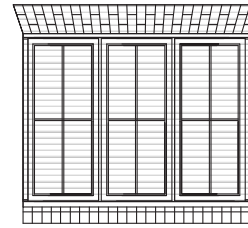
Street greenery will largely be limited to trees and street furniture will be robust, simple and modern. A hard and distinctive public realm is key to this area which is focal to the whole scheme.

- Most compact with greatest street enclosure.
- Housing, retail, commercial, educational, community uses.
- Taller buildings (up to 4 storey) help define primary street
- Strong urban corners formed by buildings.
- Opportunity for contemporary architecture, especially around central space.
- Buildings and architecture employ either horizontal or vertical emphasis.
- Central space to comprise robust urban public realm with prominent trees serving mixed-use buildings (commercial, residential & community centre).
- Central space designed to accommodate a range of functions (including community events) as well as parking and bus stops.
- Eastern gateway to be fronted by landmark buildings
- Development along secondary and tertiary routes will be in less formal / irregular blocks.
- Primary school campus will present a clear frontage along the primary route, with open play spaces located to the rear (including a children's play area)
- Employment Zone blocks will range between 2 and 4 storeys and will protect adjoining residential amenity.
- Health Village integrated with neighbouring residential areas
- The residential development will back onto the petrol station to help screen existing features from the public realm within this character area.



URBAN FORM

	MANDATORY m	Comment
Density	35-40 for the majority. 40-45 on local centre frontage. 30-35 adjoining whitelands character area.	Refer to Figure 4.8c.
Building Heights	Refer to Figure 4.8b.	Taller buildings generally on higher order streets and key spaces.
Building Types	Commercial / Community. Primary school. Housing.	Mostly ground floor with possible residential over. Single storey only. Houses (predominantly paired and terraced). Integrated and connected apartment buildings.
Spatial Arrangement	Rectilinear streets with frequent crossroads. Occasional symmetry. Closed views occasionally with marker buildings. Clear hierarchy of streets and spaces.	
Block Types	Perimeter.	Range of sizes, for instance enabling rear servicing on Primary Street or occasional mews within higher density areas.
Parking Format	On-plot front access - hardstanding - detached garage - attached garage - mews garage On-plot rear access - back garden - chauffeur unit Off-plot rear court Off-plot front court Limited visitors parking in centre of primary street.	
Frontage Setbacks	0.6m minimum.	Between 0.6m and 1.2m Modest variety between streets or areas.



ARCHITECTURE AND MATERIALS



FORTICRETE GEMINI PLAIN TILE
 ARTIFICIAL SLATE
i - Colours to be confirmed at planning stage



	MANDATORY	<i>m</i>	Comment	
Landmark buildings	Landmark A - Retail building.		Key focus of local centre. Should include principal retail outlet, but may include other uses.	n/a
	Landmark B - Primary school.		Key civic building at corner of local centre. Should be legible as civic building with distinctive architecture and best quality materials and finish.	n/a
	Landmark C.		Hotel and residential block to create positive and high quality façades to gateway space.	n/a
Marker buildings	Marker A.		Acute angle corner building at junction of primary street and right of way. Chamfered corner would allow for a small public space.	n/a
	Marker B.		Broad-fronted building (or pair of buildings) closing the vista on a key junction. Must be of significant quality given prominence. Requires contrasting form, materials or colour.	n/a
	Marker C.		Striking corner building perhaps similar to marker F. Contrasting form, materials and / or colour to immediate neighbours. Viewed both directly and obliquely.	n/a
	Marker D.		Bespoke building required but could have same architectural approach as neighbours. Strong corner building closing vista on approach from A41 junction. Distinctively different from neighbours but various approaches acceptable.	n/a
Form	Primarily narrow fronted.		No proportion prescribed	✓
Composition	Informal especially in layout.			✓
Scale	Larger scale buildings and elements on Primary Street boulevard. Larger scale buildings or elements normally reserved for landmark or marker buildings.			✓
Verticality & horizontality	Majority vertical emphasis – but no proportions prescribed.		Mix within streets to add variety.	✓
Façades	Minimal projecting bays. Occasionally corners celebrated with bay windows or such features.			✓
Entrances			Range of solid and part-glazed doors	✓
Windows			Either sash style or casement on vernacular buildings	✓
Wall materials	Red or buff brick or through coloured render. Minimum 75% through coloured render to be used in local centre.		Approximate proportions – red (40%) or buff (10%) brick. Through coloured render (50%).	✓
Roof materials	Slate or tile.		Approximate proportions – Grey artificial Slate (70%) Brindle red plain concrete tiles (30%).	✓
Colour	Render coloured to match pale grey stone, or white, magnolia or pastel creams.			✓



- RED BRICK 1
- RED BRICK 2
- BUFF BRICK
- STONE
- CREAM RENDER

Street Type	PRIMARY STREET	SECONDARY STREET	SIDE STREET	MINOR STREET / MEWS
Boundary Treatment	0.9 – 1.2m high contemporary, clean lined style railings.	Low picket fence and / or grassed / planted front gardens.	Low picket fence and / or grassed / planted front gardens.	None – or gravel trim or small planted front garden.
Road Surface	Asphalt (HRA) with dark grey aggregate chippings.	Asphaltic surface course utilising grey basalt aggregate.	Porous block paving (mid grey).	Porous concrete block paving (cool/light grey).
Footpath Surface	Impermeable concrete slabs (buff).	Impermeable concrete slabs (buff).	As carriageway.	As carriageway.
Kerbing	Conservation concrete kerb.	Conservation concrete kerb.	Flush conservation channel.	Flush conservation channel.
Planting	Acer campestre - 'Streetwise'	Acer campestre - 'Streetwise' Prunus 'Sunset Boulevard'	Malus tschonskii Sorbus aria Sorbus aucuparia - 'Sheerwater Seedling'	Malus tschonskii Sorbus aria Sorbus aucuparia - 'Sheerwater Seedling'
Hedging: Carpinus betulus, Lonicera pariclymenum, Eleagus ebbingei, Prunus lusitanica.				
Street Furniture	Square timber bollards, Traditional parkland timber benches with arms, Timber clad simple square bins, Porous gravel tree pits. All black.			
Street Lighting	Contemporary but traditional shaped lighting columns - black.	Contemporary but traditional shaped lighting columns. Street lighting must accord with Oxfordshire County Council specification for lighting columns.		

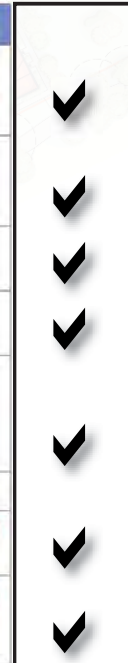
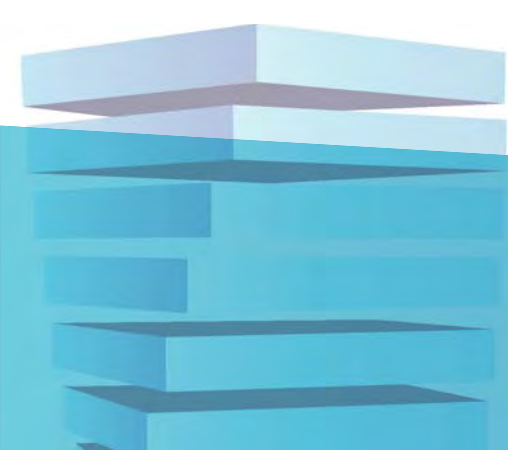


Figure 3.31 Appropriate render colours – other creams or pale greys will also be acceptable as well as white, subject to the agreement of the local authority.

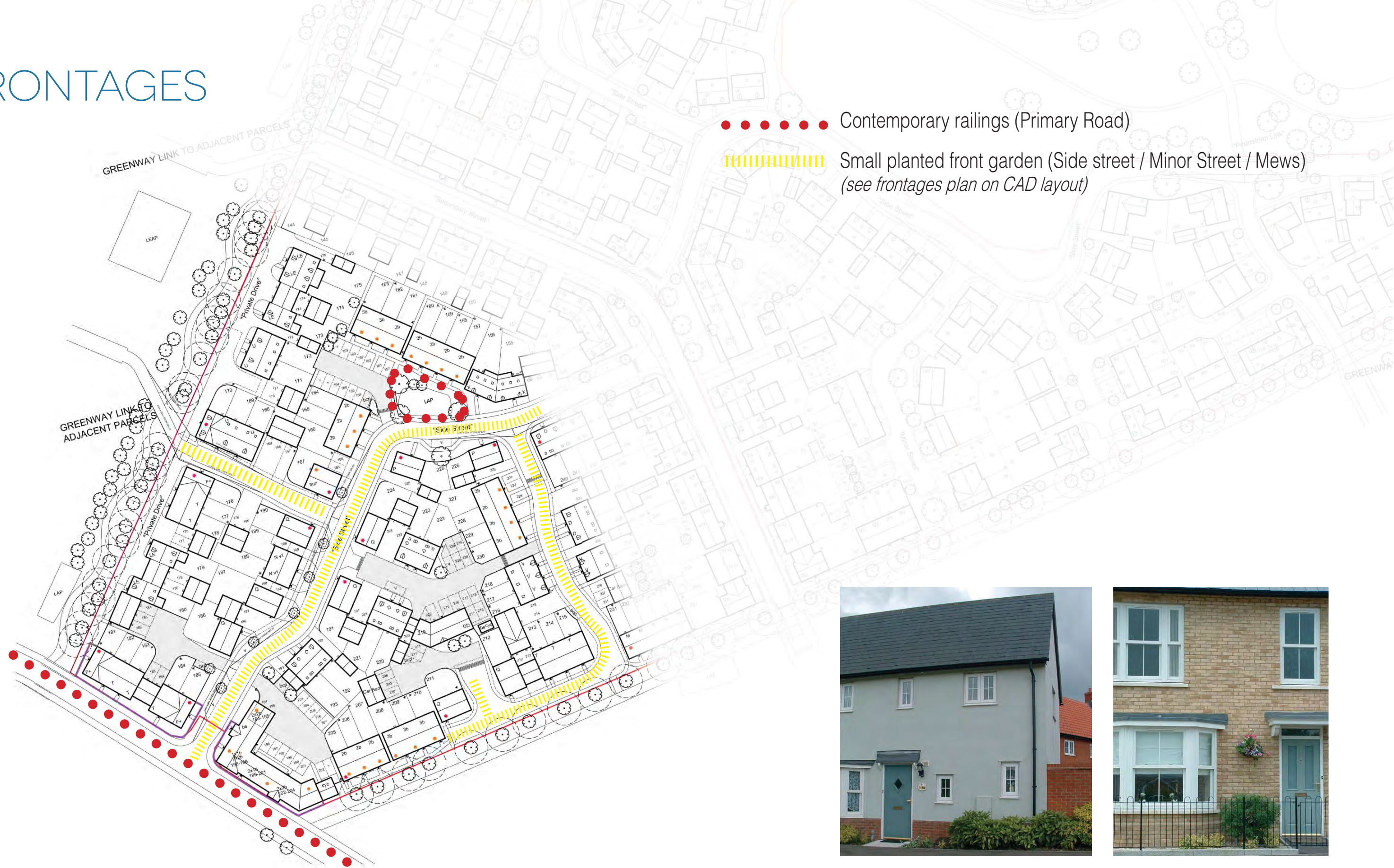


Based on Natural Colour System (NCS) Colour palette (British Standard references begin with BS).

Colours shown here are indicative only. All specifications must be done using either the BS or NCS reference numbers given.



FRONTAGES



● ● ● ● ● Contemporary railings (Primary Road)

▨▨▨▨▨▨▨▨▨▨ Small planted front garden (Side street / Minor Street / Mews)
(see frontages plan on CAD layout)



Small planted front garden



Contemporary railings



ERIC COLE ARCHITECTURE

KINGSMERE

BICESTER