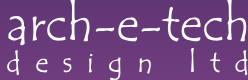


PLANNING, DESIGN & ACCESS STATEMENT

Premier Inn & Brewers Fayre Hotel Site | South West Bicester



January 2012

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SPECIALIST PLANNING &
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CONTENTS

INTRODUCTION	4	LANDSCAPING	30
PURPOSE	5	DRAINAGE	31
Context		FINISHED FLOOR LEVELS -	
PROPOSAL -		Condition no.35	32
Condition no.1	10	DETAILS OF BOUNDARY TREATMENT -	
COMPLIANCE WITH THE		Condition no.35	32
PLANNING PERMISSION	12	DETAILS OF PILING METHOD -	
COMPLIANCE WITH THE		Condition no.51	33
DESIGN CODE	14	CONCLUSIONS	33
Layout			
Elevations			
Design Solution			
Adherence to the Design Code			

INTRODUCTION

This statement accompanies a reserved matters application pursuant to outline planning permission 06/00967/OUT dated 27th June 2008.

This application seeks to discharge the following conditions in relation to the application site:

- 1. Design, siting, scale, height, layout, external appearance, landscaping and means of access details
- 12. Details of scheme for disposal of surface water
- 32. Details of finished floor levels
- 35. Details of boundary treatments
- 51. Details of piling method

The proposal comprises sustainable development and therefore also benefits from the presumption in favour set out in the draft National Planning Policy Framework.



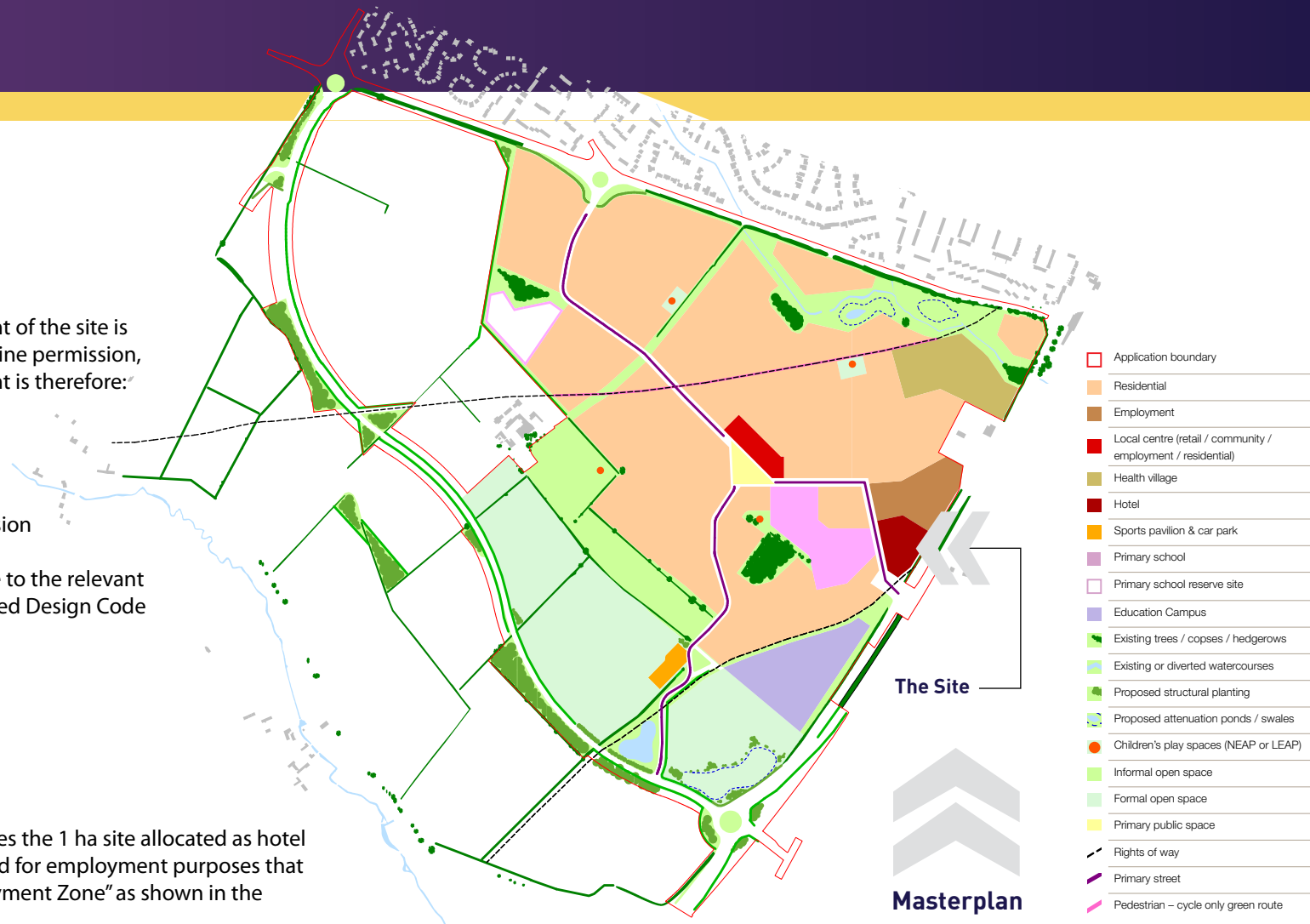
PURPOSE

The principle of development of the site is established by the 2008 outline permission, the purpose of this statement is therefore:

- Set the context
- Establish compliance with the outline permission
- Demonstrate adherence to the relevant principles of the approved Design Code
- Describe the scheme.

Context

The application site comprises the 1 ha site allocated as hotel adjacent to the 2 ha allocated for employment purposes that jointly comprise the "Employment Zone" as shown in the approved Design Code.



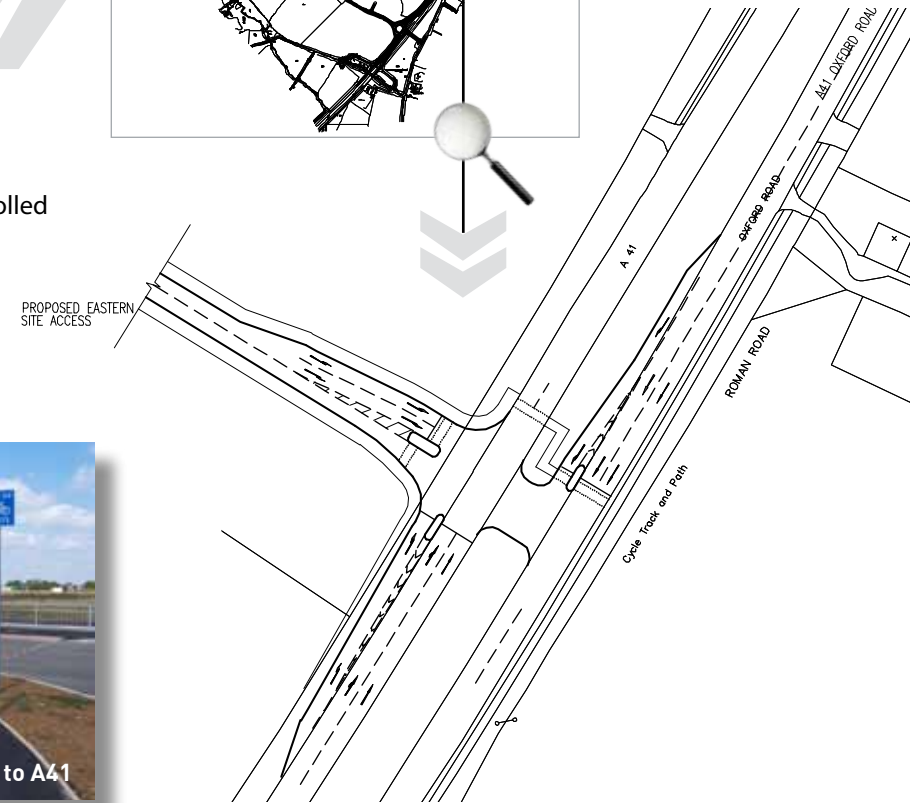
PURPOSE

Junction Layout



Context (continued)

The site occupies the A41 frontage on the north eastern side of a new traffic light controlled junction into the site to which traffic signals will be installed.

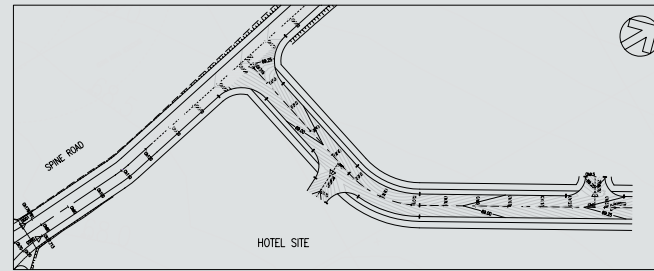


6

The site is relatively flat and undeveloped. Access will be taken from a new side road off the estate road which is already in place. The side road is now approved in detail and will also provide access to the other plots in the Employment Zone.



Approved landscaping scheme for A41/Spine road junction



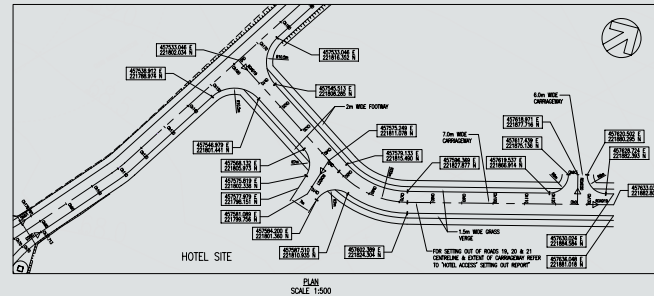
Opposite the application site to the west across the new spine road (that will serve residential areas and the local centre) it is proposed to provide new housing and a new primary school.



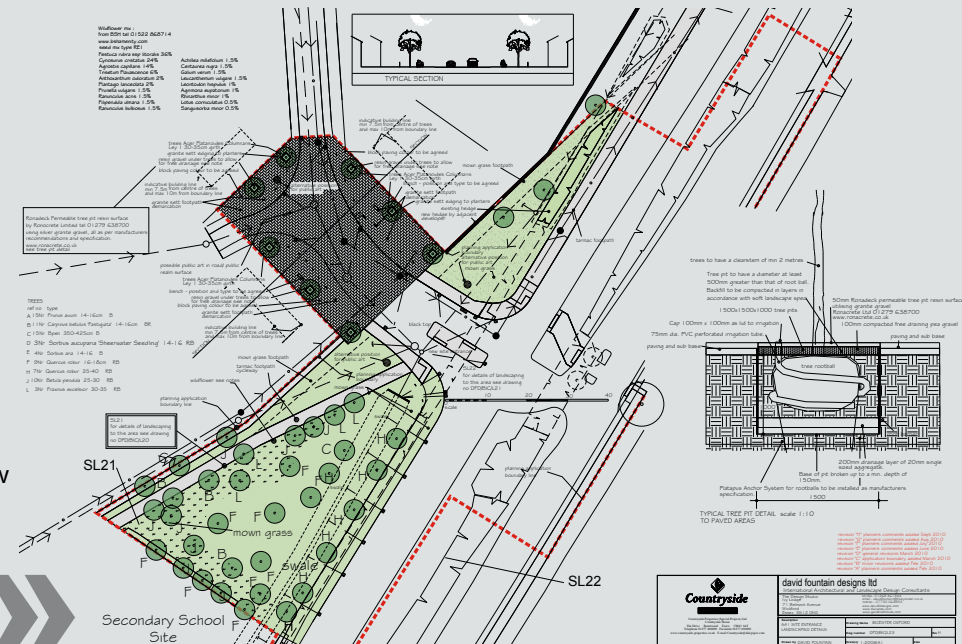
The new spine road

The application site does not abutt any proposed residential development, it is separated either by other parts of the Employment Zone, the proposed school or new roads. Immediately in front of the site toward the A41 junction there will be a new landscape area integrating the carriageway, footways, landscaping and public art.

Approved landscape/artwork scheme for urban extension entrance



Approved access road off new spine road



PURPOSE

Context (continued)

Much of the former A41 frontage hedge has been removed in the engineering works to provide the new junction and associated roads/drainage for the wider development.

Apart from the SW Bicester urban extension itself the closest other development comprises the petrol filling station and Little Chef restaurant on the A41 roundabout junction which lie to the north east. The Bicester Village retail village and a large Tesco superstore lie further to the north east together with the Acorn public house and restaurant.

Bicester has 2 railway stations (North and Town) providing services to Birmingham/London and to Oxford respectively. Further details of transport accessibility is given in the Transport Statement.



Views from A41



Views of nearest buildings

PROPOSAL

Condition no.1

The applicants propose a 80 bedroom Premier Inn and a 220 cover Brewers Fayre pub/restaurant.

Whitbread is the largest hotel operator in the country with its well known Premier Inn (PI) Brand many of which are alongside “partner” Whitbread branded pub/restaurants.

The closest Premier Inns to Bicester are in Oxford (c. 24 km), Aylesbury (c. 25 km) and Silverstone (c. 30 km), this represents a significant gap in their network.

In city centre locations a PI may have 100+ bedrooms and only limited restaurant facilities, elsewhere the optimum number of bedrooms will be reduced but a “partner” branded restaurant is needed in order to ensure viability for a scheme.

Whitbread carefully assess potential demand for their PI development using a wide range of statistical sources and by making comparisons to other similar towns elsewhere in the country. The optimum number of PI bedrooms for Bicester is 80, the location close to many new houses to provide potential family customers makes the optimum “partner” restaurant a “Brewers Fayre” family dining pub with a childrens play area.





Premier Inn

PI is the largest hotel operator in the country with nearly 600 sites in the UK and over 41,000 bedrooms.

PI has a web based booking system in addition to the more conventional telephone booking arrangements and the web site receives over 1.5 million visitors each month. Potential guests can book by requesting any named PI or search for the nearest PI by entering any location or postcode. The web site service offers immediate and up to date information on room availability and price together with possible alternatives at other nearby PI's (and the travel distance to those alternatives).

PI offers good, reliably high standard, overnight accommodation at modest cost with a guarantee of full refund if any guest is not satisfied with any aspect of the accommodation.

PI's are generally busier during the midweek (Monday-Thursday) when many of the guests are travelling on business, indeed, 60% of all PI guests are business travellers. The average guest stay is 1.3 nights and average room occupancy across the estate is 1.2 sleepers.

All Premier Inn rooms offer:

- King size beds
- Good quality duvets & pillows
- En-suite bathrooms
- Shower gel
- Remote control TVs
- Tea & Coffee making facilities
- Hairdryer
- Heater Control
- Desk area
- Internet & Broadband access

Premier Inns also offer:

- Family bedrooms
- Restaurant & licensed bar
- Universal access bedrooms
- Cots (on request)
- 24 hour reception

It is this consistently high level of service and good quality that attracts many guests.

Whitbread recognises the potential of the site to meet a strong demand for rooms from the tourism market and in relation to Bicester Village in addition to their business customer base.

Brewers Fayre is a nationally recognised brand; the closest sites are some distance away at Warmington (north of Banbury) and High Wycombe, (both of which are alongside Premier Inns). It is a family friendly concept, with facilities specifically provided for children and family groups.



Plan of district centre

COMPLIANCE WITH THE PLANNING PERMISSION

Outline planning permission 06/00967/OUT (27 June 2008) specifically permits a range of new development on land at Whitelands Farm south west of Bicester to include a “.....pub/restaurant...” and “....a hotel....”

The approved Master Plan and Design Code specify a 1 ha site within the employment zone for the hotel. No specific site or location is given for the pub/restaurant and it is not shown to be within the local centre where all of the plots are allocated for other uses (convenience store 200–400 sq m, 2–6 shop units up to 150 sq m, employment units up to 500 sq m, community centre 614 sq m).

Accordingly the pub/restaurant is “footloose” within the outline permission area. There are major advantages to the availability of a pub/restaurant in close proximity to the new housing:

- Creation of community spirit and focus
- Convenience
- Amenity for residents
- Encouragement of walking/cycling
- Discouragement of drink driving
- Journey reduction



However, pub/restaurants have some disadvantages as close neighbours to residential development.

The local centre is very closely integrated with the surrounding housing and is therefore a less than ideal location for the pub/restaurant.

“Estate” or “community” pubs within large scale developments have struggled commercially in recent years with changes in social behaviour. Indeed, many examples have been closed.

An out of city centre Premier Inn, e.g. Bicester, is only viable if it is supported by a partner restaurant that is a viable business in its own right.

Accordingly there is an opportunity presented at the site:

- Viable location for a new hotel in accordance with the Master Plan
- The hotel business model requires a “partner” pub/restaurant, in accordance with the outline permission.
- The presence of the hotel will ensure the viability of the partner pub/restaurant which may not otherwise have been possible.
- The combination of the hotel and pub/restaurant on a site therefore underwrites a facility that will benefit the new community.

The Premier Inn and Brewers Fayre will employ c. 66 people with a mixture of full and part time jobs. It is Whitbread’s experience that most of the jobs are filled from local recruitment. Whitbread have a well structured training programme and career development pathways. All job recruits are given full training and there are further training and development opportunities available. The proposal will make a significant contribution toward local employment prospects.

Countryside Properties have already discharged many of the conditions on the outline permission so that there is no need for further submissions regarding contamination (Con. 20), ecology (Con. 10) and archaeology (Con. 19) etc.

Conclusion

The proposal complies with the terms of the outline permission; accordingly, the reserved matters application can be accepted.

Hotel site as determined by approved road positions



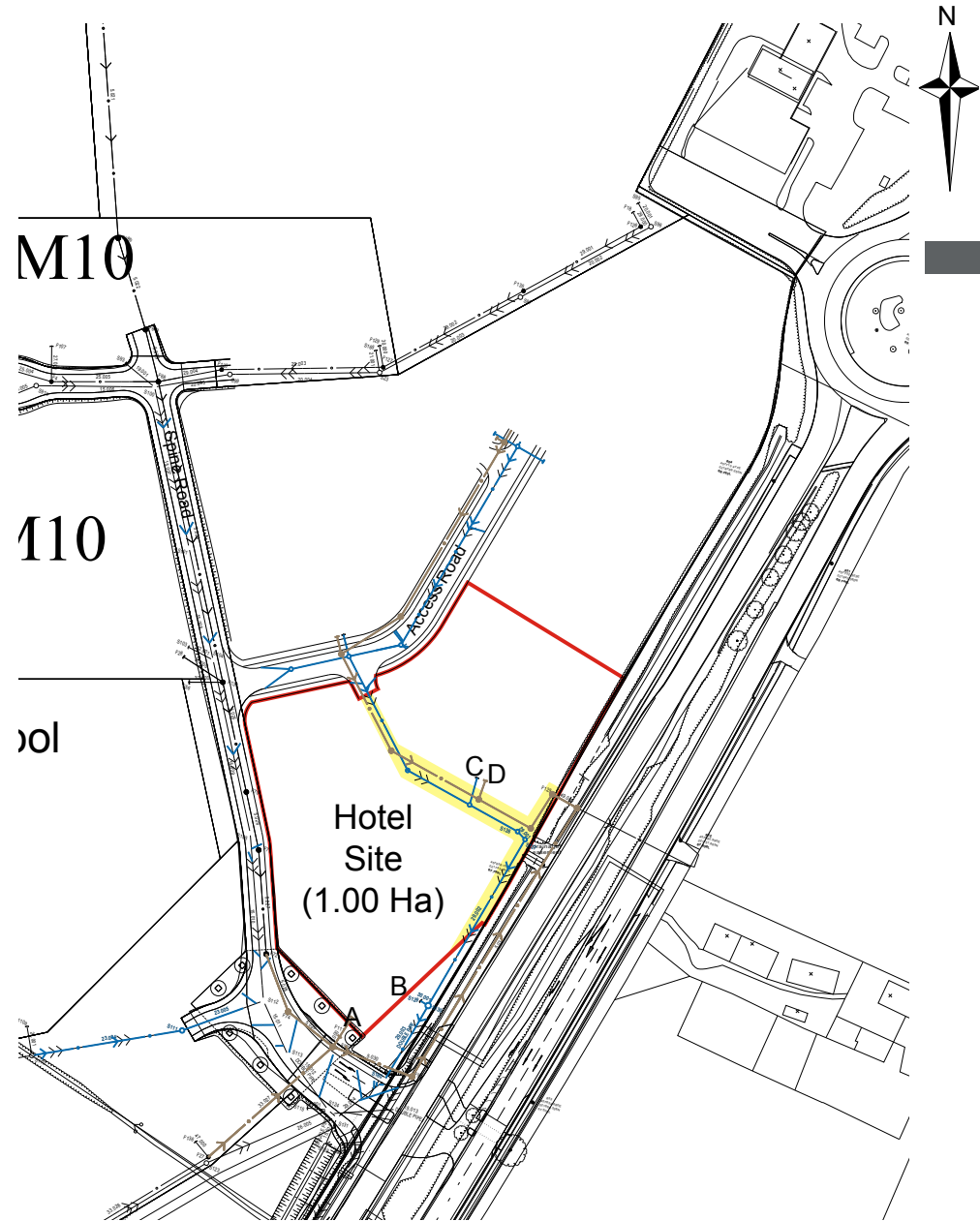
COMPLIANCE WITH THE DESIGN CODE

The Design Code recognises the 1 ha hotel site and gives specific guidance as well as “mandatory” requirements.

Layout

The site made available to the applicant is determined by the position of the access road to serve the site and the prescribed site area. Following Pre-Application discussion with the Council initial feasibility schemes were revised by re-drawing the boundaries to more closely comply with the Design Code and giving a site better able to meet the mandatory and aspirational requirements.

As shown on the plan to the right the hotel site is crossed by drainage from the remainder of the commercial area, this creates an easement and “no build zone” of 3m on either side of the drain.



The applicants have examined a number of options for layout of the site.

The Design Code anticipates the possibility of development around the whole periphery of the site prescribing minimum setbacks for development on all sides.

In practice there will never be a continuous peripheral frontage; the applicants have therefore sought to optimise their design responses.

The Design Code allows for up to 4 storeys for the hotel, the applicants have worked on the basis of 3 storeys thereby giving a longer building which maximises frontage impact, indeed, the later schemes introduce two storey elements to accentuate this effect.

The Design Code diagrams do not show the access road or the drainage easement that constrain the site. The applicants produced a series of feasibility schemes including a set of 5 options.

These early options were based on the initial site boundary, subsequently revised when the access road was approved in closer accordance with the Master Plan layout



Feasibility Options

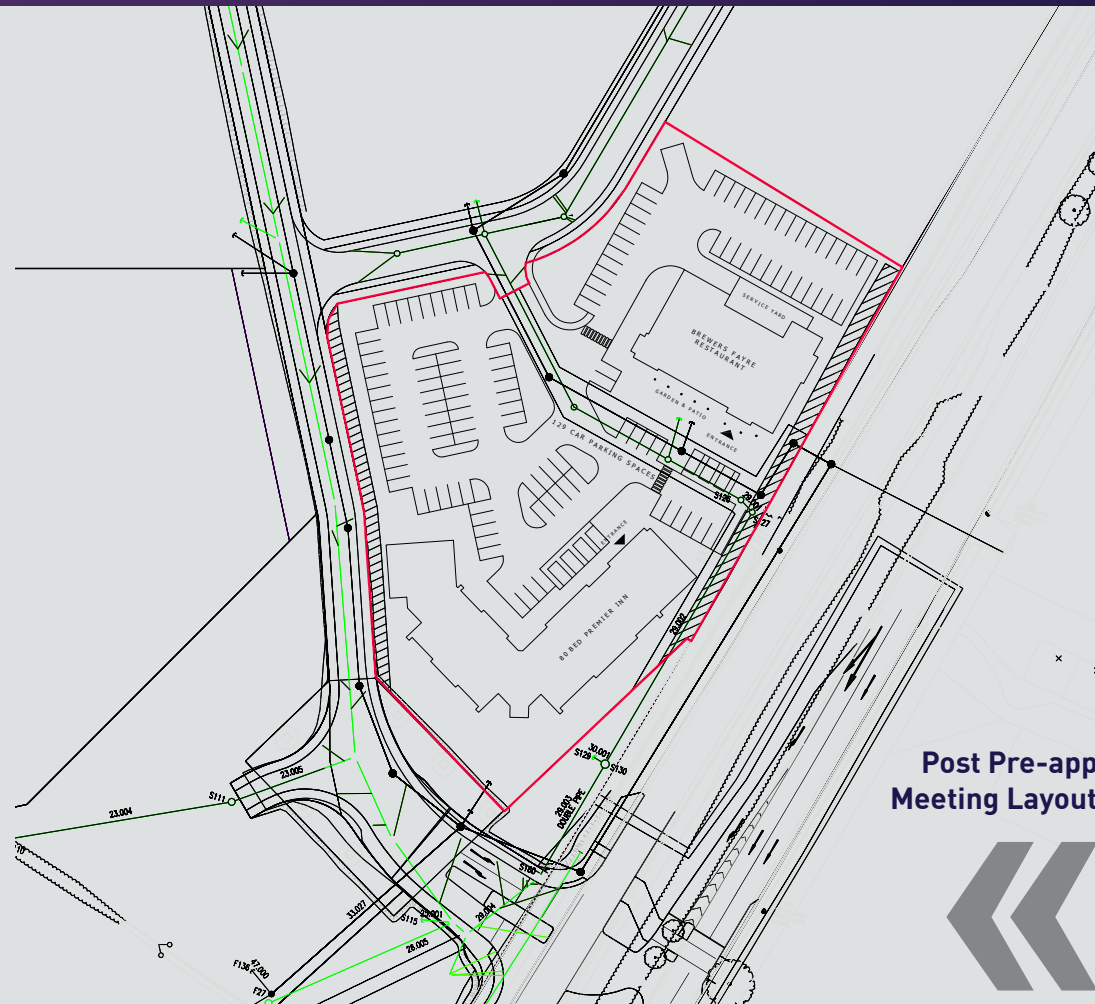


COMPLIANCE WITH THE DESIGN CODE

In Pre-App discussions with the Council it was agreed that the priority should be to maximise the built frontage to the A41 rather than to the new estate roads. With the benefit of this guidance and the revised site layout the initial scheme has been re-visited and has now been set into the context of an interim site layout for the remainder of the Employment Area.

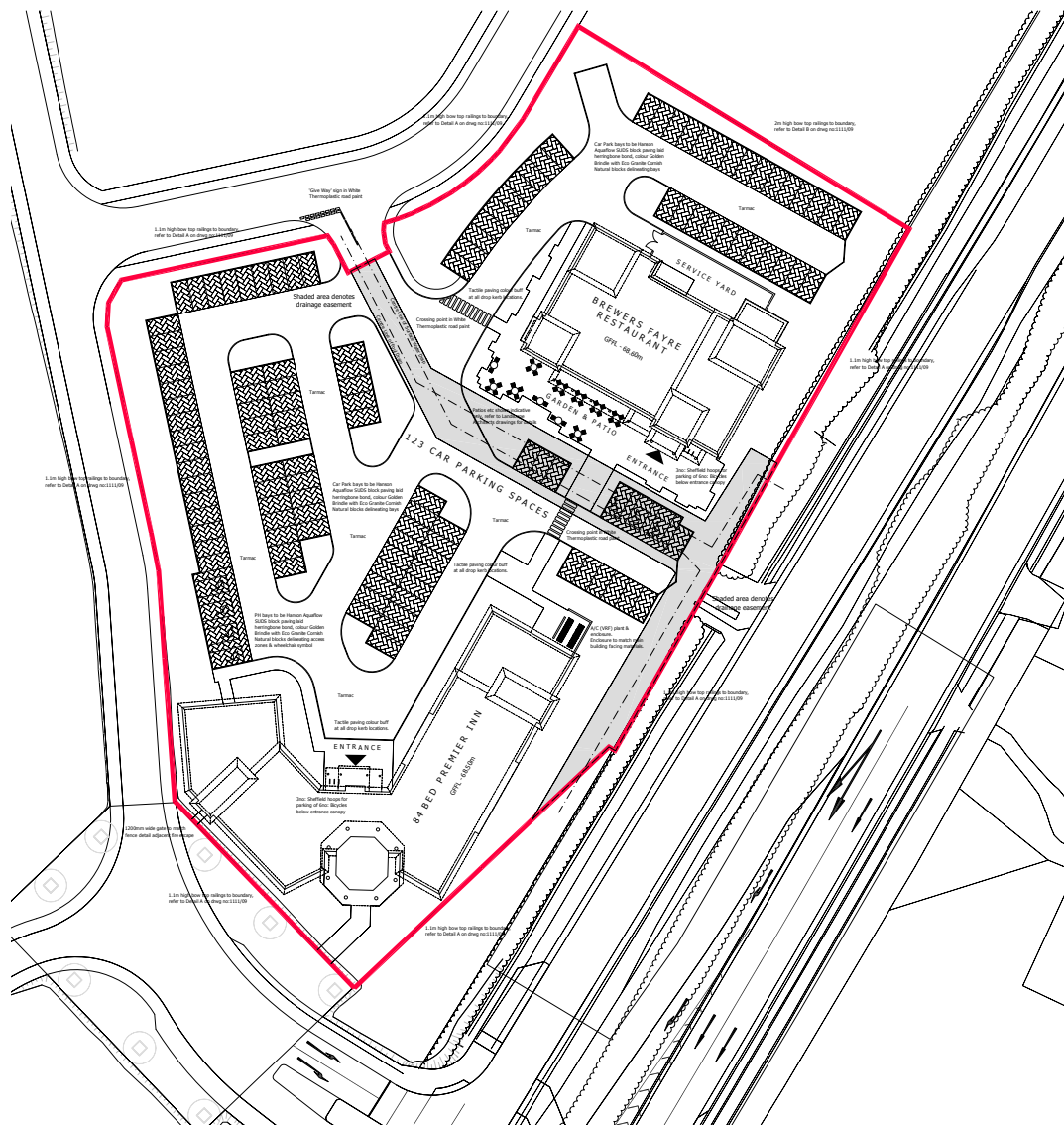
This revised layout introduces 2 angled wings to the PI building so that it can more closely follow the frontages and extends the building impact by including 2 no. two storey elements. By this means the scheme seeks to get as close as possible to the Design Code ideal of a continuous peripheral frontage.

In further discussions the Council indicated that the PI building should be parallel to the road frontages rather than with the new entrance landscape feature. This approach gives a more complex building form and creates awkward internal spaces but the architects have responded positively to these suggestions.



Post Pre-app Meeting Layout





Reconfiguration of the PI building form also gives the opportunity to further develop and emphasise the corner feature to create a point of interest.

The more acutely angled building form also enables it to relate more closely to frontages giving a “tighter” urban feeling to the entrance landscape feature.

In further design reviews with the Council it was also requested to increase the on site planting at the expense of some parking.

The Council remained concerned that scheme still did not successfully resolve the appearance of the corner as discussions have also been ongoing with the Council regarding architectural treatment for the proposal. This is of importance as the Design Code gives little specific guidance for the Employment Zone and the success of the elevational treatment will influence the building layout/form in particular how the prominent corner should be addressed.

**Further revised
feasibility layout**

Sample site photos submitted to the Councils as possible design models



Initial sketches for Brewers Fayre



COMPLIANCE WITH THE DESIGN CODE

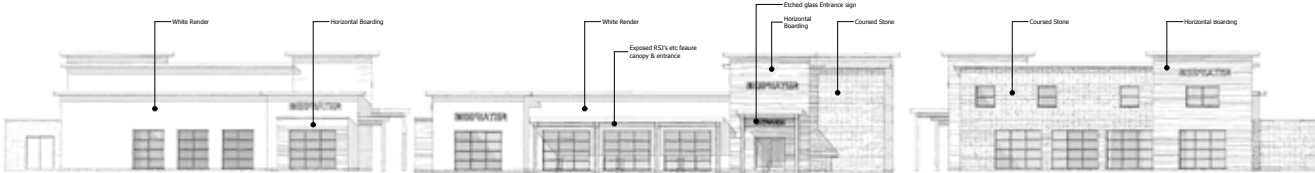
Elevations



18

It is of importance that the Brewers Fayre and Premier Inn are recognisably separate entities as they both need to appeal to their own customer base, in particular, the Brewers Fayre cannot look as if it is part of the hotel as this is known to dissuade pub/restaurant customers. Complimentary but contrasting designs are therefore needed for the 2 elements.

It has been agreed that both buildings should be in a sharp contemporary style whilst the Brewers Fayre needs portray a domestic scale the Premier Inn needs to present a more impressive scale with a dramatic corner feature in particular.



Initial sketches
for PI



The function of both buildings is reflected in the ultimate design in particular the need for:

- A repetitive room pattern with bedrooms either side of a central corridor for the Premier Inn.
- Careful management of vertical and horizontal circulation in the Premier Inn including fire escape routes.
- Management of linen delivery/collection to minimise impact on the reception area in the Premier Inn.
- Provision of principally ground floor space for public areas in the Brewers Fayre.
- Provision of management residential accommodation at upper floor level in the Brewers Fayre,
- Over a third of the Brewers Fayre floor area is “back of house” with limited scope for fenestration and more functional appearance.
- Family based nature of Brewers Fayre requires interaction between the public areas and external public space.
- Management of Brewers Fayre delivery/collections, provision of a yard area to minimise service impact.
- Maximise the convenience and safety of car parking provision.



The applicants initially submitted photographs of other sites that might be used as a basis for design development. The Council were broadly agreeable to the approach for the Brewers Fayre but advised that the Premier Inn needed significant change. Discussions regarding the Premier Inn elevations were overtaken by the need to significantly alter the building shape so that it better addresses the A41 corner.



COMPLIANCE WITH THE DESIGN CODE

Design Solution

The Council have agreed a design approach for the Brewers Fayre based on The Ashford Eureka Beefeater. This provides a distinctive domestic scale in a contemporary style using a similar palette of external materials as the Premier Inn with coursed reconstituted stone work (Forticrete Shearstone, Cotswold Village, Cottage finish) and white self cleaning render.

The Brewers Fayre is orientated so that the taller 2 storey element fronts onto the A41 helping to create the strong building edge sought in the Design Code. The elevations adopt some of the features illustrated by photographs in the Design Guide with flat roofs over sailing eaves and a modern material palette but adapt this approach to give the more domestic style needed for a pub/restaurant.



North West Elevation



South East Elevation



The Premier Inn has been the subject of repeated consultations and reviews with Council officers improving the scheme to give greater impact at the corner and add interest to the elevations.

Following revision of the building form to provide more of a corner focal point the applicants have produced several draft schemes which have then been refined following further discussion with officers.



PREMIER INN : CORNER VIEW .

As can be seen the architects have experimented with a large over sailing roof and various ways of presenting the building to the corner.

The ultimate solution has a ground floor with stone elevations to match the Brewers Fayre. In order to break up the larger wings the same stone is then used in feature panels on subservient elements of the building.

The building roof line is broken by an additional half storey at the corner and the oversailing roofs in geometric shapes that oversail the flat roof of the main bedroom wings.

The corner now comprises a ground floor entrance from the A41 principal street frontage with a free standing metal staircase in a full height internal space so that light spilling between the levels will unite the appearance and show the stair structure. The ground floor is also

marked with canopies and the reveals to the wings of the building are enhanced with sand blasted or coloured glass in large panels.

Each element of the building has its own oversailing eave which will add shadow and character to the elevations.



Advanced stage drafts exploring treatment of the prominent corner



Final design solution for the PI



A/C Compound finished in white render

North Elevation



Aluminium coping detail, finished in RAL 7024 (graphite grey)

White Render

Coursed Stone, specification & colour TBC

A/C Compound finished in white render

South East Elevation (A41)

Windows & Doors finished in RAL 7024 (graphite grey)

Stainless Steel horizontal rail to GF full height windows

Curtain wall feature, finished in RAL 7024 (graphite grey)

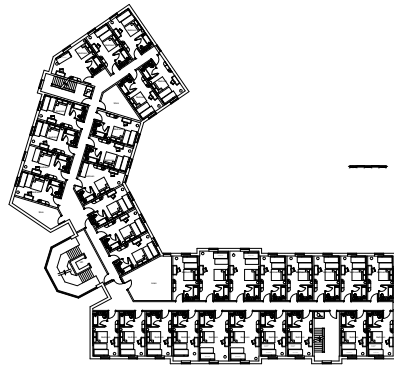


South Elevation (A41 Junction)

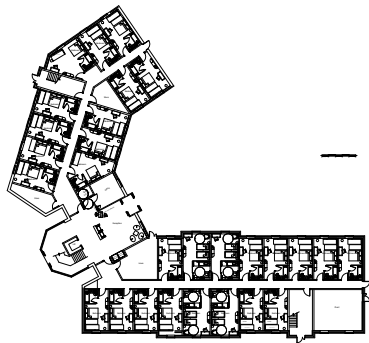
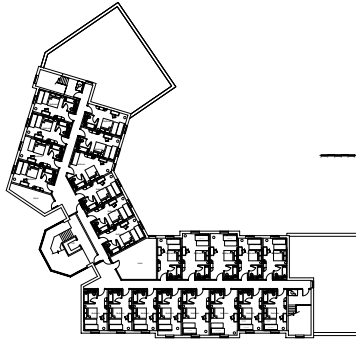


FINAL PREMIER INN ELEVATIONS





**FINAL PREMIER INN
PLANS**



South West Elevation



West Elevation

Windows & Doors finished in RAL 7024 (graphite grey)

Stainless Steel horizontal rail to GF full height windows



North East Elevation



3D
VISUALISATIONS

26







EXTRACTS FROM DESIGN CODE

COMPLIANCE WITH THE DESIGN CODE

Adherence to the Design Code

The Design Code sets out mandatory requirements in red as follows; the initial designs show how these requirements can be met in the final detailed scheme.



28

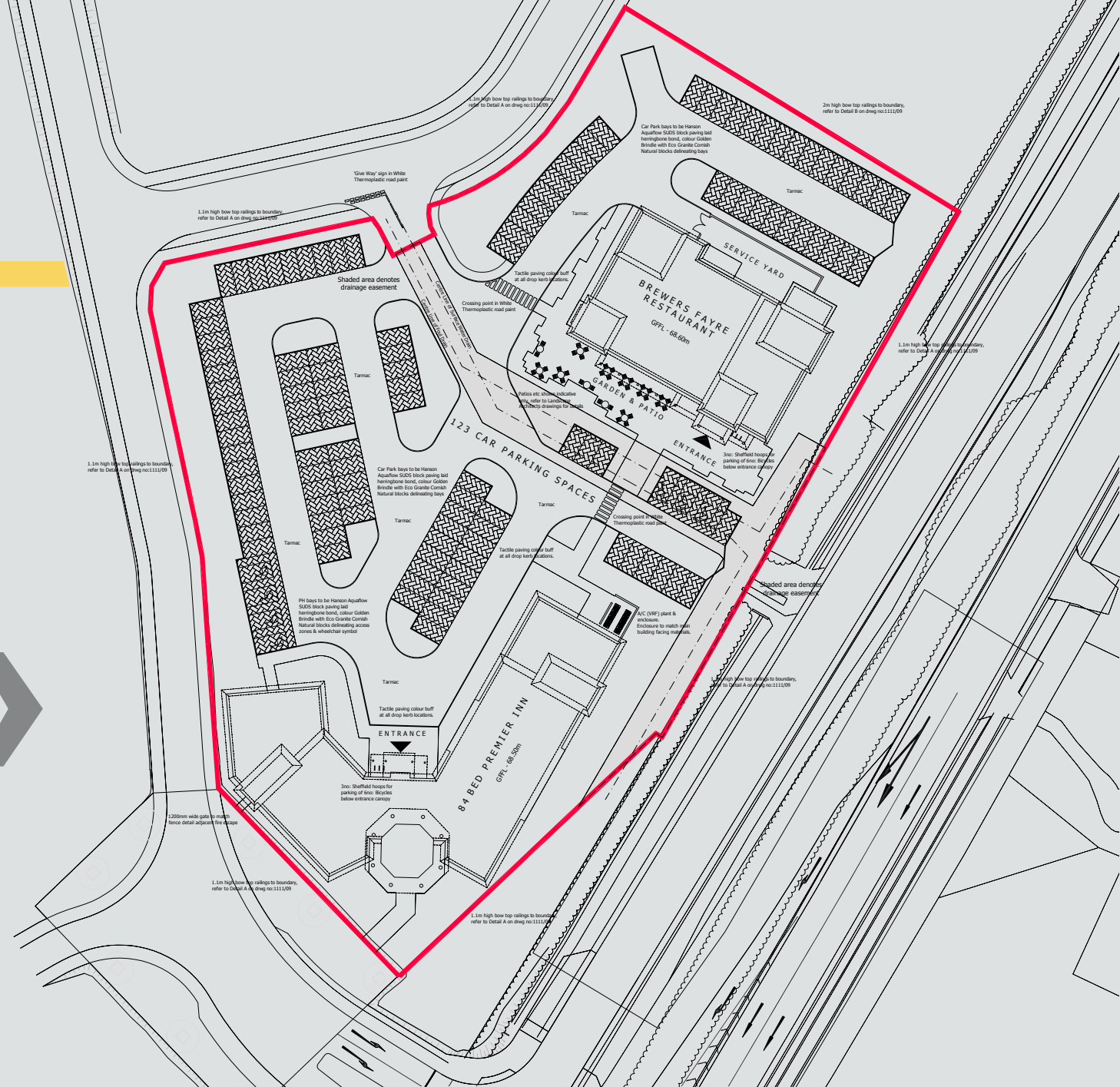
Hotel site = 1 ha, site to comply with Master Plan	✓
Access from Primary Street, shared between hotel and employment, pedestrian access from primary street.	✓
Parking to be agreed and within building "block" not to primary street frontage "in general terms"	✓
Boundary treatment: Landscaping to A41	✓
Boundary treatment: 1.1m railings to primary street	✓
Boundary treatment: 2 m railings between plots	✓
Boundary treatment: 3 m landscape strip to frontages	✓
Planting as Urban Village, buildings closer to landscape strip on primary road	✓
Hotel to be landmark to A41, tallest elements to A41, max. Height 14.5m	✓
External materials to be cladding, brick, render and timber	✓
Covered and secure cycle parking	✓
Definition of frontages with landscaping, public elevations to the frontages	✓



The final scheme takes vehicular access from the service road but has pedestrian areas to the frontage as required.

As set out in the table on the adjacent page the final scheme meets all of the Design Code criteria as well as meeting the client requirements and site constraints, e.g. the drainage across the site.

FINAL SITE PLAN





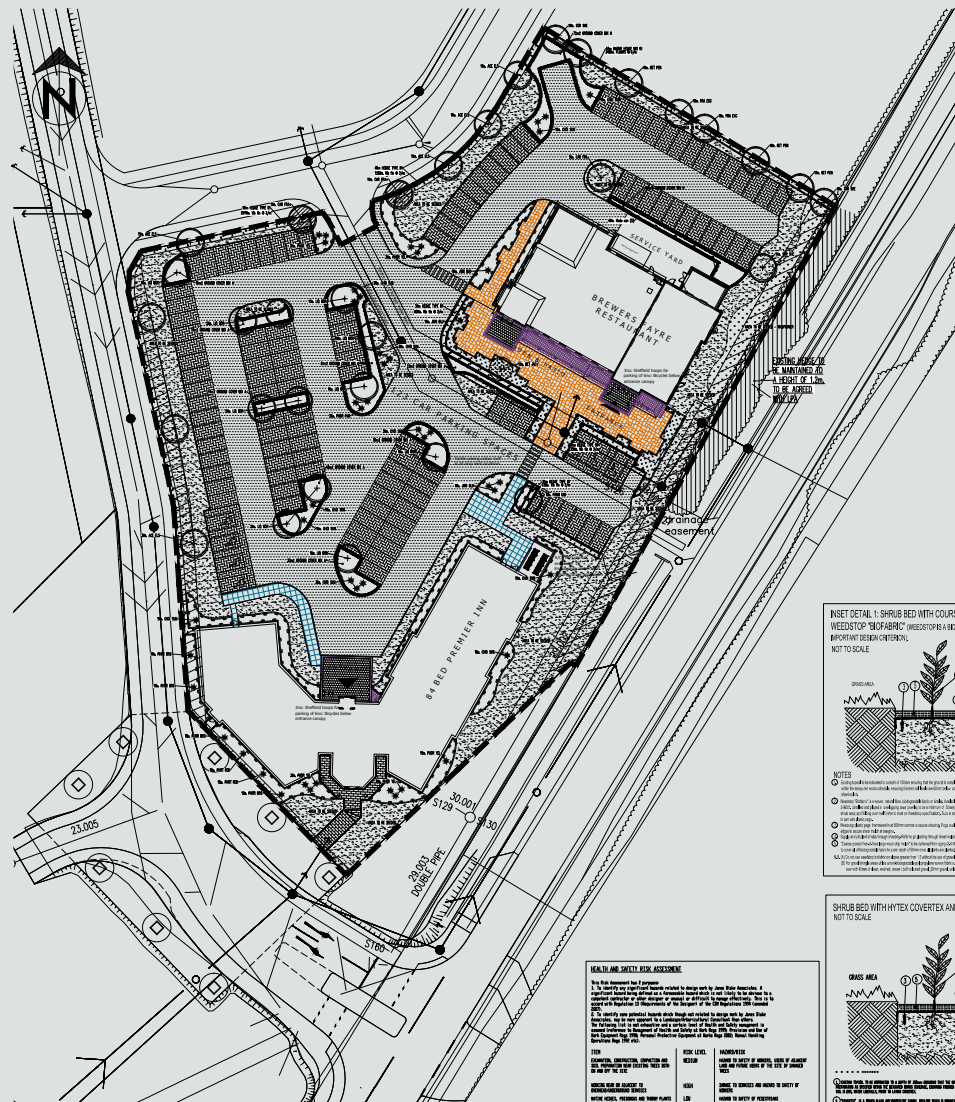
LANDSCAPING

The submission includes a fully detailed landscaping scheme (plan JBA 11/271/01 rev A).

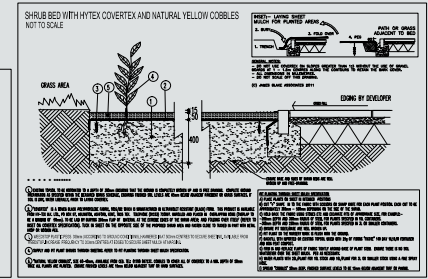
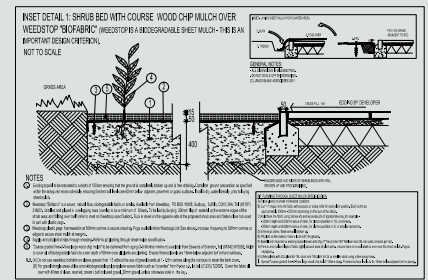
The scheme provides boundary specimen tree planting to the spine road and access road with hedging using native species. Close to the main entrance landscape/art feature (outside of the application site) the scheme avoids competing with the approved scheme showing only a shrub planting bed close to the Premier Inn and grassed areas with simple railings to the boundary.

There is a substantial existing hedge to part of the A41 frontage which is located outside of the site, the applicants hope that this can be reduced in height so that the Brewers Fayre building can enjoy greater prominence. Inside of the existing A41 hedge there is proposed grass and wild flower planting in the separation zone identified in the Design Code.

There is tree planting and shrub planting to break up the car park and more ornamental planting around the buildings patio area.



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HEALTH AND SAFETY RISK ASSESSMENT

The Risk Assessment has been carried out in accordance with the Health and Safety Regulations 1992. The assessment has identified the following risks to the health and safety of the public and the workers on site.

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DRAINAGE SCHEME



- NOTES**
- This drawing to be read in conjunction with all relevant Architects, Engineers and Subcontractors drawings and details.
 - This drawing is based on topographical survey by Survey Services St. Vincent House Scarthope North Lincolnshire DN10 8DT
- Drawing No. 3100/001 Dated 01-08-11
All levels refer to levels given on survey drawing.

LEGEND

- Trapped yard gully
- Trapped Road gully
- Pipe Size / Gradient
- Surface water drain
- Grey water recycling drain
- Foul water drain
- Roding eye
- External back drop connection
- SW inspection chamber
- GW inspection chamber
- FW inspection chamber
- Surface water manhole
- Foul water manhole
- Denotes specification for new permeable paving for parking lots with porous storage
- Denotes specification for new permeable paving for parking lots with porous storage

DRAINAGE

Condition no.12

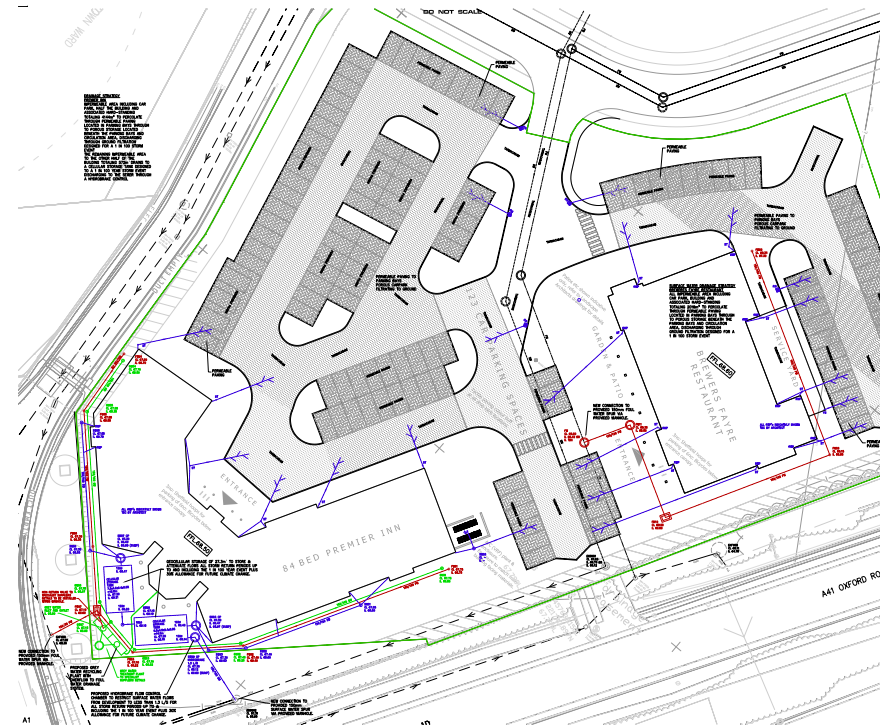
Foul Drainage Strategy

It is proposed to drain foul water runoff from the restaurant and hotel via separate outfalls to an existing foul water sewer that is located in the verge adjacent to the A41 Oxford Road.

Surface Water Drainage Strategy

An intrusive site investigation has confirmed that shallow infiltration drainage techniques would be suitable at this site. Therefore, it is proposed to drain surface water runoff from a majority of the site by means of infiltration using SUDS in the form of permeable paving. The permeable paving will be designed to store and attenuate flows for all storm return periods up to and including the 1 in 100 year storm return period with 30% allowance for climate change.

Due to the site topography and layout of the development it is not possible to drain the entire site by infiltration and it is proposed drain a proportion of surface water runoff from the hotel building to an existing surface water sewer, which is also located in the verge adjacent to the A41 Oxford Road. Prior to outfalling to the surface water sewer, flows will be restricted to the sites Greenfield runoff rate of 1.3 l/s using a Hydrobrake flow control with excess flows stored and attenuated in a below ground geo cellular storage tank designed to accommodate the 1 in 100 year storm return period with 30% allowance for climate change.



FINISHED FLOOR LEVELS

Condition no. 32

Finished floor levels are now shown on plan 1111/01A.

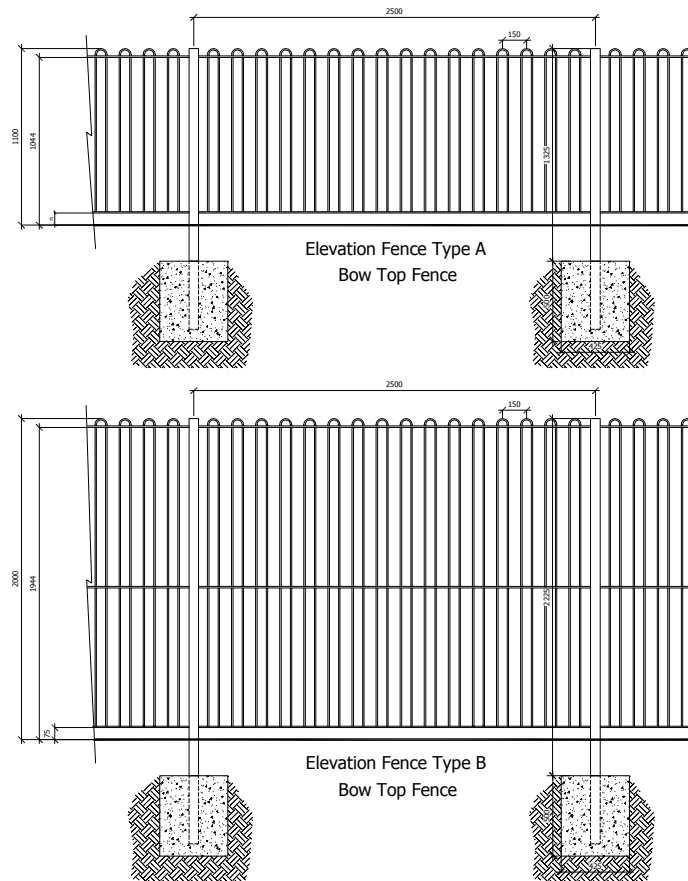
The site is relatively flat and so these are consistent with ground levels.

DETAILS OF BOUNDARY TREATMENT

Condition no. 35

Plan 1111/09 shows details of bow top railings proposed for the boundaries with 2.0 m height on the boundary to the adjoining plot and 1.1m to the road frontage.

The road frontages are also partly enclosed by proposed hedging as shown in the landscape scheme.



1. Proprietary fence posts- 60x60mm square hollow sections at 2500mm centres. Fitted with flat top caps
2. Panels fix with security bolts as per manufacturer specification and details
3. Welded panels with two horizontal rails manufactured from flat bar welded to infill bars at the intersection points
4. Concrete foundation
5. All fence products to be polyester powder coated in black



DETAILS OF PILING METHOD

Condition no. 51

Grounds and proposed foundation design are such that the applicants do not propose any piling, see letter dated 21/11/11 from Simpson Associates Consulting Engineers. It is proposed to use shallow strip footings.

CONCLUSIONS

This application is a submission of reserved matters; the principle of the proposal is therefore accepted.

The submitted reserved matters comply with the Design Code and follow from extensive consultations with the Council which have resulted in substantial amendment of the original scheme.

The proposed is well designed and suited to its context at the entrance to the substantial urban expansion. The design will set a benchmark for development of the other plots in the Employment Area.



