



Parcels KMA & KMB, Kingsmere, Bicester

Supporting Statement Showing Compliance with Kingsmere Design Code

October 2014



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Hydrock 


**Countryside
Properties**


**Linden
HOMES**



KMA

KMB

KMB

KMA



1.0 Introduction

This document should be read in conjunction with the plans submitted as part of this Reserved Matters Planning Application.

1.1 This report has been prepared to support development proposals – in the form of a Reserved Matters Application – by Linden Homes Thames Valley at Kingsmere – a new residential community located to the south west of Bicester. The proposals have been developed following discussions with Cherwell District Council.

1.2 The purpose of the document is to demonstrate how the proposals comply with the design guidance contained in the Kingsmere Design Code, which is the primary means of controlling applications for development will be assessed using the code.

1.3 These proposals relate to Parcel KMA & KMB which lies towards the southern end of the development closest to the A41, to the north of the adjacent approved David Wilson Scheme.

1.4 One of the primary means by which development is controlled by the Design Code is through the use of the 'Character Areas'. Both Parcels KMA and KMB lie predominantly within the 'Whitelands' character area with a small proportion within the 'Urban Village' character area fronting onto the Primary Street.

1.5 The lead developer is responsible for the majority of the infrastructure within the entire development and which passes through the individual character areas. This includes:

- *Strategic infrastructure*
- *Primary Streets*
- *Strategic foul and surface water drainage*
- *Structural Landscaping*
- *Informal Open Space (excluding LAP's not within open space or structured planting) Greenways and landscaping works to retained public rights of way.*



Figure 1: Illustrative Sketch Layout

1.0 Introduction

1.6 Parcels KMA & KMB (Urban Village and Whitelands) Design Code Guidance

"The Urban Village is characterised by enclosed streets lined with a mixture of building types and styles. Richness is found in this varied townscape as well as in the range of uses beyond housing found here, or nearby.

This area is the most vibrant because of its accessibility, the cross-section of people drawn in by the community, commercial and educational uses and its position at the centre of routes through Kingsmere. The urban village will be legible as the centre of the development, where the intensity of development peaks and the social centre is created.

This area is designed as a subtle blend of styles with no one approach dominating. It is laid out in an informal manner but with streets composed according to key principles which together convey urbanity. Here buildings are more likely to be taller, use vertical fenestration, be set close to the pavement and might have a hidden parapet gutter. Contemporary architectural styles and details may be more prevalent here.

Street greenery will largely be limited to trees and street furniture will be robust, simple and modern. A hard and distinctive public realm is key to this area which is focal to the whole scheme".

"Whitelands is characterised by green streets where informal front gardens, soft verges and prominent trees dominate the street scene. Whitelands seeks to fuse with the public open spaces south of Kingsmere and looks to the countryside views beyond. Generous plots allow gaps between buildings creating a sense of space and enabling cars to be parked behind the building line.

Architecturally conservative, Whitelands borrows the traditional forms and styles seen in popular local villages. Streets and spaces may be enclosed by wide fronted, steep roofed buildings, possibly faced in stone and render with white casement windows alongside entrances covered by small porches. Gable elevations will feature as part of some streets.

Modest and informal building groups combine to create simple streets and occasional focal spaces. Vistas are generally closed by buildings until the development edge clear and open views are possible to the south"

1.7 A number of tables set out detailed requirements within the Design Code (which are mandatory) for development within the 'Urban Village' and 'Whitelands' character area and this supporting statement will show how the submitted reserved matters application for these parcels will accord with these requirements.



2.0 Compliance

Please note: Where text is Mandatory it is *highlighted* in red

Page 6	Fig 1.2 Character Areas	Compliant
Page 7	Fig 1.3 Block Patterns	Compliant
Page 32	Fig 3.1 Land Use	Compliant
Page 36	Fig 3.2 Landscape elements	Compliant
Page 39	Fig 3.4	Compliant

Safe and attractive public spaces and routes must be provided throughout Kingsmere

Compliant - Conveniently located LAP's and pocket parks of open space with new housing providing active frontages and natural surveillance.

Page 40 - Planting Strategy

To reflect the character of the site and the surrounding area, and to provide a strong rural identity to the development, a high percentage of all planting must be comprise native species common to the area. The infrastructure planting must comprise no less than 90% native planting.

The Landscape Architect will ensure compliance with landscaping within the Parcels.

Page 40 – Street planting

All planting details for trees must comply with NHBC Technical Standards and avoid the need for special foundations for adjacent development. All planting must be in accordance with National Plant Specification.

The Landscape Architect will ensure compliance.

Page 42 - Biodiversity and Wildlife

Page 43 - Greenway / Habitat Links

Existing hedgerows will be maintained and improved with additional planting of native species where necessary.

Hedgerow management will aim to enhance the value to wildlife of these corridors.

Pockets of scrub and areas of grassland will be included along the green links, improving their current ecological value and improving their viability as dispersal corridors for mammals, birds and insects.

Landscape Architect to ensure compliance.

Page 44 – Playspace Strategy

All residents must be provided with playspace in accordance with the requirements of Cherwell District Council's adopted strategy. Within residential areas LAPs must be provided as agreed with the Council at the reserved matters stage.

Page 45 - Playspace Strategy continued

All LAPs must be easily accessible to pedestrians and positioned in either traffic free or traffic-calmed public area.

Compliant - KMA and KMB are surrounded by a NEAP, a LEAP, and several LAPs that will serve the proposed development. Two LAPs are also provided within the development boundary to serve each parcel. The location of these has been determined through discussions with Cherwell District Council.



Figure 2: Proposed Layout indicating Play Area within Parcel KMB

2.0 Compliance

Page 52 – Street Network

- *The hierarchy of routes is fixed and comprises:*
- *Primary Street*
- *Secondary Street*
- *Side Street*
- *Minor Street / Mews / Country Lane*
- *Private Drives*

The primary, secondary and side streets will be designed for a maximum vehicle speed of 20mph.

Minor Streets / mews / Country Lanes and Private Drives will be designed for a maximum vehicle speed of 10mph.

Compliant - Parcel KMA and KMB contains Primary Street with a Secondary Street dissecting the parcels in a east to west direction, with Side Streets linking to the private drives within Whitelands. Two mews will link Side Streets whilst Private Drives provide access to the lower density on the rural edge.

Page 53 – Street Network continued

Table 3.15 Street Hierarchy Design Parameters - Compliant

Page 54 - Fig 3.16 Street Hierarchy sections with character area variants

Section B – B - Compliant - Refer to 100 Planning Layout

Section C – C - Compliant - Refer to 100 Planning Layout

Mandatory refers to adoptable highway and front boundary treatments on Primary Streets only. Front boundaries include hedges, railings and walls within 0.5m of the public realm.



Figure 3: Proposed Layout indicating Street Networks throughout Parcels KMA and KMB

2.0 Compliance

Page 56 – Primary Street (*locations mandatory*)

There are three distinct design formats for the Primary Street. Each relates to the three character areas through which the street passes.

Compliant – Primary Street Whitelands includes a central carriageway with planted verge with trees.

Compliant – Primary Street Urban Village includes car parking with tree planting on a central reserve or a central carriageway with pavements either side and private front gardens (see Sections B-B and C-C, Figure 3.16).

Page 60 – Paragraph 3.3 Urban Form - Density and Building Heights – Residential density

The highest densities will be located in the most accessible places, within the local centre and immediately adjacent primary routes. The rural edge of the site will respond to the surroundings and lower densities, to a minimum of 30 dwellings per hectare, will be used.

Compliant – Density for KMA and KMB fall within the 30 -35 dwellings per hectare requirement. There is also a maximum number of 226 dwellings permissible on this parcel as approved under the original outline planning approval form the Kingsmere development.

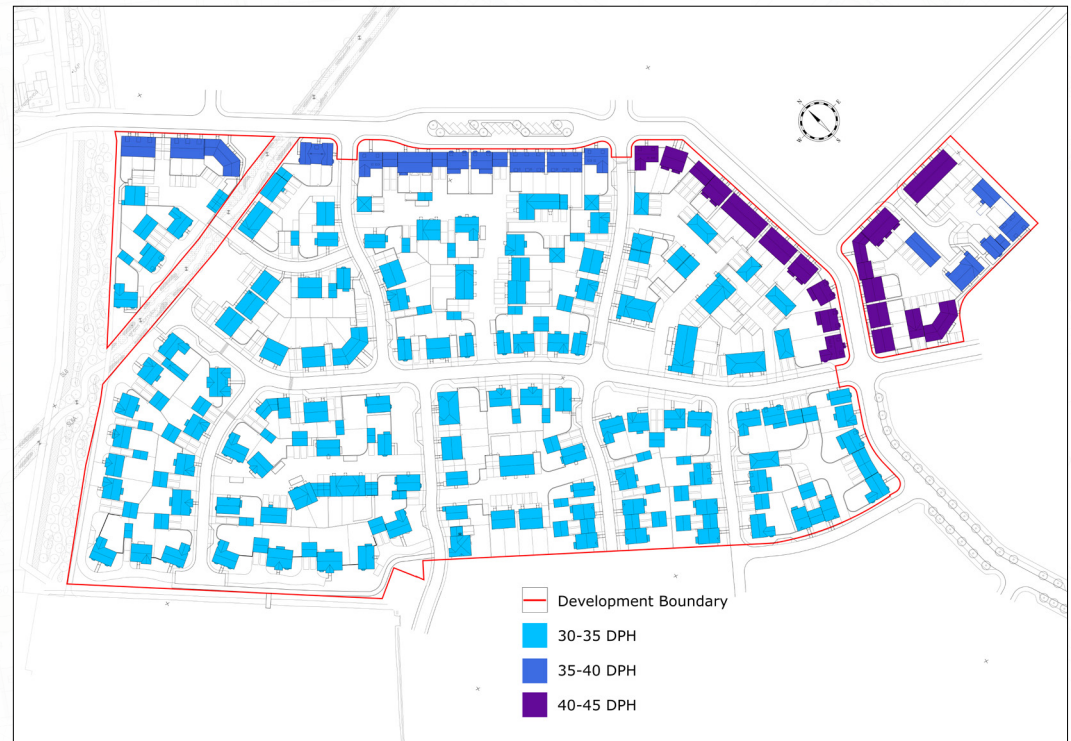


Figure 4: Proposed Layout indicating Densities within Parcels KMA and KMB

2.0 Compliance

Page 62 – Paragraph 3.3 Urban Form continued - Density and Building Heights – Building heights

Maximum building heights range between two and a half and four storeys within the outline planning permission.

Compliant – The submitted proposal consists of a mix of two; two and half and three storey dwellings which is in accordance with Figure 3.21 Building Heights. Three and two and half storey dwellings front the Primary Street with a mix of two and two and half storey dwellings within the remainder of Parcels KMA and KMB.

Lower buildings will be located throughout the scheme but predominantly close to the rural edge of the site, and away from primary and secondary frontages.

Compliant – The submitted proposal, particularly within Parcel KMA, consists of predominantly two storey closest to the rural edge.

Page 64 – Paragraph 3.3 Urban Form – Townscape – Frontages

All blocks must retain a strongly defined private / public realm boundary and include a high proportion of active frontage, (through the use of main windows and front doors) to promote natural surveillance.

Along Primary and Secondary Streets a minimum of 80% active frontage must be achieved. Active frontage is defined as the façade with the main entrance into the residential properties. The 80% specified includes garages and side street entrances along the street.

All streets must be overlooked and have natural surveillance.

Where the streets differ on the hierarchy the main building façade must address the higher order street.

Compliant – 86% of the dwellings along the Primary Street have active frontage.



Figure 5: Proposed Layout indicating Building Heights within Parcels KMA and KMB

2.0 Compliance

For Lower order streets a minimum of 50% active frontage must be achieved.

Compliant – all dwellings address either Side Street or Mews.

First Tier (See Figure 3.22) Primary Frontages will reflect the importance of their location at gateway entrances, and at the heart of the development. They will be treated as distinctive elements employing a unique combination of landscape and building form.

Second Tier (See Figure 3.22) Secondary frontages will reflect their importance alongside key routes (generally primary streets). They will comprise the most consistent and clear streetscapes expressed through the design of the public realm and composition of building groups.

Secondary frontages will be impressive and desirable residential or business addresses due to their scale, quality and prominence.

Compliant – Three and two and a half a storey units along the Primary Street provide imposing formal presence.

Rural edge and public open space frontages -

Frontages will be less rigid than the primary and secondary frontages. Small changes in building line or orientation will reflect greater informality while private plots will typically incorporate generous front gardens and/or be set behind naturalistic greenery in the public realm. A range of 2-6m deep front gardens must be used in these locations.

Compliant – Dwellings fronting the rural edge have set backs of varying depth and reflect a more informal building line.

Third Tier (not shown in Figure 3.22) The remaining frontages will be addressed as lower order streets. Each will be carefully composed to reflect the qualities of the character area and in a less assertive manner than first or second tier frontages.



Figure 6: Proposed dwellings fronting the Primary Street



Figure 7: Proposed dwellings fronting the Secondary Street



Figure 8: Proposed dwellings fronting the Rural Edge within Whitelands

2.0 Compliance

Page 65 – Paragraph 3.3 Urban Form – Townscape – Landmark and marker buildings

Marker buildings must be provided in the locations identified on Figure 3.22 and must aid legibility through being visually distinctive.

These buildings will be locally distinctive, employing a mixture of scale, mass, materials, style and details to enhance their profile. Marker buildings will be important signifiers of the character area and may accentuate one or more character area building feature to this end.

Compliant – Parcels KMA and KMB both contain Marker buildings – buildings A and B and they are both within the Whitelands Character Area.



Figure 9: Proposed Layout illustrating the Marker Buildings within Parcels KMA and KMB

2.0 Compliance

Page 69 – Paragraph 3.3 Urban Form – Architectural Strategy

The principles for grouping and composition are that proposals must include either:

Short groups or terraces – normally no longer than three or four buildings. Longer terraces on the Primary Street will be acceptable, particularly in combination with taller buildings (see Figure 3.24-3 and 4).

Single, detached buildings – used with due regard for their impact on street enclosure.

Connected buildings with a common front building line – presenting a seamless street frontage (see Figure 3.24 - 3 and 4).

Connected buildings of differing width and depth as well as height to create an organic character (see Figure 3.24 - 5, 6 and 7).

Streets comprising a limited series of similar building groups or compositions – to ensure a calm and cohesive townscape.

Compliant – Compliancy is not always achievable as the Design Code requires garages to be set back behind the building line making a common line impossible. The aim along the Secondary Street has been to provide connected buildings of differing widths with parking courts provided behind to ensure a seamless street frontage.

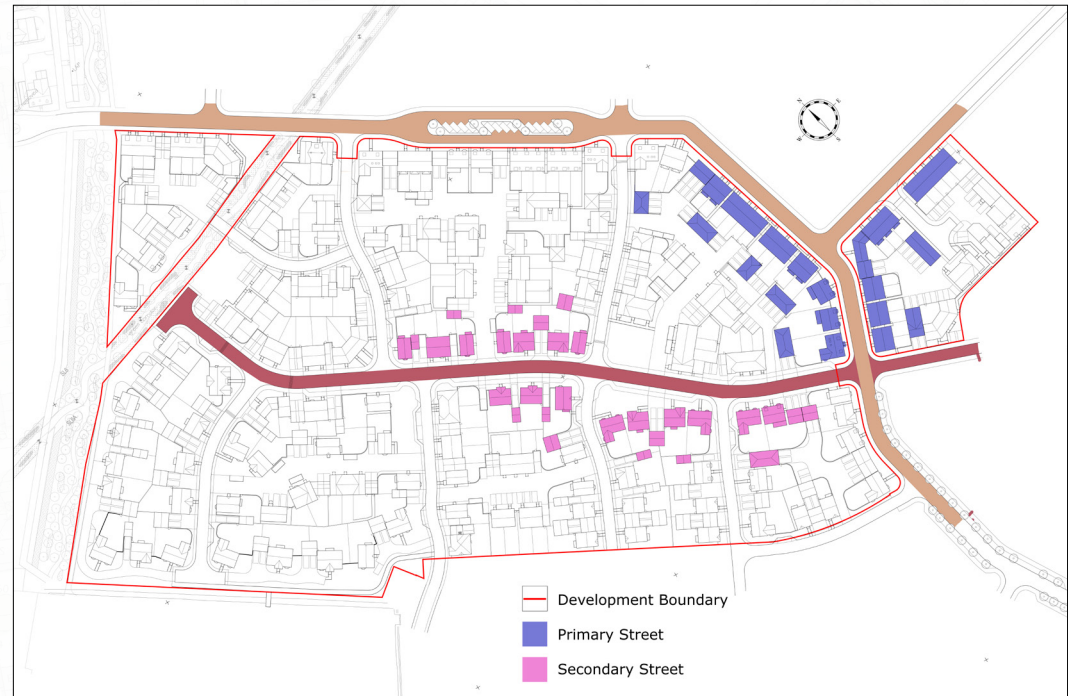


Figure 10: Proposed Layout indicating the Architectural Strategy within Parcels KMA and KMB

2.0 Compliance

Page 69 – Paragraph 3.3 Urban Form – Architectural Strategy – Scale

Buildings of largest scale must be located:

- 1. on primary Streets*
- 2. on primary frontage*
- 3. at key gateways*
- 4. at local centre*

Buildings of significant scale must be located on internal green spaces and greenways, and must be avoided on the rural edge.

Compliant

Buildings of smallest scale must be located in minor streets, fronting minor public spaces and on the rural edge.

Compliant – Storey heights criteria set out in the Design Code for Parcels KMA and KMB include all areas designated from two storey* to three/four storey** across both parcels.**

** within this area 5% may be 1 storey (but only on third tier frontages) and 20% may be 2.5 storey. In addition 3 storey buildings may be permissible as landmark or marker buildings.*

*****within this area 10% may be 2.5 storeys (or equivalent in the case of community facility buildings)*

Compliant - The proposal consists of a mix of two, two and a half and three storey dwellings which is in accordance with Figure 3.21 Building heights. Two and a half and three storey units front the Primary Street with a majority of two storey dwellings within the remainder of both parcels. Two and a half storey units (20%) are also located within the site to provide interest and variety.

2.0 Compliance

Page 71 – Paragraph 3.3 Urban Form – Architectural Strategy – Roof

Roofs must be simple, pitched and gabled, unless there is a clear townscape need for an alternative approach and should fall to eaves with minimal projection. Wide-fronted / shallow depth buildings must have a pitch of not less than 40°

Abutting single-storey roofs must use a pitch to match the main building. Freestanding outbuildings or garages must have roofs that match the form, pitch and materials of the main building. Flat roofs must be limited within residential areas.

Eaves details must relate directly to the building type.

Gutters must be mounted directly on walls, sprockets or rafter feet, but can be concealed in a cornice or fall behind a parapet.

Small rooflights are acceptable only on rear slopes to limit views within the public realm. These must be parallel with the roof pitch and have a minimal projection above the plane of the roof.

All end gables must be detailed to avoid blank exposed end walls.

Compliant – Rooflines are simple with some steep pitches running parallel to the primary building line with variation at corners in some locations. All end gables have fenestration to provide activity and surveillance.

20% of the houses in the Whitelands and Pringle Brook character areas must have chimneys. This is to increase to 40% for all buildings fronting the rural edge in the Whitelands character area.

Compliant – Within the main body of KMA and KMB, 45 of 154 units have chimneys equating to 29.2%. Whilst on the rural edge 6 of 8 dwellings have chimneys equating to 75%.

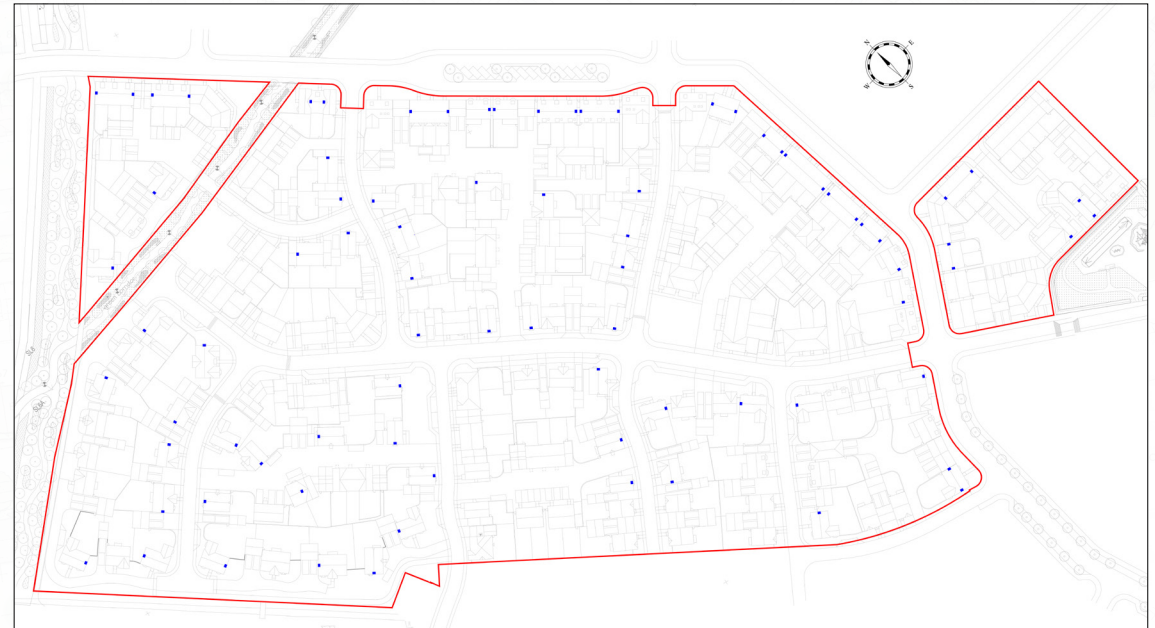


Figure 11: Proposed Layout indicating the locations of Chimneys across Parcels KMA and KMB

Building entrances must normally be in the front façade.

Figure 3.26 *Most entrances must be at the front of the building, rather than the side.*

Figure 3.27 *Most entrance doors must be set close to the front façade in accordance with local precedents.*

Compliant – refer to individual planning house types and street scenes.

2.0 Compliance

Page 72 – Paragraph 3.3 Urban Form – Architectural Strategy – Windows, including surrounds and materials

Windows and their subdivisions must relate to the proportions of the host building.

In traditionally-designed residential buildings, windows must be either vertical sashes or side-hung casements, whilst more contemporary, community and commercial buildings may have more variety.

Windows on front facades must be to principal rooms on all floors, including the kitchen, ensuring they contribute to surveillance of the street.

Compliant – all windows are side hung casement style. Refer to individual planning house types and street scenes.

In vernacular buildings with casement windows, external lintels must be expressed in timber or red brick. In buildings with vertical openings and sash windows, lintels must be expressed with stone or brick. In contemporary designs the need for and type of lintel must relate to the style of architecture.

Compliant – Refer to individual planning house types and street scenes.

Windows must be coloured white or off-white. Where other colours are used the colour must be applied rather than integral thereby providing flexibility for the future.

Compliant – Refer to individual planning house types and street scenes.

Top hung false sash windows are not allowed.

Compliant – Refer to individual planning house types and street scenes.

Where paired windows are used they can either have two opening leaves or a single opening leaf, but they must have proportions identical for both sides (see above).

Compliant – Refer to individual planning house types and street scenes.

Page 73 – Paragraph 3.3 Urban Form – Building Materials – Walls

On all buildings within all character areas external walls must generally be faced in brick, reconstituted, natural stone, or render. Modern cladding systems may also be used but must use local colours and tones. The materials specified should harmonise with those that typify this part of Cherwell District.

Brick walls must be either English or Flemish bond and should generally be soft red to match historic buildings in Bicester with buff brick used occasionally or in certain character areas.

Where constituted stone is used, it must be a good colour and texture match for the local stone.

Similarly, barge boards and fascia boxes must not be used.

Compliant – Refer to External Works Layout, External Finishes drawing and individual planning house types and street scenes.

Page 73 – Paragraph 3.3 Urban Form – Building Materials – Roofs

Roof coverings shall be high quality artificial stone slate, thatch, clay tiles or small scale plain concrete tiles. Tile vents to slopes are not permitted, with roofs being ventilated via the ridge and eaves.

Colours of roofing materials must reflect the local vernacular.

No interlocking tiles or slates will be acceptable on first or second tier frontages.

Compliant – Refer to External Works Layout, External Finishes drawing and individual planning house types and street scenes.

2.0 Compliance

Page 73 – Paragraph 3.3 Urban Form – Building Materials – Rainwater goods

Rainwater goods should be black coloured cast iron, aluminium or plastic.

White fittings may be used over white render.

Compliant – Refer to External Works Layout, External Finishes drawing and individual planning house types and street scenes.

Page 73 – Paragraph 3.3 Urban Form – Building Materials – Colour

Wall materials and colours at Kingsmere must match or harmonise with the local stone and brick.

Compliant – Refer to External Works Layout, External Finishes drawing and individual planning house types and street scenes.

Page 74 – Paragraph 3.3 Urban Form – Parking – Car and cycle parking

Residential car parking must comply with the adopted standards at the time of a reserved matters application. Prior to new parking standards being formally adopted, the following will apply:

- 1-2 bedroom = 1 space
- 3 bedroom = 2 spaces
- 4+ bedroom = 3 spaces
- Where a double garage is provided, 4 spaces are acceptable, excluding Primary and Secondary Streets and the Urban Village.
- Visitor spaces must be provided in the public realm or in easily accessible communal courtyards.

Provision must be made for covered and secure cycle parking within all garages. Those properties without garages must provide covered and secure cycle storage. Cycles must be accessible from within garages without the need to remove parked cars.

Compliant – All dwellings are provided with the requisite number of parking spaces in various forms including driveways, garages and small courtyards.



Figure 12: Proposed Layout indicating the Parking proposals within Parcels KMA and KMB

2.0 Compliance

All front access options must have a 2m x 2m visibility splay to the public realm.

Compliant – Refer to Planning Layout.

Page 75 – Paragraph 3.3 Urban Form – Parking – Communal public car parking

On street car parking will be offered for adoption and management to Oxfordshire County Council. Mews courts with five or more dwellings will be adopted. Mews with less than five dwellings will be privately maintained, including all external lighting.

To be Complied with by Linden Homes Thames Valley.

Page 75 – Paragraph 3.3 Urban Form – Parking – Garages

Single garages must have a minimum internal width of 3.0m, to allow occupants to exit the vehicle easily, and depth 6.0m, to allow bike parking and storage. Smaller garages will not be considered as providing car parking. Cycles stored within garages must be accessible without the need to remove parked cars.

Double garages must have a minimum internal width of 5.6m and a depth of 6.1m.

Compliant – Refer to detailed garage drawings.

Garages must be located behind the building line.

Compliant – Refer to Planning Layout – Compliant parking and garages are located behind the building line in the majority of situations.

Figure 3.33 Garages must be at least 3.0m wide and 6.0m deep to be considered as car parking spaces.

Compliant – Refer to detailed garage drawings.



Figure 13: Proposed Layout illustrating the Garages behind the building line to Parcels KMA and KMB

2.0 Compliance

Page 78 – Paragraph 3.4 Detail – Boundary Treatments

All side or rear boundaries to the public realm on Primary, Secondary or Side Streets must be walls except within the Whitelands Character Area where wattle fencing can be used. Walls are the preferred option for Minor Streets and Mews but alternatives can be considered at the Reserved Matters stage. Timber fencing can be considered for internal courts as set out below.

Compliant – Refer to External Works Layout, External Finishes Layout, Wall & Fence Details and Street scenes.

Page 78 – Paragraph 3.4 Detail – Boundary Treatments – Front Boundaries

Solid Stone walls must be used with traditional half round ridge tile capping, characteristic of the area.

Generally brick boundary walls must be built in running courses, over 5 meters, or with sloping courses on shorter lengths.

Where plots adjoin the public realm a privacy strip of at least 600mm is required.

Hard landscape must draw on the same materials as used for the street. Soft landscaping should include hedging or low growing shrubs.

Compliant – Refer to External Works Layout, External Finishes Layout, Wall & Fence Details and Street scenes.

Page 78 – Paragraph 3.4 Detail – Boundary Treatments – Rear and Side Boundaries

The rear boundary of homes which back onto a secure central courtyard must allow surveillance of the parking area from habitable rooms whilst maintaining privacy for the rear gardens. The boundary between the gardens and the courtyard will be no less than 1.8 meters high and no greater than 2.0 meters in height.

Compliant – Refer to External Works Layout, External Finishes Layout, Wall & Fence Details and Street scenes.

Page 78 – Paragraph 3.4 Detail – Utilities

Developers must seek to ensure that all meter boxes are positioned internally. If this is not possible, within planning applications developers must justify why not (e.g. as the utility provider will not accept this). Where not internal, meter box positions must be sited to avoid front or prominent positions or must at least be concealed / recessed.

Generally they will be minimal in size, concealed against the adjoining surface or otherwise hidden and will relate consistently to ground levels or building details.

Compliant – Refer to individual planning house types and Street scenes.

2.0 Compliance

Page 79 – Paragraph 3.4 Detail – Refuse and Recycling

Each house must have a hard surface within the curtilage providing space for:

- *One 240 litre blue wheeled bin for the collection of dry recyclable material*
- *One 240 litre green wheeled bin for collection of residual waste*
- *One 240 litre brown bin for the collection of garden waste material*

Each apartment will have space for:

- *One 240 litre blue wheeled bin for the collection of dry recyclable material*
- *One 240 litre green wheeled bin for the collection of residual waste*

Compliant – Refer to Planning Layout, External Works Layout and External Finished Layout.

Each apartment must have a suitable, communal bin storage area which will contain space for two 240 litre wheeled bins per apartment, as noted below. Each communal storage area must contain space for no more than ten bins.

Compliant – Refer to Planning Layout, External Works Layout and External Finished Layout.

For both houses and apartments, bin storage areas must be easily accessible from the adopted public realm. Bin stores for apartments must be located close to the route taken by public refuse collection vehicles. Bins for houses will normally be taken to the public realm by the occupant. Bin storage areas for houses must be behind the building line, at least, and therefore accessways of sufficient width must be provided from each dwelling to the public highway.

Compliant – Refer to Planning Layout, External Works Layout and External Finished Layout for bin location points.

All refuse and recycling collections must be possible direct from the public realm.

Compliant – Refer to Planning Layout, External Works Layout and External Finished Layout for bin location points.

2.0 Compliance

Character Area Codes

Page 107 – Urban Village Character Area

Development Layouts must accord with the general principles set out opposite:

- *Most compact with greatest street enclosure*
- *Housing, retail, commercial, educational, community uses*
- *Taller buildings (up to 4 storeys) help define primary street*
- *Strong urban corners formed by buildings*
- *Opportunity for contemporary architecture, especially around central space*
- *Buildings and architecture employ either horizontal or vertical emphasis*
- *Central space to compromise robust urban public realm with prominent trees serving mixed-use buildings (commercial, residential & community centre)*
- *Central space designed to accommodate a range of functions (including community events) as well as parking and bus stops*
- *Eastern gateway to be fronted by landmark buildings*
- *Development along secondary and tertiary routes will be in less formal / irregular blocks.*
- *Primary School campus will present a clear frontage along the primary route, with open play spaces located to the rear (including children's play area).*
- *Employment Zone Blocks will range between 2 and 4 storeys and will protect adjoining residential amenity.*
- *Health Village integrated with neighbouring residential areas*
- *The residential development will back onto the petrol station to help screen existing features from the public realm within this character area.*

Compliant – Refer to Planning Layout, Street scenes and individual planning house types.

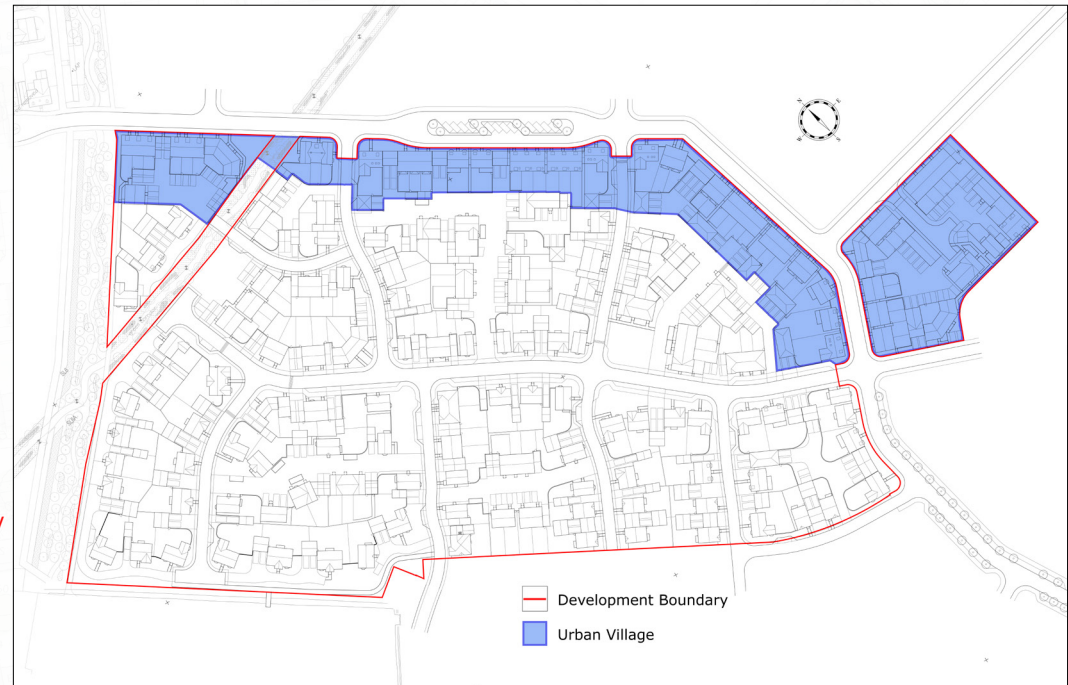


Figure 14: Proposed Layout illustrating the Urban Village Character Area

2.0 Compliance

Page 111 – Urban Village Character Area – Urban Form

Density: *35 – 40 dph for the majority – refer to Figure 4.8c*
40 – 45 dph on local frontage – refer to Figure 4.8c
30 – 35 adjoining Whitelands Character area – refer to Figure 4.8c

Non Compliance – Due to the continuous build form, varying storey heights and dwelling types within the Urban Village Character Area, the densities for Parcels KMA and KMB range from 35dph to 47dph falling just outside the 35-45dph requirement.

Building Heights - *Refer to Figure 4.8b.* Taller buildings generally on higher order streets and key spaces.

Compliant - The proposals consist of a mix a two, two and a half and three storey dwellings which is in accordance with Figure 4.8b Building Heights. Two and half and three storey units front the Primary Street with the majority of two storey units within the remainder of the character area.

Building Types – no non-residential types – *Housing* Houses (predominantly paired, terraced). Integrated and connected apartment buildings.

Compliant – Refer to Planning Layout.

Spatial Arrangement – *Rectilinear streets with frequent crossroads. Occasional symmetry. Closed views occasionally with marker buildings. Clear hierarchy of streets and spaces.*

Compliant – Refer to Planning Layout.

Block Types – *Perimeter.* Range of sizes, for instance enabling rear servicing on Primary Street or occasional mews within higher density areas.

Compliant – Refer to Planning Layout.

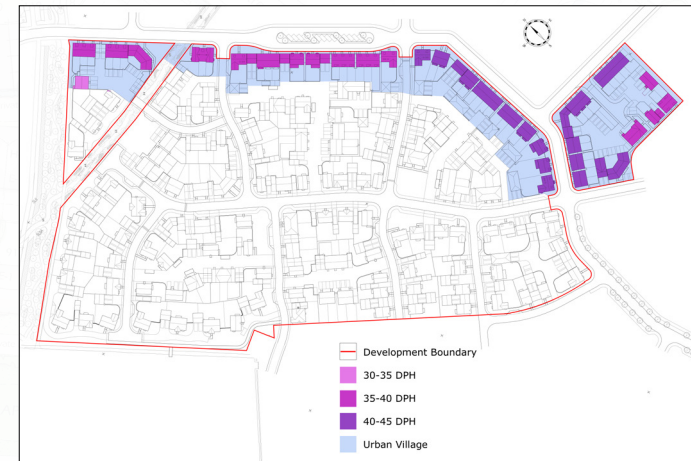


Figure 15: Proposed Layout indicating the proposed Densities in the Urban Village Character Area

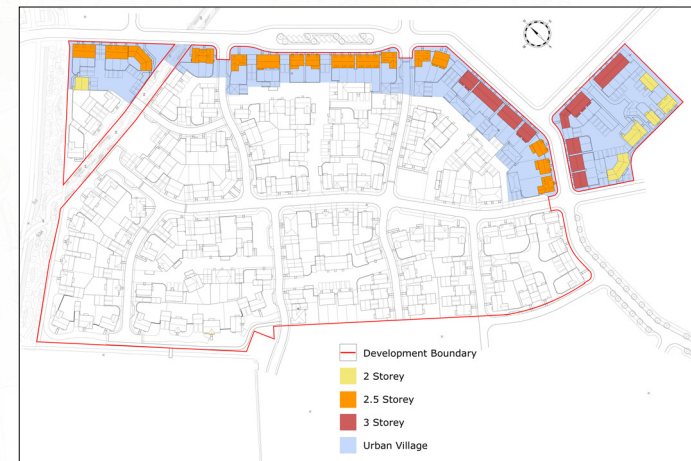


Figure 16: Proposed Layout indicating the proposed Storey Heights in the Urban Village Character Area

2.0 Compliance

Parking Format –

On plot front access

- *hardstanding*
- *detached garage*
- *attached garage*
- *Mews garage*

On-plot rear access

- *back garden*
- *chauffeur unit*

Off -plot rear court

Off-plot front court

Limited visitors parking in centre of Primary Street

Compliant – Refer to Planning Layout

Frontage Setbacks – *0.6m minimum* – Between 0.6m and 1.2m. Modest variety between streets or areas.

Compliant – Refer to Planning Layout



Figure 17: Proposed Layout indicating the Parking arrangements to the Urban Village Character Area

2.0 Compliance

Page 112 – Urban Village Character Area – Architecture and Materials

Landmark buildings - *Landmark A – Retail building*
Landmark B – Primary School
Landmark C

Non Compliance – Not applicable.

Marker buildings - *Marker A*
Marker B
Marker C
Marker D

Non Compliance – Not applicable.

Form - *Primarily narrow fronted.* No proportion prescribed.

Compliant – Refer to individual planning house types and street scenes.

Composition - *Informal especially in layout*

Compliant – Refer to Planning Layout, individual planning house types and street scenes.

Scale - *Larger scale buildings and elements on Primary Street boulevard.*
Larger scale buildings or elements normally reserved for Landmark or Marker buildings.

Compliant – Refer to individual planning house types and street scenes.

Vertically & horizontally - *Majority vertical emphasis – but no proportions prescribed.* Mix within streets to add variety.

Compliant – Refer to individual planning house types and street scenes.

Facades - *Minimal projecting bays.*
Occasionally corners celebrated with bay windows or such features.

Compliant – Refer to individual planning house types and street scenes.

Entrances - Range of solid and part-glazed doors.

Compliant – Refer to individual planning house types and street scenes.

2.0 Compliance

Windows - Either sash style or casement on vernacular buildings.

Compliant – Refer to individual planning house types and street scenes.

Wall materials - *Red or buff brick or through coloured render. Minimum 75% through coloured render to be used in local centre.*

Approximate proportions – red (40%) or buff (10%) brick. Through coloured render (50%)

Compliant – Refer to individual planning house types , street scenes, External Works Layout and External Finished Layout.

Roof materials - *Slate or tile.* Approximate proportions – Grey artificial slate (70%). Brindle red plain concrete tiles (30%)

Compliant – Refer to individual planning house types , street scenes, External Works Layout and External Finished Layout.

Colour - *Render coloured to match pale grey stone, or white, magnolia or pastel creams.*

Compliant – Refer to individual planning house types , street scenes, External Works Layout and External Finished Layout.

Page 114 – Urban Village Character Area – Public Realm – Streetscape

Key public realm elements table.

Compliant – Refer to Planning Layout, External Works Layout, External Finished Layout and Wall & Fence Details.

Page 115 – Urban Village character area – Public Realm – Public Spaces.

Landscape Architect to ensure compliance.

Page 116 – Urban Village character area – Public Realm – Soft Landscape - Trees.

Landscape Architect to ensure compliance.

Page 116 – Urban Village character area – Public Realm – Soft Landscape - Shrubs.

Landscape Architect to ensure compliance.

Page 117 – Urban Village character area – Public Realm – Soft Landscape – Hedges.

Landscape Architect to ensure compliance.

Page 117 – Urban Village character area – Public Realm – Soft Landscape – Hedges.

Landscape Architect to ensure compliance.

2.0 Compliance

Page 155 – Character Area Comparisons – Urban Village

Street Type – Primary Street

Boundary Treatment

Contemporary clean-lined railings.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details.

Road Surface

Asphalt (HRA) with dark grey granite aggregate chippings.

Compliant – As Highway Requirement.

Footpath surface

Impermeable concrete slabs (buff).

Compliant – As Highway Requirement.

Kerbing

Conservation straight faced concrete kerb.

Compliant – As Highway Requirement.

Street Type – Side Street

Boundary Treatment

Low picket fence or grassed / planted front gardens.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details.

Road Surface

Porous concrete block paving (mid grey).

Compliant – Refer to External Works Layout and External Finished Layout.

Footpath surface

As carriageways.

Compliant – Refer to External Works Layout and External Finished Layout.

Kerbing

Flush conservation channel.

Compliant – Refer to External Works Layout and External Finished Layout.

Street Type – Minor Street

Boundary Treatment

None – or gravel trim or small planted front garden.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details.

Road Surface

Porous concrete block paving (cool/light grey).

Compliant – Refer to External Works Layout and External Finished Layout.

Footpath surface

Shared with road surface.

Compliant – Refer to External Works Layout and External Finished Layout.

Kerbing

Flush conservation channel.

Compliant – Refer to External Works Layout and External Finished Layout.

Street Furniture

Square timber bollards, traditional parkland benches with arms, timber clad simple square bins, porous gravel tree pits.

Landscape Architect to ensure compliance.

Street Lighting

Contemporary but traditional shaped lighting columns.

Compliance assumed as specification will need to accord with Oxfordshire County Council.

Squares / Pocket Spaces

Hard, paved landscapes. Strong street tree planting. Hardy amenity shrubs. Areas for urban activity in the local centre. Urban central green corridor.

Landscape Architect to ensure compliance.

Landscape

Minimum 50% native plants.

Landscape Architect to ensure compliance.

2.0 Compliance

Character Area Codes

Page 121 – Whitelands Character Area

Development layouts must accord with the general principles set out opposite.

- *Least compact with broken street frontages*
- *Housing fronting countryside and public open space*
- *Predominantly fragmented and informal housing groups*
- *All buildings two storey*
- *Small scale, local landmark buildings at key points*
- *Generally closed vistas along short streets*
- *Occasional small informal and irregular spaces*
- *Traditional vernacular architecture with horizontal emphasis*
- *Small Scale traditional streets and, on the periphery, country lanes*
- *Parking in all formats*
- *Existing mature hedgerow on boundary retained and fronted by buildings.*

Compliant – Refer to Planning Layout, Street scenes and individual planning house types.

Page 125 – Whitelands character area – Urban Form

Density - *30-35dph* – refer to Figure 4.12c

Compliant - The density for Parcels KMA and KMB within the Whitelands Character Area is 31.43dph which is within the required range of 30dph to 35dph.

Building Heights - *Refer to Figure 4.12b* – Taller buildings mainly on Primary Street.

Compliant – The proposals consist of a mix a two, two and a half and three storey dwellings which is in accordance with Figure 4.12b Building Heights. Two and half and three storey units front the Primary Street with the majority of two storey units within the remainder of the character area.

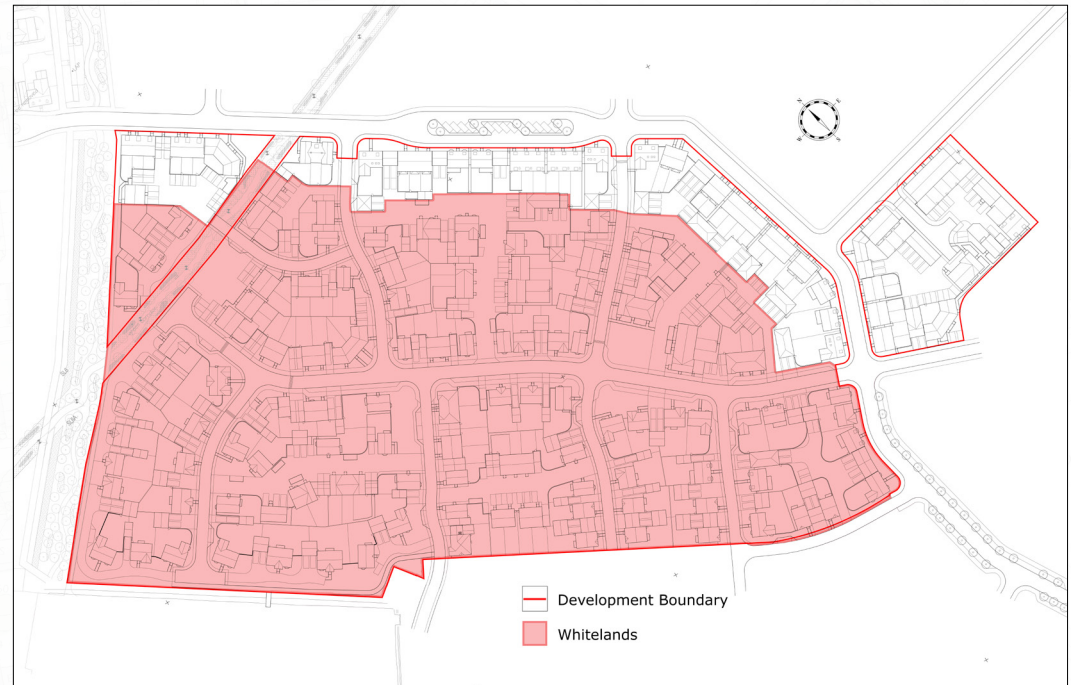


Figure 18: Proposed Layout illustrating the Whitelands Character Area

2.0 Compliance

Building Types - *No Non-Residential types* – Houses (detached, paired, terraced). Few apartments.

Compliant - Refer to Planning Layout.

Spatial Arrangement - *Deformed grid of streets with occasional crossroads. Little symmetry. Closed views, occasionally with marker buildings. Subtle expression of hierarchy of streets and spaces.*

Compliant - Refer to Planning Layout.

Block Types - *Perimeter* – Generally small with few bespoke buildings or rear parking courts.

Compliant - Refer to Planning Layout.

Parking Format - *All the primary street, parking must be provided principally via rear access.*

On plot front access
- hardstanding
- detached garage
- Attached garage

On-plot front access
-hardstanding
-detached garage
-attached garage

On-plot rear access
-back garden

Off-plot rear court

Off-plot front court

Compliant - Refer to Planning Layout.

Frontage Setbacks - *0.6m minimum* – Between 0.6m and 2.4m. Variety within streets emphasising informality. Widening to between 2-6m on rural end.

Compliant - Refer to Planning Layout.



Figure 19: Proposed Layout indicating the proposed Densities in the Whitelands Character Area



Figure 20: Proposed Layout indicating the proposed Storey Heights in the Whitelands Character Area

2.0 Compliance

Page 126 – Whitelands Character Area – Architecture and Materials

Landmark buildings - *Landmark A* – See non-residential section
Landmark B – See non-residential section

Non - Compliance - Not Applicable.

Marker buildings - *Marker A* – Broad-fronted building (or pair of buildings) closing a long vista. Must be strongly representative of the character area in terms of siting, form, materials, textures and colour.

Compliant – Refer to Planning Layout

Marker B – Corner building on primary street.

Important to provide strong link and legible route into housing parcels along side street.

Compliant – Refer to Planning Layout

Marker C – **Non Compliance – Not applicable**

Marker D – **Non Compliance – Not applicable**

Form - *Majority wide fronted / steep pitched roof.*

Compliant – Refer to individual planning house types and street scenes.

Composition - *Informal both in layout and architecture.*

Compliant – Refer to Planning Layout, individual planning house types and street scenes.

Scale - *Larger scale buildings and elements on Primary Street, Marker Buildings or occasionally on rural edge buildings.*

Compliant – Refer to individual planning house types and street scenes.

Vertically & horizontally - *Majority horizontal emphasis.* – Horizontally expressed for instance in roof eaves and ridges, casement windows. Vertically used in secondary locations and to add variety overall.

Compliant – Refer to individual planning house types and street scenes.

2.0 Compliance

Facades - *Minimal articulation or modelling to ensure simple flat facades generally. Occasional (single height) shallow-depth, broad-fronted projecting bays (maximum projection 1.0m).*

Compliant – Refer to individual planning house types and street scenes.

Entrances - Typically solid vertical planked doors on wide fronted vernacular buildings

Compliant – Refer to individual planning house types and street scenes.

Windows - Typically side hung casements on wide fronted vernacular buildings.

Compliant – Refer to individual planning house types and street scenes.

Wall materials - *Through coloured render. Red brick. Stone, including natural stone.* Approximate proportions – Through coloured render (60%). Red brick (20%). Stone (20%)

Compliant – Refer to individual planning house types, street scenes, External Works Layout and External Finished Layout.

Roof materials - *Artificial slate or concrete tile or clay tile and a proportion of thatch.* Approximate proportions – Grey artificial slate (50%) Brindle red plain concrete tiles (35%). Clay tile (15%). A proportion of thatch can be used.

Compliant – Refer to individual planning house types, street scenes, External Works Layout and External Finished Layout.

Colour - *Pale grey stone. Render coloured to match stone, also pastel creams.*

Compliant – Refer to individual planning house types, street scenes, External Works Layout and External Finished Layout.

Page 128 – Whitelands Character Area – Public Realm - Streetscape

Key public realm elements table.

Compliant – Refer to Planning Layout, External Works Layout, External Finished Layout and Wall & Fence Details.

Page 129 – Whitelands Character Area – Public Realm – Public Spaces.

Compliant – Landscape Architect to ensure compliance.

Page 130 – Whitelands Character Area – Public Realm – Soft Landscape - Trees.

Compliant – Landscape Architect to ensure compliance.

Page 130 – Whitelands Character Area – Public Realm – Soft Landscape - Shrubs.

Compliant – Landscape Architect to ensure compliance.

Page 133 – Whitelands Character Area – Public Realm – Soft Landscape - Hedges.

Compliant – Landscape Architect to ensure compliance.

Page 133 – Whitelands Character Area – Public Realm – Soft Landscape – Herbaceous/ ferns/bulbs.

Compliant – Landscape Architect to ensure compliance.

2.0 Compliance

Page 155 – Character Area Comparisons - Whitelands

Street Type – Primary Street

Boundary Treatment

Low stone or rendered walls.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details

Road Surface

Asphalt (HRA) with dark grey granite aggregate chippings.

Compliant – As Highway Requirement

Footpath surface

Impermeable concrete slabs (buff).

Compliant – As Highway Requirement

Kerbing

Conservation straight faced concrete kerb.

Compliant – As Highway Requirement

Street Type – Secondary Street

Boundary Treatment

Low picket fence or grassed / planted front gardens. Wattle fencing for side boundaries.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details

Road Surface

Asphaltic surface course utilising grey basalt aggregate.

Compliant – Refer to External Works Layout and External Finished Layout

Footpath surface

Impermeable concrete slabs (buff).

Compliant – Refer to External Works Layout and External Finished Layout

Kerbing

Conservation straight faced concrete kerb.

Compliant – Refer to External Works Layout and External Finished Layout

Street Type – Side Street

Boundary Treatment

Low picket fence and/or grassed / planted front gardens. Wattle fencing for side boundaries.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details.

Road Surface

Porous concrete block paving (mid grey).

Compliant – Refer to External Works Layout and External Finished Layout.

Footpath surface

As carriageways.

Compliant – Refer to External Works Layout and External Finished Layout.

Kerbing

Flush conservation channel.

Compliant – Refer to External Works Layout and External Finished Layout.

Street Type – Minor Street / Mews / Country Lane

Boundary Treatment

None – or gravel trim or small planted front garden. Wattle fencing for side boundaries.

Compliant – Refer to Landscaping, External Works, External Finished Layouts, Wall & Fence Details.

Road Surface

Porous concrete block paving (cool / light grey) or resin bound gravel surface dressing on rural edge.

Compliant – Refer to External Works Layout and External Finished Layout.

Footpath surface

Shared with road surface.

Compliant – Refer to External Works Layout and External Finished Layout.

Kerbing

Flush conservation channel.

Compliant – Refer to External Works Layout and External Finished Layout.

2.0 Compliance

Street Furniture

Square timber bollards, traditional parkland benches with arms, timber clad simple square bins, porous gravel tree pits.

Landscape Architect to ensure compliance.

Street Lighting

Contemporary but traditional shaped lighting columns.

Compliance assumed as specification will need to accord with Oxfordshire County Council.

Squares / Pocket Spaces

Soft, green landscapes, informal space. Small local greens. Large focal street trees. Residential development edges the countryside / meadows / open space.

Landscape Architect to ensure compliance.

Landscape

Minimum 80% native plants.

Landscape Architect to ensure compliance.

Page 158 – Sustainable Development

The residential element of the development will achieve 60% Very Good and 40% Good Ecohomes rating as specified in the Section 106 agreement. Affordable housing will achieve Ecohomes standard at least Very Good, equivalent to Code for Sustainable Homes Level 3. Developers must identify which plots are Very Good, and which are Good, in Reserved Matters submissions. Developers must demonstrate how they will meet the standards as part of their Reserved Matters submissions.

Compliant - Further details to be provided upon determination.

Page 159 – Ecology

Developers must have regard to the ecological management and habitat creation strategy, approved pursuant to the Section 106 agreement.

Landscape Architect / Ecologist to ensure compliance.

Page 159 – Health and Wellbeing

Developers, for all parts of the site, will be required to demonstrate how their design solutions have positively engaged with challenging site factors, such as noise, and how their schemes will promote the health and wellbeing of residents or occupiers.

Compliance – Parcels KMA and KMB both adjoin areas of open space, that will positively contribute to health and wellbeing. Both Parcels provide a LAP facility and incidental open spaces throughout (pocket parks) whilst both being in close proximity to an adjacent NEAP/LEAP combined within Whitelands Farm open space, as well as the Primary School and Local Centre, encouraging and promotes active living.

Page 159 – Secured by Design

Consultation with the relevant Architectural Liaison Officer / Crime Prevention Officer must be undertaken and the principles of Secured by Design taken into account in the design of the scheme as outlined with the Design Code.

Whilst consultation has yet to take place upon the Reserved Matters Application, compliance is assumed – Refer to Planning Layout and External Works Layout and External Finished Layout.

Page 159 – Integrated tenure

Affordable housing areas will be clustered within each Parcel. Clusters will be no more than 10 units (where only social rented housing or intermediate rented housing or 15 units (where shared ownership housing is also provided).

Compliant – Refer to Planning Layout.



KMA

KMB



Future Residential Development

Primary Street

Primary Street

Primary Public Space

Sewer easement

Habitat Link

NEAP/LEAP

Electricity Sub Station

Existing David Wilson Homes

Sales Office

Water easement

Existing David Wilson Homes

Existing David Wilson Homes

Footpath

Winemakers Park Open Space

KMA

